



TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331
(928) 634-7943 FAX (928) 634-0715

REGULAR MEETING OF THE TOWN OF JEROME PLANNING AND ZONING COMMISSION

DATE: Wednesday, January 8, 2020 TIME: 6:00 pm

(NOTE NEW MEETING TIME OF 6:00 pm!)

PLACE: JEROME CIVIC CENTER
600 Clark St., JEROME, ARIZONA 86331

AGENDA

Pursuant to A.R.S. 38-431.02, notice is hereby given to the members of the Planning & Zoning Commission and to the general public that the Planning & Zoning Commission will hold the above meeting in council chambers at Jerome Town Hall. Members of the Planning & Zoning Commission will attend either in person or by telephone, video, or internet conferencing. The Planning & Zoning Commission may recess the public meeting and convene in Executive Session for the purpose of discussion or consultation for legal advice with the town attorney, who may participate telephonically regarding any item listed on this agenda pursuant to A.R.S. § 38-431.03 (A)(3).

ITEM 1: CALL TO ORDER/ROLL CALL

ITEM 2: PETITIONS FROM THE PUBLIC — Pursuant to A.R.S. § 38-431.01(H), public comment is permitted on matters not listed on the agenda, but the subject matter must be within the jurisdiction of the commission. All comments are subject to reasonable time, place, and manner restrictions. All petitioners must fill out a request form with their name and subject matter. When recognized by the chair, please step to the podium, state your name, and please observe the three (3)-minute time limit. No petitioners will be recognized without a request. The commission's response to public comments is limited to asking staff to review a matter commented upon, asking that a matter be put on a future agenda, or responding to criticism.

Possible Direction to Staff

ITEM 3: Approval of Minutes: Minutes of the Regular Meeting of December 4, 2019
Discussion/Possible Action/ Possible Direction to Staff

Continued Items from Previous Meetings:

ITEM 4: R-2 Rezone -- table to a date certain

The Town of Jerome proposes to rezone properties from R1-5 to R-2 in and around the vicinity of 10, 18, and 21 North Drive; 884, 886, 888, 894, 896, 898, and 899 Hampshire Avenue; and a vacant lot identified as APN 401-11-002A on Hampshire Avenue.

Table (continue) to the next regular meeting (February 5, 2020) or a date certain to allow time for proper noticing/posting

New Business:

ITEM 5: Site Plan Review for Single-Family Home

APPLICANT: Matt Dougan

ADDRESS: 174 North Drive

OWNER OF RECORD: Celurius LLC (Terrill Currington)

Applicant is seeking preliminary and final site plan review

ZONE: R1-5

APN: 401-11-012N

Discussion/Possible Action - P&Z Reso. 2020-2

ITEM 6: CUP for Residential in C-1 Zone

APPLICANT: Don Nord

ADDRESS: 128 First Street

OWNER OF RECORD: Don & Paula Nord

Applicant is seeking a conditional use permit to have a duplex in the C-1 zone

ZONE: C-1

APN: 401-10-006

Discussion/Possible Action (Recommendation to Council) – P&Z Reso. 2020-3

ITEM 7: New Mixed-Use Commercial Building (site of former Cuban Queen building)

APPLICANT: Josh Lindner & Windy Jones

ADDRESS: 324 Queen Street

OWNER OF RECORD: Cuban Queen Bordello LLC

Applicant is seeking preliminary and final site plan review

ZONE: C-1

APN: 401-06-127



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Discussion/Possible Action - P&Z Reso. 2020-4

Informational Items:

ITEM 8: CUP for Residential in C-1 (site of former Cuban Queen building)

APPLICANT: Josh Lindner & Windy Jones

ADDRESS: 324 Queen Street

ZONE: C-1

OWNER OF RECORD: Cuban Queen Bordello LLC

APN: 401-06-127

Applicant is seeking a conditional use permit to allow a boarding house in the C-1 zone

Discussion/Possible Action/Recommendation to Council - P&Z Reso. 2020-5

ITEM 9: Zoning Administrator Informational Items

- Update from December Council Meeting
- Updated from December DRB Meeting

Other Items:

ITEM 10: Potential items for next P&Z agenda (Wednesday, February 5)

Discussion/Possible Direction to Staff

ITEM 11: To and from P&Z members

- Discussion to/from Board members on any other subject not specifically listed on the agenda

Discussion/Possible Direction to Staff

ITEM 12: Adjourn

The undersigned hereby certifies that this notice and agenda was posted at the following locations on or before 7 p.m. on _____, 2019

970 Gulch Road, side of Gulch fire station, exterior posting case

600 Clark Street, Jerome Town Hall, exterior posting case

120 Main Street, Jerome Post Office, interior posting case

Rosa Cays, Attest

Persons with a disability may request reasonable accommodations such as a sign language interpreter by contacting Town Hall at (928) 634-7943. Requests should be made as early as possible to allow sufficient time to make arrangements. Anyone needing clarification on a P&Z Commission agenda item may call John Knight at (928) 634-7943.



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REGULAR MEETING OF THE TOWN OF JEROME PLANNING AND ZONING COMMISSION

DATE: Wednesday, December 4, 2019 TIME: 7:00 pm

PLACE: JEROME CIVIC CENTER
600 Clark St., JEROME, ARIZONA 86331

MINUTES

ITEM 1: CALL TO ORDER/ROLL CALL

Chair Lance Schall called the meeting to order at 7:02 p.m.

Roll call was taken by Joni Savage. Commission members present were Chair Lance Schall, Vice Chair Joe Testone, Commissioners Jessamyn Ludwig, Scott Hudson and Henry Vincent.

Staff present were John Knight, Zoning Administrator and Joni Savage, Deputy Clerk.

7:02 (00:43) ITEM 2: PETITIONS FROM THE PUBLIC – There were no petitions from the public.

7:03 (00:56) ITEM 3: Approval of Minutes: Minutes of the Regular Meeting of November 6, 2019 and the Special Joint workshop minutes of November 18, 2019

Motion to Approve the Minutes of November 6, 2019

Commissioner	Moved	Second	Aye	Nay	Absent	Abstain
Hudson		X	X			
Ludwig			X			
Schall	X		X			
Testone						X
Vincent			X			

Motion to Approve the Minutes of November 18, 2019

Commissioner	Moved	Second	Aye	Nay	Absent	Abstain
Hudson		X	X			
Ludwig			X			
Schall	X		X			
Testone			X			
Vincent			X			

7:04 (3:24) ITEM 4: Site Plan Review for New Home

APPLICANT: Lori Leachman & Andrew Farber

ADDRESS: 18 North Drive

ZONE: R1-5

OWNER OF RECORD: Lori Leachman & Andrew Farber

APN: 401-11-007C

Applicant is seeking Preliminary and Final Site Plan Review to construct a single-family home

Mr. Knight referenced the new Resolution forms being used.

Chair Schall referred to the Resolution, he would like it to be referenced in the Minutes by its number 2019-1.

Motion to Pass Resolution No. 2019-1

Commissioner	Moved	Second	Aye	Nay	Absent	Abstain
Hudson		X	X			
Ludwig			X			
Schall			X			
Testone	X		X			
Vincent			X			



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7:11 (10:47) ITEM 5: R-2 Rezone

The Town of Jerome proposes to Rezone properties from R1-5 to R-2 in and around the vicinity of 10, 18 and 21 North Drive; 884, 886, 888, 894, 896, 898, 899 Hampshire Ave.; and a vacant lot identified as APN 401-11-002A on Hampshire Ave.

Mr. Knight explained this step, which is a map amendment, the text amendment has been completed.

Motion to Approve P & Z Resolution No. 2019-2

Commissioner	Moved	Second	Aye	Nay	Absent	Abstain
Hudson		X	X			
Ludwig			X			
Schall			X			
Testone			X			
Vincent	X		X			

7:17 (16:20) ITEM 6: Site Plan Review for Enclosed Porch

APPLICANT: Jack Dillenberg

ADDRESS: 700 Holly

ZONE: R1-5

OWNER OF RECORD: Jack Dillenberg

APN: 401-07-089B

Applicant is seeking Preliminary and Final Site Plan Review to enclose a porch to create a greenhouse

Motion to Approve Resolution No. 2019-3

Commissioner	Moved	Second	Aye	Nay	Absent	Abstain
Hudson			X			
Ludwig			X			
Schall	X		X			
Testone		X	X			
Vincent			X			

7:21 (19:54) ITEM 7: Review CUP condition for Central Hotel

APPLICANT: Lee Christensen

ADDRESS: 507 Main St., Suite B

ZONE: C-1

OWNER OF RECORD: Lee Christensen

APN: 401-06-088

Applicant is seeking a revision of a previously approved condition regarding parking

Mr. Knight suggested they remove the condition requesting the residents don't park in the Commercial zone. It is being questioned as to whether it is enforceable. He would like to see it as a recommendation and not a condition.

Chair Schall asked if there should be a Resolution in the packet.

Mr. Knight responded there was not. He asked Mr. Christensen about possibly getting permits for School Street.

7:27 (26:27) Lee Christensen spoke and said he had been told since it is a Main Street address they couldn't have School Street parking permits. He explained further about the problems with the vacation rental on School Street taking up so many parking spaces.

Motion to Remove the Condition and Allow the Tenant to Park Anywhere in the Free Spaces Available on 89A

Commissioner	Moved	Second	Aye	Nay	Absent	Abstain
Hudson		X	X			
Ludwig			X			
Schall	X		X			
Testone			X			
Vincent			X			



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7:33 (32:08) ITEM 8: Setback Interpretation of Section 507.E.5.a.1 (front setback in C-1)

APPLICANT: Windy Jones/Josh Lindner

ADDRESS: 324 Queen Street

ZONE: C-1

OWNER OF RECORD: Cuban Queen Bordello LLC

APN: 401-06-127

Applicant is seeking an interpretation to allow a front setback of 0'

Mr. Knight explained his interpretation.

Chair Schall said he has no objection to the interpretation.

Motion to Approve Resolution No. 2019-4 Confirming the Interpretation that 324 Queen Street Have a 0' Front Setback

Commissioner	Moved	Second	Aye	Nay	Absent	Abstain
Hudson			X			
Ludwig			X			
Schall	X		X			
Testone		X	X			
Vincent			X			

7:38 (37:50) ITEM 9: Zoning Administrator Informational Items

John Knight gave updates to the commission.

7:43 (42:19) ITEM 10: Potential items for next P&Z Agenda (Wednesday, January 8th)

John Knight spoke about the next agenda for Planning and Zoning.

7:43 (42:45) ITEM 11: Move Meeting Time to 6:00 pm (from 7:00 pm)

Chair Schall and all members were in favor of it. Direction to staff to move the meeting time to 6:00 p.m.

7:45 (44:25) ITEM 12: To and from P&Z members

No comments from the Commission.

ITEM 13: ADJOURN

Motion to Adjourn at 7:45 p.m.

Commissioner	Moved	Second	Aye	Nay	Absent	Abstain
Hudson		X	X			
Ludwig			X			
Schall	X		X			
Testone						
Vincent			X			

Approval on next page.



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REGULAR MEETING OF THE TOWN OF JEROME PLANNING AND ZONING COMMISSION

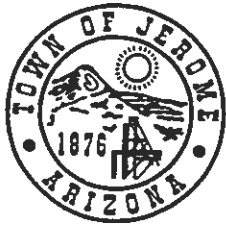
DATE: Wednesday, December 4, 2019 TIME: 7:00 pm

PLACE: JEROME CIVIC CENTER
600 Clark St., JEROME, ARIZONA 86331

Respectfully submitted by Joni Savage on January 8, 2019

Approved: _____ Date: _____
Planning & Zoning Commission Chair

Attest: _____ Date: _____
Planning & Zoning Commission Vice Chair



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P&Z RESOLUTION NO. 2019-1

APPROVING PRELIMINARY AND FINAL SITE PLAN REVIEW FOR A SINGLE-FAMILY HOME AT 18 NORTH DRIVE

WHEREAS, the Town of Jerome has received an application for Preliminary and Final Site Plan Review to construct a single-family home at 18 North Drive (APN 401-11-007C);

WHEREAS, the property is located in the R1-5 zoning district, and single-family homes are an allowed use in that District;

WHEREAS, a notice was posted at the Site on November 13, 2019 in accordance with Jerome Zoning Ordinance Section 303.1C;

WHEREAS, the Jerome Planning & Zoning Commission reviewed this application at their December 4, 2019 meeting and approved the application with certain conditions;

NOW, THEREFORE, BE IT RESOLVED by the Planning and Zoning Commission of the Town of Jerome, Arizona, that Preliminary and Final Site Plan Review is hereby approved, subject to the following conditions:

1. **Parking Spaces** – A total of two (2) off-street, parking spaces shall be provided.
2. **Construction Hours and Noise** – Construction and noise shall be limited between 8:00 pm and 7:00 am in accordance with Section 10-1-13.C. of the Jerome Town Code.
3. **Sign** – A separate application for DRB will be required for approval of any signage.
4. **Other Improvements/Changes** – Any subsequent modifications or changes to the Plans; including but not limited to changes in setbacks, square footage, fences, siding, roofing, height, etc.; will require additional review by the Planning and Zoning Commission and/or the Design Review Board.
5. **Drainage** - The building permit submittal shall indicate both existing and proposed drainage. This includes but is not limited to showing how drainage will be collected (such as from roof drains) and directed to provide disposal and protection of neighboring properties. This may include splash blocks, swales, and gravel catchments to help dissipate hydraulic energy.
6. **Grading** - Grading shall comply with the requirements of Section 303.3 of the Zoning Code. Grading plans shall include, but not be limited to, adequate dust control measures, erosion control/drainage, and fencing to protect sensitive features (such as trees to be saved).
7. **Sewer** - The plan submittal shall show and include details on the location and connection to the existing public sewer.
8. **Home Occupations** - Any proposed use of the property for a Home Occupation shall be incidental to the primary use of the property and in compliance with Section 502.M. of the Zoning Code.

P&Z RESOLUTION NO. 2019-1

9. **Building Permit Submittal and Code Requirements** - The applicant shall consult with the Building Official and submit detailed drawings for building permits that clearly demonstrate compliance with all Code Requirements, including but not limited to, coverage, height, parking and setbacks (Section 505).
10. **Expiration of Approval** - This approval shall become null and void if a building permit is not issued within six (6) months of final Planning and Zoning and Design Review Board Approval of this application. If necessary, the applicant may request an extension by the approval body prior, if the extension is submitted prior to approval expiration.

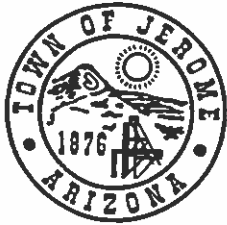
ADOPTED AND APPROVED by a majority vote of the Planning and Zoning Commission on the 4th day of December 2019.

ATTEST:


Joni Savage, Deputy Town Clerk

APPROVED:

 12/4/19
Chairman Lance Schall



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P&Z RESOLUTION NO. 2019-2

INITIATING AN R-2 ZONING MAP AMENDMENT AND SETTING A HEARING DATE

WHEREAS, the Town of Jerome is interested in rezoning an area from R1-5 to R-2; and

WHEREAS, the property to be rezoned is located in and around the vicinity of 10, 18 and 21 North Drive; 884, 886, 888, 894, 896, 898, 899 Hampshire Ave.; and a vacant lot identified as APN 401-11-002A on Hampshire Ave; and

WHEREAS, a Neighborhood Meeting was held on November 26, 2019; and

WHEREAS, the Jerome Planning & Zoning Commission has the authority to initiate a Zoning Map Amendment under Section 301.A. of the Zoning Ordinance; and

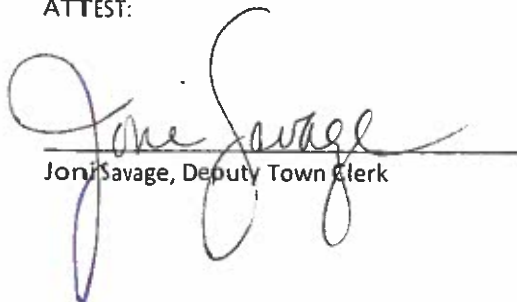
WHEREAS, the Jerome Planning and Zoning Commission is required to set a hearing date and provide public notice in accordance with Section 301.C. of the Zoning Ordinance;

NOW, THEREFORE, BE IT RESOLVED by the Planning and Zoning Commission of the Town of Jerome, Arizona, that an amendment to the Zoning Map is initiated in accordance with Section 301.A. of the Zoning Ordinance; and

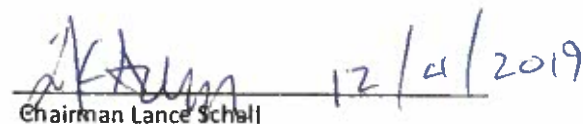
BE IT FURTHER RESOLVED that a hearing date of Wednesday, January 8th will be held to discuss the proposed amendment, and that public notice regarding such hearing shall be given in accordance with Section 301.C. of the Zoning Ordinance.

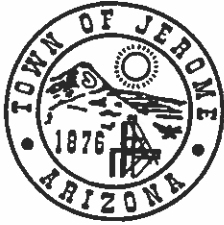
ADOPTED AND APPROVED by a majority vote of the Planning and Zoning Commission on the 4th day of December 2019.

ATTEST:


Joni Savage, Deputy Town Clerk

APPROVED:

 12/4/2019
Chairman Lance Schell



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P&Z RESOLUTION NO. 2019-3

APPROVING PRELIMINARY AND FINAL SITE PLAN FOR AN ENCLOSED PORCH AT 700 HOLLY AVENUE

WHEREAS, the Town of Jerome has received an application for Preliminary and Final Site Plan Review to construct an enclosed porch on a single-family home at 700 Holly Ave. (APN 401-07-089B); and

WHEREAS, the property is located in the R1-5 zoning district, and the proposed modification is an allowed use in that District; and

WHEREAS, a notice was posted at the Site on November 20, 2019 in accordance with Jerome Zoning Ordinance Section 303.1C; and

WHEREAS, the Jerome Planning & Zoning Commission reviewed this application at their December 4, 2019 meeting and approved the application with certain conditions;

NOW, THEREFORE, BE IT RESOLVED by the Planning and Zoning Commission of the Town of Jerome, Arizona, that the Preliminary and Final Site Plan for an enclosed porch at 700 Holly Avenue is hereby approved, subject to the following conditions:


1. **Parking Spaces** – A total of two (2) off-street, parking spaces shall continue to be maintained.
2. **Construction Hours and Noise** – Construction and noise shall be limited between 8:00 pm and 7:00 am in accordance with Section 10-1-13.C. of the Jerome Town Code.
3. **Sign** – A separate application for DRB will be required for approval of any signage.
4. **Other Improvements/Changes** – Any subsequent modifications or changes to the Plans, including but not limited to changes in setbacks, square footage, fences, siding, roofing, height, etc., will require additional review by the Planning and Zoning Commission and/or the Design Review Board.
5. **Drainage** - The building permit submittal shall indicate both existing and proposed drainage. This includes but is not limited to showing how drainage will be collected (such as from roof drains) and directed to provide disposal and protection of neighboring properties. This may include splash blocks, swales, and gravel catchments to help dissipate hydraulic energy.
6. **Home Occupations** - Any proposed use of the property for a Home Occupation shall be incidental to the primary use of the property and in compliance with Section 502.M. of the Zoning Ordinance.
7. **Building Permit Submittal and Code Requirements** - The applicant shall consult with the Building Official and submit detailed drawings for building permits that clearly demonstrate compliance with all Code Requirements, including but not limited to, coverage, height, parking and setbacks (Section 505).

P&Z RESOLUTION NO. 2019-3


8. **Expiration of Approval** - This approval shall become null and void if a building permit is not issued within six (6) months of final Planning and Zoning and Design Review Board Approval of this application, whichever is later. If necessary, the applicant may request an extension by the approval body, if the extension is submitted prior to approval expiration.

ADOPTED AND APPROVED by a majority vote of the Planning and Zoning Commission on the 4th day of December 2019.

ATTEST:


Joni Savage, Deputy Town Clerk

APPROVED:

 12/4/2019
Chairman Lance Schall



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P&Z RESOLUTION NO. 2019-4
CONFIRMING A CODE INTERPRETATION FOR 324 QUEEN STREET TO
HAVE A 0' FRONT SETBACK

WHEREAS, the Town of Jerome has received a request from Windy Jones and Josh Lindner for an interpretation of Code Section 507.E.5.a.1 regarding front setbacks in the C-1 Zoning District for property located at 324 Queen Street (APN 401-06-127); and

WHEREAS, the Zoning Administrator has the authority under Code Section 107.B. to enforce the Zoning Ordinance; and

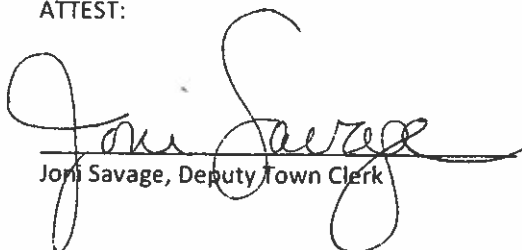
WHEREAS, the Zoning Administrator requests that the Planning and Zoning Commission provide direction on the interpretation of the Code section relating to the front setback; and

WHEREAS, the Jerome Planning & Zoning Commission reviewed this request at their December 4, 2019 meeting.

NOW, THEREFORE, BE IT RESOLVED by the Planning and Zoning Commission of the Town of Jerome, Arizona, that property located at 324 Queen Street meets the Code requirements to allow for a 0' front setback.

ADOPTED AND APPROVED by a majority vote of the Planning and Zoning Commission on the 4th day of December 2019.

ATTEST:


Joni Savage, Deputy Town Clerk

APPROVED:

 12/4/2019
Chairman Lance Schall



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ZONING ADMINISTRATOR ANALYSIS PLANNING & ZONING COMMISSION

January 8, 2020

ITEM 4: **R-2 Rezone (table/continue to February 5, 2020 or a date certain)**
Location: In and around the vicinity of 10, 18, and 21 North Drive; 884, 886, 888, 894, 896, 898, and 899 Hampshire Avenue; and a vacant lot identified as APN 401-11-002A on Hampshire Avenue.
Applicant: Town of Jerome
Recommendation: Continue
Prepared by: John Knight, Zoning Administrator

Summary: At the previous meeting on December 2019, the Planning and Zoning Commission (the Commission) set a hearing date for January 8, 2020, regarding the proposed rezone from R1-5 to R-2. Unfortunately, due to holidays and staffing changes, the project was not properly noticed. Noticing is required via site posting and in the newspaper. This item should be continued to allow staff time to properly notice in accordance with the ordinance requirements. A copy of the relevant zoning code section is noted below for reference.

Section 301.C.1: COMMISSION ACTION: Upon receipt of any complete application for, and prior to holding a public hearing on, rezoning or ordinances that impose a new land use regulation or modify an existing land use regulation, a neighborhood meeting shall be required in accordance with Section 306 of this zoning ordinance. The Commission shall then fix a reasonable time for the hearing of the proposed zone change, amendment, or addition and shall give notice thereof to interested parties and to the public by publication of a notice in the official newspaper of the Town, and by posting the area included in the proposed change, not less than fifteen (15) days prior to the hearing. The notice shall set forth the time and place of the hearing including a general explanation of the matter to be considered and including a general description of the area affected. The Commission may for any reason, when it deems such action necessary or desirable, continue such hearing to a time and place certain. Within thirty (30) days after the close of the hearing, the Commission shall render its decision in the form of a written recommendation to the Council. The recommendation shall include the reasons for the recommendation.



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ZONING ADMINISTRATOR ANALYSIS PLANNING & ZONING COMMISSION

January 8, 2020

ITEM 5: Site Plan Review for Single-Family Home
Location: 174 North Drive
Applicant/Owner: Matt Dougan/Celurius LLC (Terrill Currington)
ZONE: R1-5
APN: 401-11-012N
Recommendation: Approve P&Z Resolution No. 2020-2 with conditions
Prepared by: John Knight, Zoning Administrator

Summary: Applicant requests approval of preliminary and final site plan review to construct a single-family home. Single-family homes are permitted uses in the R1-5 Zone (505.B.1). Note that this proposal is tentatively scheduled for review by the Design Review Board (January 13, 2020).

Average Grade/Height Issue: The proposed plans exceed the 25-foot maximum height by approximately 6 feet. The average existing grade is approximately 4,778.5 feet. This allows for a maximum height (elevation) of 4,803.5 feet ($4,778.5 + 25 = 4,803.5$ feet). The only portion of the building that exceeds the height allowance is the 2nd-floor loft bedroom at the front of the home. In discussions with the applicant, he has agreed to remove the loft bedroom and convert the area to a roof deck/patio. All other areas of the building will remain the same. The applicant will be bringing revised plans to the meeting that show this change.

Posting: A notice was posted on site on December 23, 2019.

Zoning Ordinance Compliance -

Section 303.1.A. Purpose

The purpose of the preliminary site plan review is to provide for the public health, safety and general welfare, and to protect the environment and the historical character of the Town of Jerome. The plan review will include examination of all proposed site work and excavation and grading regulations, with special regulation of work on sites with extreme slope or unstable soils. Essential to this purpose is the review of possible impacts on surrounding properties.

Response: The Zoning Administrator and Planning & Zoning Commission are required to review the proposed plans to provide for the public health, safety and general welfare, and to protect the environment and the historical character of the Town of Jerome. This includes a review of all proposed site work, grading, and potential impacts on surrounding properties.

Section 303.1.A. Review Procedures

The Zoning Administrator shall have ten (10) working days from the date of submission of a preliminary site plan application to review said plan for completeness. A completed preliminary site plan shall be submitted to the Planning and Zoning Commission at the earliest meeting time available. The Zoning Administrator may request Design Review recommendation on the Preliminary Site Plan. The Planning and Zoning Commission shall approve, conditionally approve or deny said plan. Once denied, the original plan shall not be resubmitted. The Planning and Zoning Commission may, if the preliminary drawings and other data are sufficiently clear and explicit, waive the requirements of Section 303.2 and/or Grant Final Approval at the Preliminary Review session, provided all other requirements of this section are conformed with.

Response: After reviewing the proposed plans and application materials, the Planning and Zoning Commission may approve, conditionally approve, or deny the plan. Note: this section also identifies that the applicant may receive both preliminary and final site plan review if the drawings and information are sufficiently clear. The applicant has requested both preliminary and final approval as part of their request.

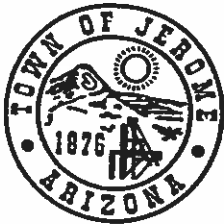
Section 505.D. Property Development Standards and Section 510.D. Parking

Item	Code Standard	Proposed
Square Footage of Bldg.	850 square feet min.	2,567 square feet
Lot Coverage	60% max.	13% (1,421 sq. ft. x 11,250 sq. ft.)
Front Yard	10 feet min.	19 feet
Side Yard	5 feet min.	5 feet
Rear Yard	20 feet min.	64 feet
Building Height	25 feet max.	31 feet (6' over max. height)
Max. Wall Height	35 feet max.	31' +/-
Deck Setback	5 feet min.	64 feet (from rear) and 21 feet from side
Parking	2 spaces	2 spaces plus 2 guest parking spaces

Response: The proposal meets all standards except for the height restriction. As noted above, the applicant has agreed to remove the loft bedroom in order to comply with the ordinance.

Recommended Conditions: The Planning and Zoning Commission may add conditions to ensure compliance with town ordinances and standards. The zoning administrator has prepared a resolution and conditions for consideration by P&Z.

Recommendation: The zoning administrator recommends approval of the attached P&Z Resolution No. 2020-2, which includes both preliminary and final site plan review and conditions.



Founded 1876
Incorporated 1899

TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331
(928) 634-7943 FAX (928) 634-0715

P&Z RESOLUTION NO. 2020-2

APPROVING PRELIMINARY AND FINAL SITE PLAN REVIEW FOR A SINGLE-FAMILY HOME AT 174 NORTH DRIVE

WHEREAS, the Town of Jerome has received an application from Matt Dougan for Preliminary and Final Site Plan Review to construct a single-family home at 174 North Drive (APN 401-11-012C); and

WHEREAS, the property is in the R1-5 zoning district, and single-family homes are an allowed use in that District; and

WHEREAS, a notice was posted at the Site on December 23, 2019 in accordance with Jerome Zoning Ordinance Section 303.1C; and

WHEREAS, the Jerome Planning & Zoning Commission reviewed this application at their January 8, 2020 meeting; and

WHEREAS, the Planning and Zoning Commission finds that the site plan does not adversely affect the public health, safety and general welfare, and protects the environment and the historical character of the Town of Jerome;

NOW, THEREFORE, BE IT RESOLVED by the Planning and Zoning Commission of the Town of Jerome, Arizona, that the Preliminary and Final Site Plan for a single-family home at 174 North Drive is hereby approved, subject to the following conditions:

1. **Height** – The building height shall not exceed 25' above existing average grade. This will require removal of the 2nd Floor Loft Bedroom at the front of the building.
2. **Parking Spaces** – A total of two (2) off-street, parking spaces shall be provided.
3. **Construction Hours and Noise** – Construction and noise shall be limited between 8:00 pm and 7:00 am in accordance with Section 10-1-13.C. of the Jerome Town Code.
4. **Sign** – A separate application for the Design Review Board will be required for approval of any signage.
5. **Other Improvements/Changes** – Any subsequent modifications or changes to the Plans, including, but not limited to, changes in setbacks, square footage, fences, siding, roofing, height, etc., will require additional review by the Planning and Zoning Commission and/or the Design Review Board.
6. **Drainage** - The building permit submittal shall indicate both existing and proposed drainage. This includes, but is not limited to, showing how drainage will be collected (such as from roof drains) and directed to provide disposal and protection of neighboring properties. This may include splash blocks, swales, and gravel catchments to help dissipate hydraulic energy.

P&Z RESOLUTION NO. 2020-2

7. **Grading** - Grading shall comply with the requirements of Section 303.3 of the Zoning Code. Grading plans shall include, but not be limited to, adequate dust control measures, erosion control/drainage, and fencing to protect sensitive features (such as trees to be saved).
8. **Sewer/Septic** - The building permit submittal shall show and include details on the location and connection to either public sewer or the use of a septic system.
9. **Home Occupations** - Any proposed use of the property for a Home Occupation shall be incidental to the primary use of the property and in compliance with Section 502.M. of the Zoning Code.
10. **Building Permit Submittal and Code Requirements** - The applicant shall consult with the Building Official and submit detailed drawings for building permits that clearly demonstrate compliance with all Code Requirements, including but not limited to, coverage, height, parking and setbacks (Section 505).
11. **Expiration of Approval** - This approval shall become null and void if a building permit is not issued within six (6) months of final Planning and Zoning and Design Review Board Approval of this application. If necessary, the applicant may request an extension by the approval body, if the extension is submitted prior to approval expiration.

ADOPTED AND APPROVED by a majority vote of the Planning and Zoning Commission on the 8th day of January 2020.

ATTEST:

APPROVED:

Rosa Cays, Deputy Town Clerk

Chairman Lance Schall



Founded 1876
Incorporated 1899

TOWN OF JEROME, ARIZONA

Jerome Town Hall and Civic Center
600 Clark Street
P.O. Box 335, Jerome, AZ 86331
(928) 634-7943 FAX (928) 634-0715 www.jerome.az.gov

APPLICATION FOR PLANNING & ZONING COMMISSION

PLEASE PRINT LEGIBLY SO THAT PROCESSING WON'T BE DELAYED.

APPLICANT NAME: Matt Dougan Design For property Owner Terrill Currington
MAILING ADDRESS: 105 Red butte Dr. Sedona, Az 86351
TELEPHONE: 928 592 8120 EMAIL: mbdougan@gmail.com
PROJECT ADDRESS: 174 NORTH DRIVE, JEROME, AZ 86331
PARCEL NUMBER: 401-11-12N ZONE DISTRICT: DUNDEE PLACE

APPLICATION FOR (Please describe the project.): preliminary & final P and Z review of single family residence new construction
FOR TERRILL CURRINGTON, PROPERTY OWNER
ADDRESS: TERRILL CURRINGTON DBA CELURIUS LLC PO BOX 1118 JEROME, AZ 86331 PH: 415 851-4913

- I hereby apply for consideration and conditional approval by the above Planning and Zoning Commission.
- I understand that application fee is due at submission and review will not be scheduled until fee is paid to the Town.
- I have obtained and reviewed information on the criteria used in evaluation by the Planning & Zoning Commission and/or reviewed the application provisions in the Town Zoning Ordinance.
- I understand that this application will not be scheduled for consideration until all required materials have been submitted and reviewed.

APPLICANT SIGNATURE: Matthew Dougan  DATE: 12-19-19

TOWN USE BELOW

RECEIVED FROM: Matt Dougan DATE: 12/30/19
Received the sum of \$ 100 as: ☒ Check No. 10 ☐ Cash ☐ Credit Card

Per Fee schedule - Ordinance 331

BY: Rosa Cays FOR: John Knight

PLEASE NOTE:

After approval from the Planning & Zoning Commission and Design Review Board, most building projects must then be submitted to the Building Inspector for review, approval and issuance of building permit.

REGARDING BUILDING PERMITS:

Additional fees are required for building permits to reimburse the Town for costs of providing plan review and construction inspection services. Commercial projects, and some residential projects may require plans to be prepared and/or sealed by an Arizona registrant, such as a licensed architect or engineer, per A.R.S. §32-144. Licensed contractors may be required for construction projects per A.R.S. §32-1121.

PLANNING & ZONING REVIEW**REQUIRED ITEMS ARE PER ZONING ORDINANCE SECTION 503**

NOTE: FIRE SAFETY; A PLAN REVIEW WILL BE CONDUCTED FOR SUBMISSIONS INVOLVING EXPANSION OF NONCONFORMING STRUCTURES, NEW BUILDINGS AND ALL PROJECTS IN COMMERCIAL OR INDUSTRIAL ZONES.

Each application will be filed with the Zoning Administrator, reviewed by Building Inspector and Fire Department, then forwarded to the Planning & Zoning Commission. The application shall be submitted with eight copies of a plan. The plan shall be on paper not measuring more than twenty-four inches by thirty-six inches (24" x 36"), drawn to a scale not smaller than forty feet (40') to the inch. A checklist is provided to ensure inclusion of all necessary data. Additional information may be requested for final approval.

PROPOSED USE: single family residence

PERMITTED USE: Yes ☐

No: ☐

Eight (8) copies of the site plan, all required items below must be included per Section 303 I.C of the Zoning Ordinance.

- ☐ North arrow
- ☐ Scale – no smaller than 1 inch = 40 feet
- ☐ Property lines and lot dimensions
- ☐ Street names
- ☐ Easements
- ☐ Utilities
- ☐ Location of all existing and proposed buildings and structures and number of stories (describe heights & sq. ft.)
- ☐ Exterior lighting – existing and proposed
- ☐ Dimensions of all required yard depths; show setback for front, side and rear yards
- ☐ Space between buildings, existing and proposed (must be clearly written on site plan)
- ☐ Location and height of all existing and proposed walls and fences
- ☐ Existing man-made features (roads, walkways, stairways, etc.)
- ☐ Existing natural features (rock outcroppings, washes, etc.)
- ☐ Location and dimension of parking spaces – existing and proposed
- ☐ Location and dimension of driveways – existing and proposed
- ☐ Location and dimension of pedestrian walkways and stairways – existing and proposed

Grading/Excavating – Engineering reports may be required

- ☐ Existing and proposed drainage, indicate high and low on site plan, and general direction of flow → on site
- ☐ Existing and proposed grades
- ☐ Slope of property (calculation example on page 5)
- ☐ Proposed excavation

Vicinity sketch - may be presented on site plan or as separate document

- ☐ Include the site, relation to streets and adjacent properties

PROPERTY DESCRIPTION, ADDITIONAL INFORMATION

1. Nonconforming lot of record? no
2. Name of connecting public street North
3. Public water (domestic)? yes Public sewer? no
Public water (fire suppression?) yes Public septic? n/a
4. Lot area 11,250 sq. ft Required for zone _____
5. Lot width see site plan Required for zone _____
6. Square footage of building 2,567 Required for zone _____
Square footage of footprint including decks, patios, courtyards and driveway 3,836 sq. ft.
7. Lot coverage; add footprints of existing and proposed buildings ÷ total lot area x 100 = % lot coverage 34 %
8. Yards: Front 10' Front of buildings within 100 feet _____
Side yard (1) 5' Side yard (2) 5'
Rear yard 20' Single or double frontage single
9. Proposed building height from median 18 Maximum face 24
10. Accessory buildings, describe size and use for existing, proposed modifications or new accessory buildings:
Existing sq. ft. n/a Proposed sq. ft. n/a Proposed height n/a
Proposed Use: n/a
- Engineering may be required on Items 11, 12 and 13 – describe proposed plans*
11. Fill required? yes Is evidence of safety of fill required? n/a
12. Excavation required? yes Is evidence of safety of excavation required? n/a
13. Is land suitable for building? (engineering verification may be required) yes
Slope (see page 5 for calculation example) 24.32% in building footprint
- Engineering report requested by Building Inspector _____ Engineering report submitted _____
ANY ENGINEERING REQUIRED TO BE SUBMITTED W / BUILDING PACKET

COMMERCIAL & INDUSTRIAL DEVELOPMENT – FIRE SAFETY REVIEW REQUIRED

Plan reviewed for fire safety by: _____ Date: _____



Fire escape, if required by Building Inspector, must be added to site plan.

Fire suppression/sprinklers, if required will be submitted on final plans to Building Inspector.

PARKING AND LOADING – Please review ZONING ORDINANCE, §510

1. Proposed use SINGLE FAMILY HOME
2. Is this a change of use? NO
3. Is this a pre-existing structure? NO
4. Describe any loading requirement SEE PLANS
5. Parking requirement MIN. 2 CAR PARKING IN DRIVEWAY WITH MAXIMUM OF 4 CARS

How will requirement be fulfilled? SEE SITE PLAN

6. Off-street parking

Spaces required <u>2</u>	Spaces provided <u>4 SPACES IN DRIVEWAY TOTAL</u>
Access from public street(s) (street name(s))	<u>Yes, from North Drive</u>
Dimensions	<u>MAIN DRIVEWAY PRKG 25'X22' PRKG AT STREET FRONTAGE</u>
Grading required	<u>ADDITIONAL PRKG ALONG STREET FRONTAGE SEE SITE PLAN</u>
Surface	<u>YES AS PART OF CONSTRUCTION</u>
	<u>FINISHED WITH CONCRETE PAVERS</u>
Circulation pattern and exiting procedure	_____

Industrial Performance Standards – Please review and indicate compliance with the following:

Standard	Compliance Guaranteed
Noise	<u>N/A</u>
Smoke	<u>N/A</u>
Glare or heat	<u>N/A</u>
Vibration	<u>N/A</u>
Fly ash, dust, fumes, vapors, gases or other forms of air pollution	<u>N/A</u>
Liquid and solid waste	<u>N/A</u>
Odors	<u>N/A</u>

MATT DOUGAN DESIGN

architectural + interior design + planning

AIBD

ASID

928 592 8120

310 997 5757

mbdougan@gmail.com

December 18, 2019

SCOPE OF PROJECT:

SUBMITTAL FOR PRELIMINARY & FINAL REVIEW OF BOTH JEROME PAND Z AND JEROME DESIGN BOARD REVIEW FOR A (NEW CONSTRUCTION) CUSTOM SINGLE FAMILY RESIDENCE (NEW CONSTRUCTION)

FOR CLIENT: Mr. Terrill Currington

PROPERTY: 174 NORTH DRIVE, JEROME AZ 86331

APN: YAVAPAI COUNTY, AZ 401-11-012N

ZONING: R1-5

Hello, I am Matt Dougan, owner and Lead Architectural Designer for Matt Dougan Design and I have been in the Architectural Design and Planning Professional Service for over 22 years in Sedona. In that time I have designed, planned and permitted over 70 custom homes, 2 Restaurants (one being the noted Mariposa in Sedona) along with 2 hotels and Resorts in Arizona and across the Southwestern U.S.

In my 22 years I have designed all around Jerome in Arizona, from Flagstaff to Sedona and Prescott to Phoenix and Tucson and finally now Jerome in which I have long desired to complete a custom Architectural Design and am thrilled to be designing this home.

I have been commissioned by Mr. Terrill Currington the owner of this property To Design and develop Plans for permitting of a Single Family Residence . Mr. Currington has traveled to Jerome many times over the years and has come to love and appreciate Jerome for it's uniqueness and the surrounding country and he specifically bought the property because of his love for this area and his intent on living here full time in the future. This New Residence is to be used initially as a 2nd home Mr. Currington who Travels frequently with his work and to also serve as a Vacation Retreat for his Family and Guests and will eventually become his fulltime Residence.

This project is to be located on Property which is Yavapai county parcel number 401-11-012N address: 174 North Drive, Jerome, AZ 86331 and which is adjacent to and on the East/ Northeast side of a property located at 168 North Drive, Jerome, AZ which has a current house (Single Family residence).

The home Design Style is a Rustic Modern style (see Elevations) that incorporates a unique Round Façade Pivot Front Door along with finish elements that reflect the local

historic mining town Architecture and will articulate well with the Jerome style. WE will be incorporating exterior finishes such as Rusted metal siding and roofing , cement form-board style siding or Actual Aged / vintage barn wood siding along with natural – dry-stack stone veneers and earthen colored stucco. All exposed wood fascias and/ or wood trim to be wrapped in rusted metal or rusted metal look/ style to limit weathering and deterioration with any exposed wood on doors to be stained using Sikkens exterior stains in Dark oak and Teak tones. (see samples/ photographs).

The Landscaping (see Elevations , photographs) is to be kept a clean minimalist design using plants that are native to the area that require minimal water and up-keep along with a decorative gravel that accents well with the proposed natural dry stack rock veneer that is proposed for the home.

Drainage from roof will be directed with downspouts and Rain chains to a surface gravel finish under all eaves around the perimeter of the home and parking and over a erosion control underlayment and connected to o perforated drain pipes under the Erosion Control underlayment, finish soil and gravel to displace runoff to guided swales with check dams as the drainage / runoff courses down the slope of the property in order to minimize effect on the natural flow and any natural washes across the property. (see site plan)

Section 505.D Property Development Standards & Section 510.D Parking
For: Zoning R1-5

ITEM	CODE STANDARDS	PROPOSED
SQUARE FTG. OF BUILDING	850 SQ. FT. MIN.	2,567 FOR HOME 3,836 SQ. FT. FOR HOME & ALL PATIOS, DECKS & DRIVEWAY /PARKING
LOT COVERAGE	60% MAX.	25% FOR HOME & 34% FOR ALL HOME, DECKS, PATIOS AND DRIVEWAY PARKING
FRONT YARD	10' MIN.	10'
SIDE YARD	5' MIN.	5'
REAR YARD	20'MIN.	20'
BUILDING HEIGHT	25' MAX	18' TO 24'
DECK SETBACK	5' MIN.	16' MIN.
PARKING	2 SPACES	2 SPACES IN MAIN PARKING WITH UP TO 2 MORE ALONG FRONTAGE SEE SITE PLAN

There has been Perc Tests conducted (see attached) and concluded that although an Alternative System is recommended, it may be possible to design a conventional

system around the surface and subsurface limiting conditions and additional testing may be needed to design a conventional system.

Steve Burnet will be retained to Design and Install the Waste System and to perform additional testing as required.

A Test to ascertain the Physical properties of Soils and Aggregates Completed by Western Technologies Inc. (see attached) was completed prior to the Sale of the property to Mr. Currington and with plasticity index found to below 15 (Tested PI is 13) is sufficient for standard construction methods.

The home calculations are provided below and it consists of 3 levels, with main level and a (2nd story loft BR) at road grade and stepping down the hill which is a grade of 24.32% (See Right & Left Elevations) with a maximum of 31.2 % grade within the home footprint, to a lower level walkout. All heights are within limits of Jerome city code (see Section 505.D table above) The home consists of 5 Bedrooms and 4 ½ baths, a total of 2,567 sq. ft. of living space. There is additionally 332 sq. ft of decks and covered patios/porches and additional surface footprint area of 937 sq. ft. for the driveway parking and front courtyard areas to make a total footprint sq. footage of 3,836 sq. ft. which is well below the total footprint area allowed of 60% or 6,750 sq. ft. for this particular lot.

CURRINGTON RESIDENCE PROPERTY + HOUSE CALCULATIONS

HOME CALCULATIONS

WALK-OUT LOWER LEVEL FLOOR PLAN	883 SQ. FT.
MAIN LEVEL FLOOR PLAN	1,421
LOFT FLOOR PLAN	263
HOME LIVING SQ. FTG	2,567 SQ. FT
DECKS	278
COVERED PATIO PORCHES	54
SUB TOTAL FOOTPRINT	2,899 SQ. FT.
ADDITIONAL FOOTPRINT	
DRIVEWAY/PARKING	795
FRONT COURTYARD	142
TOTAL FOOTPRINT	3,836 SQ.FT.

CUT & FILL ESTIMATES

CUT: 140 CU. YARDS

FILL: 106.67 CU. YARDS

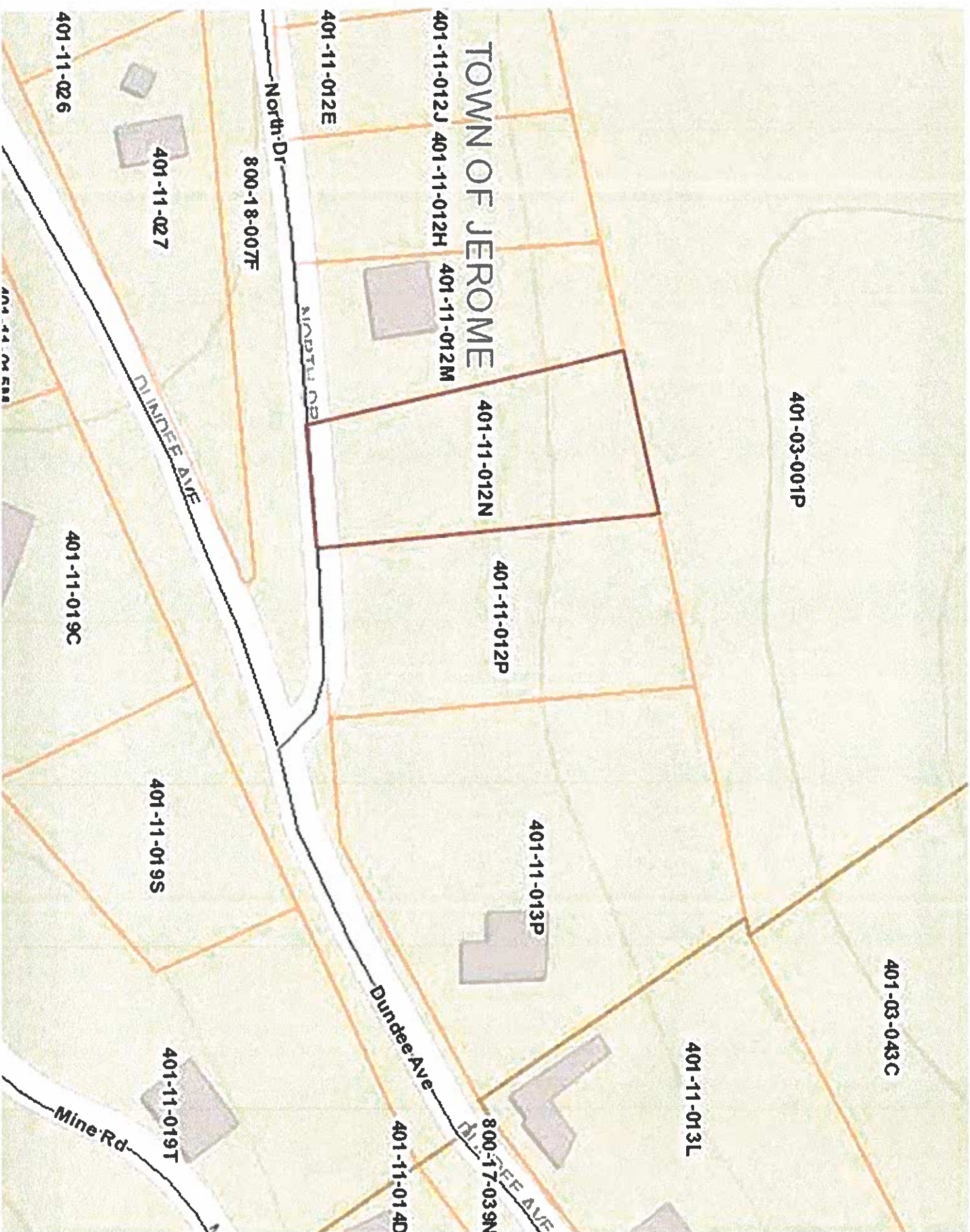
There is an overhead Utility line across the property and we will be in discussion with APS as to the possibility of having the Electrical Service go underground at the West side of the property and to a ground mounted transformer on either the West or the East side of the Property at the Road.

I sign verifying that all Information Given is correct and true to the best of my knowledge.

A handwritten signature in black ink, appearing to read 'Matt Dougan', with a stylized, sweeping flourish extending from the end.

Matthew (Matt) Dougan
Lead Architectural Design + Owner
MATT DOUGAN DESIGN

CURRINGTON LOT VICINITY MAP



CURRINGTON LOT APN: 401-11-012N

MATT DOUGAN DESIGN
architectural + interior design + planning

928.592.81.20
310.997.5757
mbdougan@gmail.com



CURRINGTON PROPERTY APN: 401-11-012N PHOTOS



HOME ON LEFT (WEST) SIDE
OF PROPERTY AT 168
NORTH DRIVE



HOME ON RIGHT (EAST,
NORTHEAST) SIDE OR
PROPERTY AT 222 DUNDEE



POWER LINE ACROSS PROPERTY
NOTE: WE ARE DISCUSSING OPTION WITH APS
OF BRINGING POWER INTO THE GROUND AT
THE EAST NORTHEAST SIDE OF THE PROPERTY
IF NOT FEASIBLE WE CAN MOVE THE
PROPOSED HOME DOWN THE HILL SLIGHTLY
TO FACILITATE THE UTILITY LINE TO BE HIGH IN
FRONT OF THE HOME AS IS CURRENTLY FOR
HOME TO LEFT

CURRINGTON RESIDENCE EXTERIOR & ROOF METAL, WOOD, CEMENT & STONE FINISH SELECTIONS & INSPIRATION



THIS IS THE MAIN INSPIRATION FOR THE STYLE AND EXTERIOR FINISH OF THE PROPOSED RESIDENCE., WITH STONE , RUSTED METAL SIGING AND RUSTED METAL ROOFING. THIS IS THE MARIPOSA RESTAURANT IN SEDONA THAT I DESIGNED SEVERAL YEARS AGO

THE STONE SHOWN HERE IS ONE OF THE OPTIONS FOR THE NATURAL STONE VENEER WE'D LIKE TO USE, THIS ONE IS SEDONA RED MOSS ROCK



THIS IS THE OTHER STONE OPTION A TAN/BUFF COLOERD DRY STACK LEDGESTONE



RUSTED CORUGATED METAL ROOFING OR PAINTED RUST PATINA ROOFING



THIS IS THE STYLE INPIRATION FOR THE MODERN RUSTIC LOOK WE ARE GOING FOR THAT HAS THE MINING TOWN ARCHITECTURAL STYLE WITH THE VERTICAL BARNWOOD ALONG WITH RUSTED METAL PANELS THE OPTION FOR THE BARNWOOD WOULD BE THE THE FORM BOARD CEMENT BA ORD SIDING SHOWN BELOW



THIS IS CONCRETE BOARD FORM STYLED EXTERIOR SIDING PANELS THAT CAN BE USED INLIEU OF BARNWOOD OR IN COMBINATION THEREOF IN DIFFERENT AREAS OF THE EXTERIOR WALLS. THIS MATERIAL CAN BE PLACED HORIZONTAL OR VERTICAL

PROPOSED STUCCO COLORS

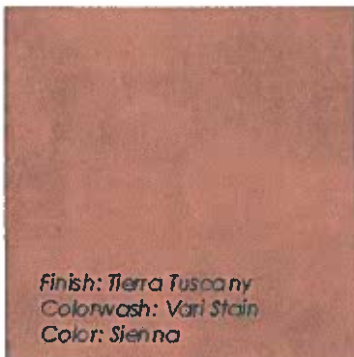
BRAND: ACG SYNTHETIC EARTHEN LOOK STUCCOS NOTE: STUCCO WILL BE COLOR IMPREGNATED NOT PAINTED



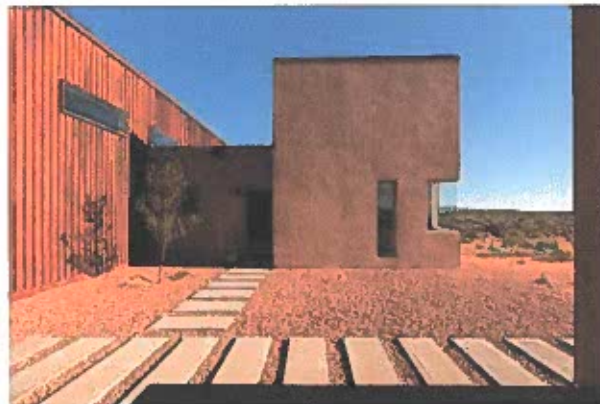
THIS COLOR IS PROPOSED TO BE THE LIGHTEST COLOR WE WOULD GO WITH IN COLORED STUCCO



INSPIRATION FOR TIERRA TUSCANY EXTERIOR STUCCO FINISH/ IS THE COLOR LOOK ON HOME / OLD HOTEL AT 300 BELL IN JEROME



THIS COLOR IS PROPOSED AS THE PRIMARY STUCCO COLOR /TONE



MODERN RUSTIC STYLE HOME SAME KIND OF STYLE AS OUR DESIGN IS INSPIRATION FOR SIENNA EARTHEN TONE STUCCO

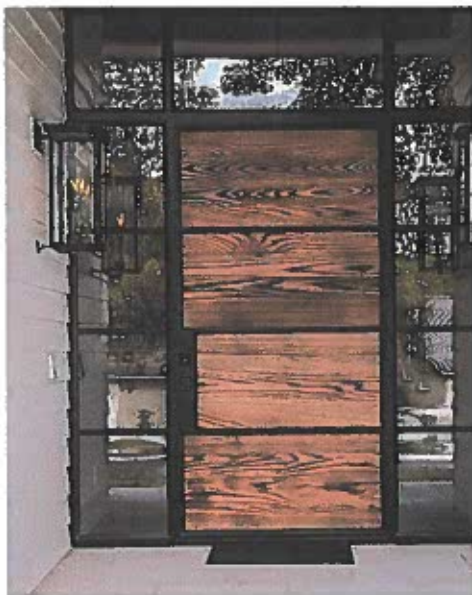


DRIVEWAY PAVES STYLE
BELGARD DUBLIN COBBLE

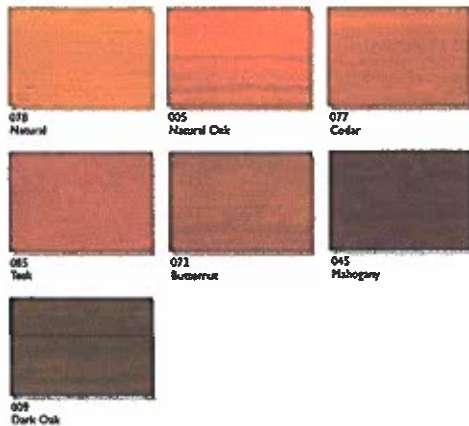
CURRINGTON RES. INSPIRATION FOR DOOR
STYLE / SELECTION AND WOOD STAIN FINISHES



INSPIRATION FOR ROUND DOOR / ROUNDED
GLASS SIDEUTES



ALTERNATE CHOICE FOR FRONT DOOR STYLE



PROPOSED SIKKENS SE exterior STAIN COLORS
FOR ANY WOOD TRIM AND DOORS
TOP CHOICE DARK OAK , THEN BUTERNUT AND
TEAK

**PROGRESS
LIGHTING**

CURRINGTON
RESIDENCE EXTERIOR
DARK SKY COMPLIANT
LIGHTING



Progress Lighting Cylinder 2 Light Outdoor Wall Sconce with Metal Cylinder Shade - 14" Tall

Model: P5675-31

from the Cylinder Collection

★★★★ 30 Reviews | Write a Review

Progress Lighting Low Price Deals
Save on select items. No Coupon Necessary! Shop and Save!
Offer Ends 12-31-2019

Exclusive Savings on Lighting - Limited Time Only
Call (800) 375-3403, or request a quote for the best prices on Lighting today!

\$92.67

Finish: Black



The P5675 Series are ideal for a wide variety of interior and exterior applications including residential and commercial. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits.

Features:

- Metal cylinder shade creates up and down lighting
- Powder coat painted finishes
- Made of cast aluminum
- Requires (2) PAR30 shaped, medium base (E26) bulbs - **Not Included**
- Product is indoor rated unless cover lens is purchased with fixture, then it is wet location rated
- **Optional Cover Lens Required for Wet Location Rating - P8799-31 offered at checkout**

Dimensions:

- Fixture Height: 14"
- Fixture Overall Width: 5"
- Fixture Depth: 8-7/8"
- Height to Center Outlet: 7"
- Shade Height: 14"
- Backplate Height: 4-1/2"
- Backplate Width: 4-1/2"

Electrical Specifications:

- Bulb Base: Medium (E26)
- Bulb Included: No
- Number of Bulbs: 2
- Dimmable: Yes (when used with dimmable bulbs)
- Title 24: No
- Voltage: 120V (U.S. standard line voltage)
- Maximum Total Wattage: 150W
- Maximum Watts Per Bulb: 75W
- ADA Compliant: No
- Photocell: No

Dimensions and Measurements

Backplate Height	?	4.5 in.
Backplate Width	?	4.5 in.
Depth	?	8.875 in.
Extension	?	8 in.
HCO	?	7 in.
Height	?	14 in.
Product Weight	?	2.8 lbs.
Shade Depth	?	5 in.
Shade Height	?	14 in.
Width	?	5 in.
Wire Length	?	6 in.

Included Components

Bulb Included: No

[View More](#)

Product Videos





Project: _____
Fixture Type: _____
Location: _____
Contact: _____

CYLINDER

Wall mounted • Damp location listed

PROGRESS LED

Specifications:

P5642-20/30K

Description:

The P5642 Series are ideal for a wide variety of interior and exterior applications including residential and commercial. The Cylinders feature a 120V alternating current source and eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits. Specify P8798-31 top cover lens for use in wet locations.

Construction:

Antique Bronze (-20) (powdercoat)
Die cast and extruded aluminum construction
metal shade
Flicker-free dimming to 10% brightness with most ELV type dimmers
(See Dimming Notes)
Rack plate covers a standard 4" hexagonal recessed outlet box
Mounting strap for outlet box included
6" of wire supplied
Wet location listed when used with P8798 lens cover (sold separately)

Images:



Dimensions:

Width: 6"
Height: 18"
Depth: 8-7/8"
H/CTR: 8"

Performance:

Number of Modules	2
Input Power	29W
Input Voltage	120V
Input Frequency	60 Hz
Lumens/LPW (Down)	1262/44 (LM-79) per module
Lumens/LPW (Up)	1300/44 (LM-79) per module
CCT	3000K
CRI	90
Life	60,000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Min. Start Temp	-30° C
Max. Operating Temp	30° C
Warranty	5 year warranty
Labels	cCSAus Damp location listed

Catalog number:

Base	Finish	Color Temp	CRI
P5642	20 - Antique Bronze	30K - 3000K	Blank- 90 CRI



**Western
Technologies
Inc.**

The Quality People
Since 1955

2400 East Huntington Drive
Flagstaff, AZ 86004
(928) 774-8700

PHYSICAL PROPERTIES OF SOILS & AGGREGATES

Client **CREATIVE PROPERTY LOCATORS**
STEPHANIE CANTO
PO BOX 1021
JEROME, AZ 86331

Date of Report **05-02-16**
Job No. **254630155**
Event / Invoice No. **1/68562**
Authorized by **STEPHANIE CANTO**
Sampled by **WTD.MONTGOMERY**
Submitted by **WTD.MONTGOMERY**
Source / Location Designated by **WTD.MONTGOMERY**

Lab No. **1**
Date **05-20-16**
Date **05-20-16**
Date **05-20-16**
Date **05-20-16**

Project **2016 VARIOUS QUALITY CONTROL TESTING**
Location **NORTH DRIVE, JEROME AZ**
Type / Use of Material **NATIVE/ON SITE**
Supplier / Source **NONE/ON SITE**
Sample Source / Location **CENTER OF LOT 6' TO 1'**
Special Instructions

TEST RESULTS

SIEVE ANALYSIS : ASTM C136 FINER THAN NO. 200 : ASTM C117			LABORATORY COMPACTION CHARACTERISTICS :		METHOD	
SIEVE	ACCUMULATIVE % PASSING	SPECIFICATION	DRY UNIT WEIGHT, LB/FT ³		SAMPLE PREPARATION: <input type="checkbox"/> WET <input type="checkbox"/> DRY	
4	85					
3	74				<input type="checkbox"/> 2 IN. CIRCULAR FACE <input type="checkbox"/> OTHER	
2	74				<input type="checkbox"/> MECHANICAL <input type="checkbox"/> MANUAL	
1-1/2"	72				MAXIMUM DRY UNIT WEIGHT, LB/FT ³ →	
1-1/4"	69				OPTIMUM WATER CONTENT, % →	
1"	67				OVERSIZE AGGREGATE :	
3/4"	63				BULK SPECIFIC GRAVITY :	
1/2"	60				ABSORPTION, % :	
3/8"	57				% OVERSIZE IN LAB SAMPLE :	
1/4"	53				SPECIFIC GRAVITY IN	
No.4	51				ZERO AIR VOID CURVE	
8	46					
10	45					
16	41					
30	36					
40	33					
60	28					
100	24					
200	17					

TEST PROCEDURE		RESULT	SPECS	TEST PROCEDURE		RESULT	SPECS
LIQUID & PLASTIC PROPERTIES : AASHTO T99, M				RESISTANCE TO DEGRADATION OF SMALL-SIZE COARSE AGGREGATES BY ABRASION :			
METHOD B				GRADING 100 REV. % LOSS →			
ESTIMATED % RETAINED ON NO. 40 72		48		GRADING 500 REV. % LOSS →			
SAMPLE AIR DRIED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		35					
PLASTICITY INDEX →		13					
MOISTURE CONTENT : ASTM D2216				SPECIFIC GRAVITY :			
PORTION TESTED FULL				MAX. PARTICLE SIZE, IN.			
% DRY WEIGHT →		13.8		SPECIFIC GRAVITY @ 20°C →			
EXPANSION / COMPRESSION PROPERTIES OF CONCRETE SOIL :				pH DETERMINATION :			
<input type="checkbox"/> EXPANSION <input type="checkbox"/> COMPRESSION, % →				pH →			
MAXIMUM SWELL PRESSURE, KSF →				SOLUBLE SALTS :			
BURCHARGE, PSF				PPM →			
INITIAL WATER CONTENT, %				MINIMUM RESISTIVITY :			
DRY UNIT WEIGHT LB/FT ³				OHM-CM →			
EXPANSION INDEX OF SOIL :				SOIL CLASSIFICATION : ASTM D2427			
INITIAL WATER CONTENT, %				GROUP SYMBOL :			
INITIAL DRY UNIT WEIGHT LB/FT ³ →				NAME :			
INITIAL DEGREE OF SATURATION							
FINAL WATER CONTENT, %							

Comments:

Copies to : CLIENT (1)

THE SERVICES REFERRED TO HEREIN WERE PERFORMED IN ACCORDANCE WITH THE STANDARD OF CARE PRACTICED LOCALLY FOR THE REFERENCED METHOD(S) AND RELATE ONLY TO THE CONDITIONS OF SAMPLE(S) TESTED AS STATED HEREIN. WESTERN TECHNOLOGIES INC. MAKES NO OTHER WARRANTY OR REPRESENTATION, EXPRESSED OR IMPLIED, AND HAS NOT CONFIRMED INFORMATION INCLUDING SOURCE OF MATERIALS SUBMITTED BY OTHERS.

REVIEWED BY

WTD.MONTGOMERY

(SHRED COPY COPIES)



Yavapai County Development Services Department Environmental Services Unit

1120 Commerce Dr.
Prescott, AZ 86305
(928) 771-3214

10 S. 6th St.
Cottonwood, AZ 86326
(928) 639-8151

Site Investigation Report

Requested by: KENNETH BRADY
5380 N CAMINO VISTA DR
RIM ROCK AZ 86335

Property Owner: JOHNSON RICHARD

Receipt:

Water Supply: Private

Parcel No: 401-11-012L

Subdivision:

The following are soil descriptions of discovery holes observed on the property described above. This Site Investigation does not authorize the installation of an on-site wastewater system nor does it constitute a guarantee that a system may be installed on this property.

Depth of test holes (Primary Disposal): #1: 12' #2: 12'

Depth of test holes (Reserve Area): #1: 9' #2:

Depth to restricting layer or water table: +9' Slope: 20-45%

Onsite wastewater system design (primary disposal):

Alternate (Old) Total Depth: Aggregate Depth: Width: Cover:

Perc Rate to be used: Soil absorption rate: 0.40 sq. ft./linear ft.:

*This design is a suggestion based upon conditions observed at the time the site investigation was done. Other design options may exist and may be pursued.

Soil Description & Comments:

7/7/2016 DH 1: 12'- 0-2' Blackish brown very gravelly moderate sandy clay loam with 15-20% large pebbles to small cobbles SAR 0.40; 2-4' Highly cemented and compacted calcareous material; 4-12' Whitish tan extremely gravelly moderate sandy clay loam with slight calcification and 25-30% large pebbles to small boulders SAR 0.40.

DH 2: 12'- 0-1' Blackish brown very gravelly moderate sandy clay loam with 15-20% large pebbles to small cobbles SAR 0.40; 1-3' Highly cemented and compacted calcareous material; 3-12' Whitish tan extremely gravelly moderate sandy clay loam with slight calcification and 25-30% large pebbles to small boulders SAR 0.40.

DH3: 9'- 0-1' Blackish brown very gravelly moderate sandy clay loam with 10-15% large pebbles to small cobbles SAR 0.40; 1-3' Highly cemented and compacted calcareous material; 3-9' Whitish tan extremely gravelly moderate sandy clay loam with slight calcification and 35-40% large pebbles to medium boulders SAR 0.40.

Surface characterization method described in ASTM D5879-95 (reapproved 2003) has been used to determine the existence of the following surface limitations:

o The surface slope is greater than 15% at the intended location of the on-site wastewater facility.

Subsurface characterization method described in ASTM D5921-96 (reapproved 2003) has been used to determine the existence of the following subsurface limitations within 12 feet of grade:

o The following subsurface limiting conditions may cause or contribute to surfacing of wastewater occur within 12 feet of the land surface:

o An impervious soil or rock layer.

The soil absorption rate determined under A.A.C. R18-9-A312 (D) (2) is: 0.40

Note: Onsite wastewater system design parameters (above) may be subject to change due to flood status or other unforeseen circumstances.

This site is RECOMMENDED for an alternative disposal system

GPS Coordinates: 34 45 08.8 112 06 09.3

Method of Notification: IN PERSON

STACEY A CLARK

7/7/2016

Inspector

Date of Inspection

Page 1 of 2



Yavapai County Development Services Department Environmental Services Unit

1120 Commerce Dr.
Prescott, AZ 86305
(928) 771-3214

10 S. 6th St.
Cottonwood, AZ 86326
(928) 639-8151

Site Investigation Report

Requested by: **KENNETH BRADY**
5380 N CAMINO VISTA DR
RIM ROCK AZ 86335

Property Owner: **JOHNSON RICHARD**

Receipt:

Water Supply: **Private**

Parcel No: **401-11-012L**

Subdivision:

COMMENTS: Design system inside 30' radius of discovery holes and in accordance with applicable rules. Maintain 100' from all wells. Maintain 50' from undeveloped property lines. Maintain 50' to washes and drainage easements draining greater than 20 acres. Maintain 10' from water mains. Alternative system is recommended; however, it may be possible to design a conventional system around the surface and subsurface limiting conditions. Additional testing may be needed to design a conventional system.

Note: Onsite wastewater system design parameters (above) may be subject to change due to flood status or other unforeseen circumstances.

This site is RECOMMENDED for an alternative disposal system

GPS Coordinates: 34 45 08.8 112 06 09.3

STACEY A CLARK

Inspector

Method of Notification: **IN PERSON**

7/7/2016

Date of Inspection

Page 2 of 2



Yavapai County Coordinated Permit Process Plot Plan Sketch and Affidavit

I certify that I am authorized by the property owner to make this application, that all information provided for this application is correct and that this plot plan, as part of the permit, indicates all structures (including fences, walls, and pads), correct property and building dimensions; setback distances; legal access and easements; road cuts; walls and/or any water course (including washes, drainage ditches etc.) on or within 50' ; 100' and 200' respectively of the property. We agree to conform to all applicable laws of this jurisdiction.

[Signature]
Signature

7-5-16
Date

Area Map for parcels exceeding 2 acres or with dimensions over 300'.

Document #

Sec

Twn

Rng

APN

401-11-012

Zoning:

Stories:

Height:

Slope:

EY:

RY:

EY:

IY:

LC:

Lot Area

Lot %

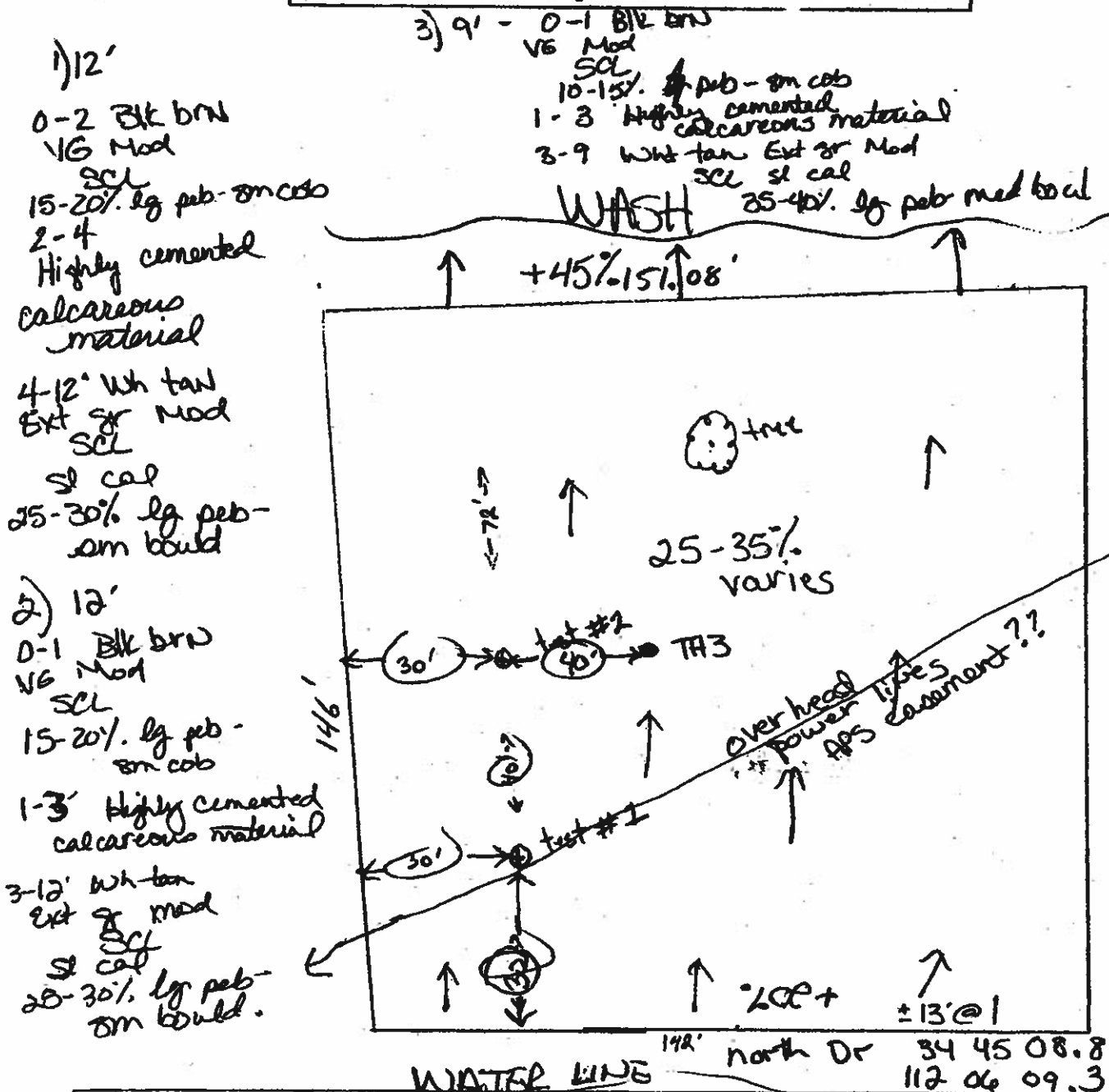
Density
Used:

1/30'
Scale:

North
Arrow

Lot #11

Must be drawn to scale per checklist on back of this form.



LAND USE
APPROVAL BY:

DATE:

TOTAL SHIELDED LUMENS:

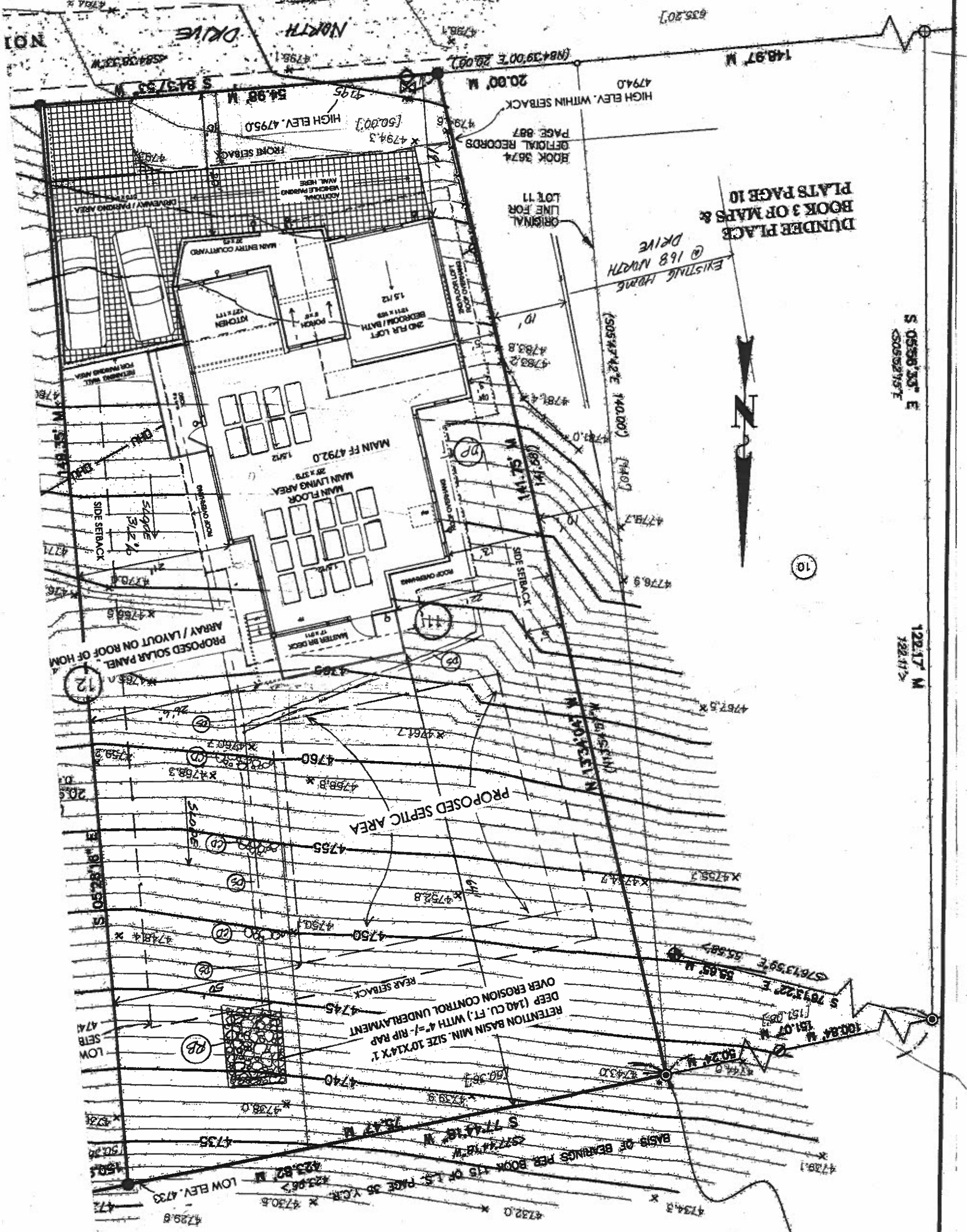
CURRINGTON RESIDENCE

A CUSTOM HOME DESIGN FOR APN: 401-11-012N
174 NORTH DRIVE, JEROME, AZ 86331

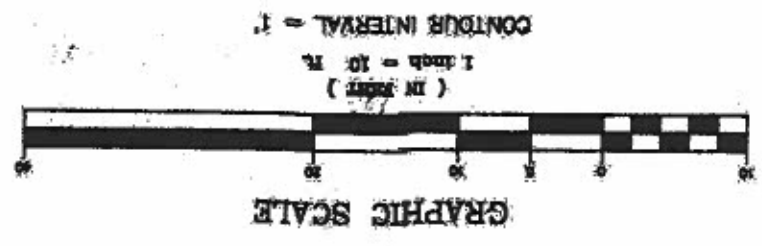
SITE PLAN
SCALE 1"=15'

MATT DOUGAN DESIGN
architectural + interior design + planning

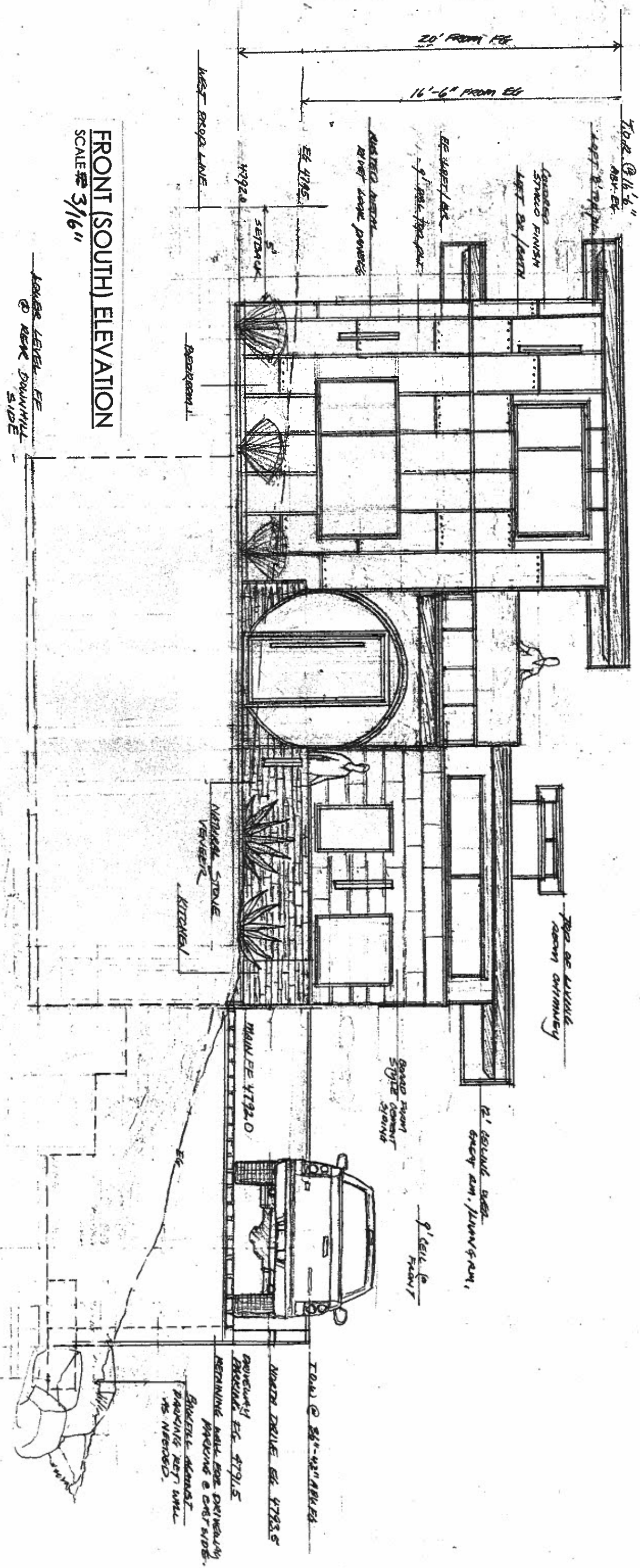
ASID
AIBD
SEDONA, AZ
928 592 8120
310 997 5757
mtdougan@gmail.com

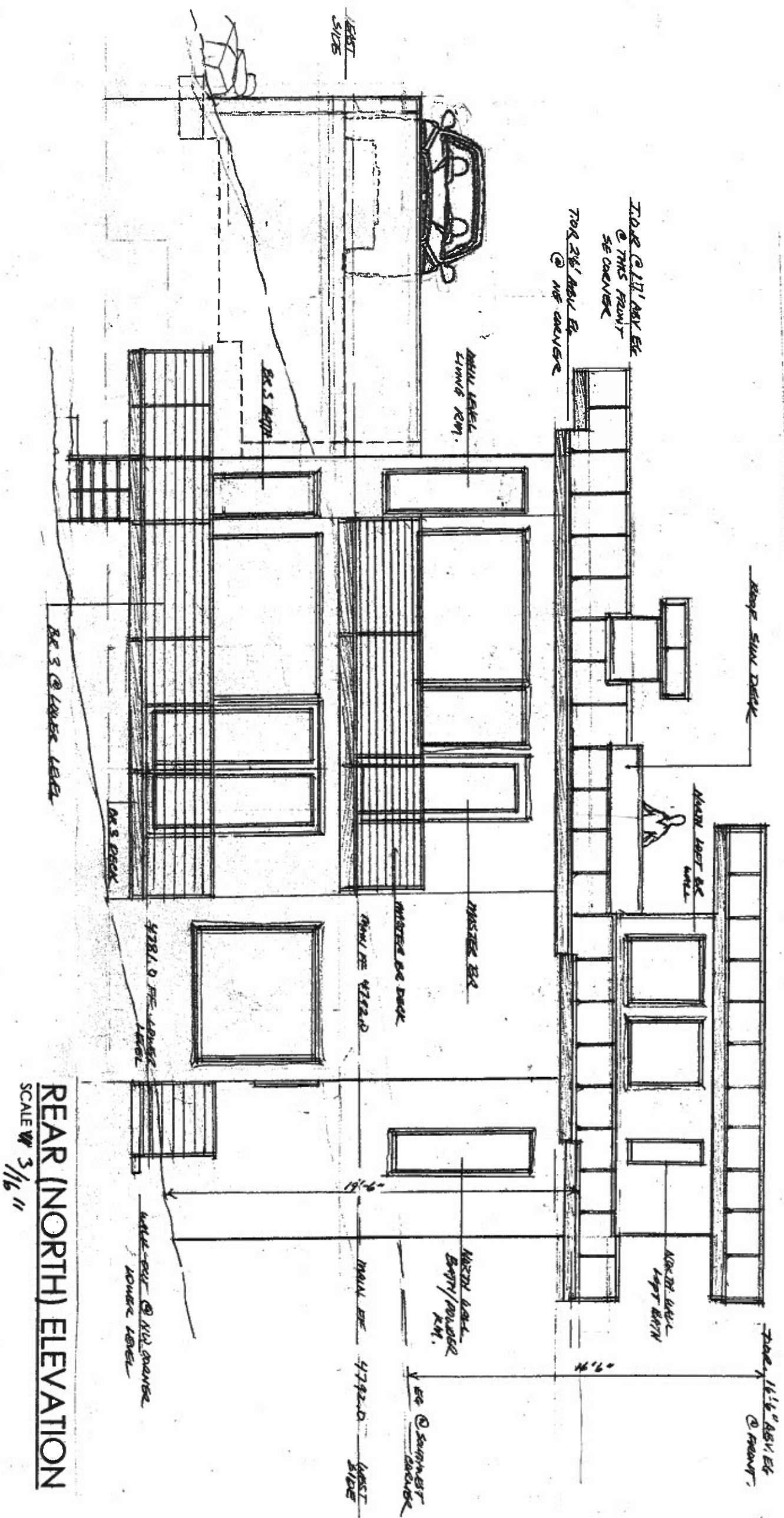


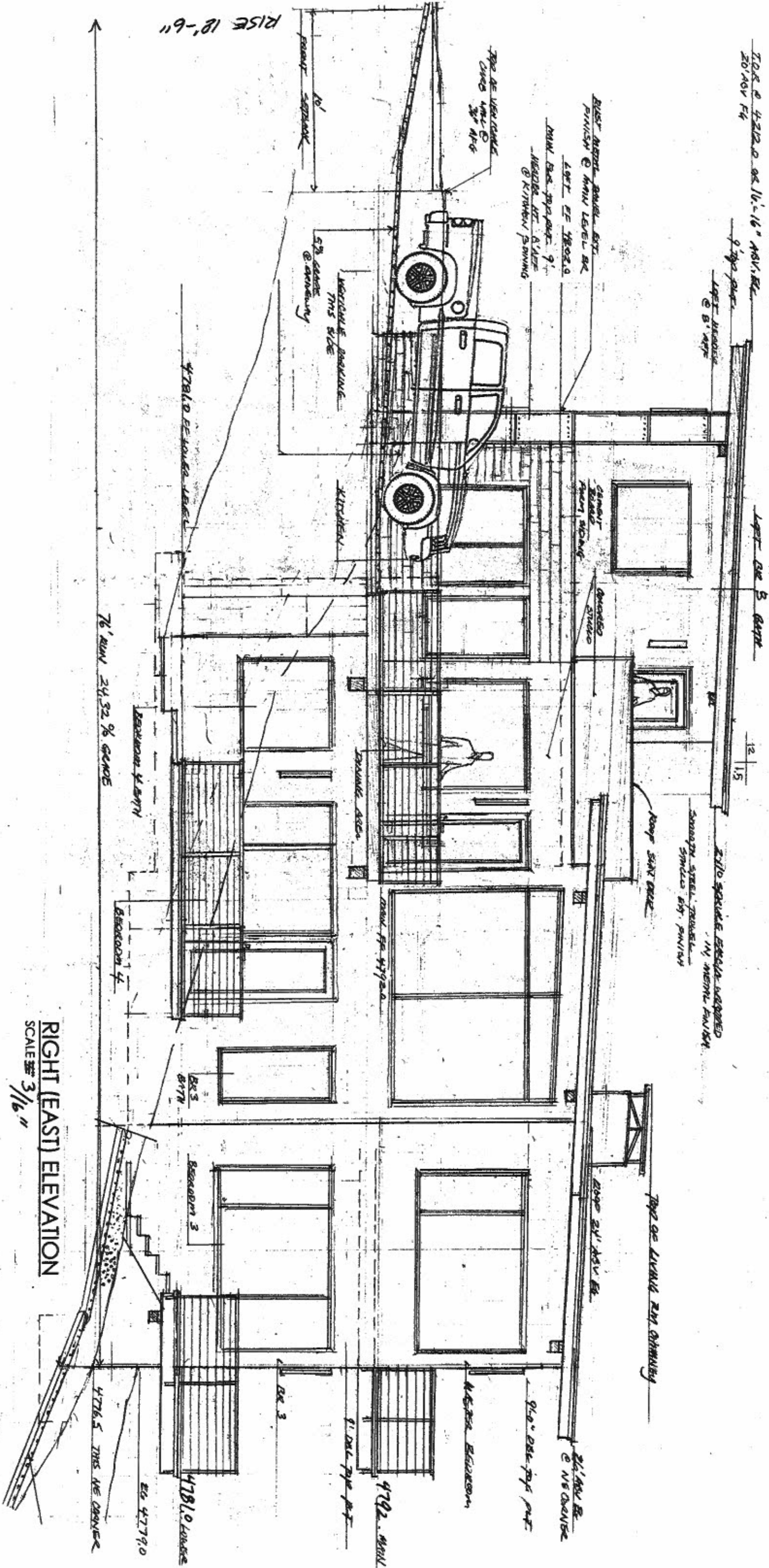
- DP DRAINAGE PADS UNDER ROOF OVERHANGS
- OVER EROSION CONTROL UNDERLAYMENT
- OVER IN-GROUND PERFORATED DRAIN PIPES
- CD CHECK DAMS / RUNOFF RETENTION
- DS DRAINAGE SWALES WITH RIP RAP ROCK +/- 4" OVER EROSION CONTROL UNDERLAYMENT



SITE BENCHMARK: 1/2" REBAR ELEV. 4743.35
DATE: 08/15/2011
MEASUREMENTS: NAVD83





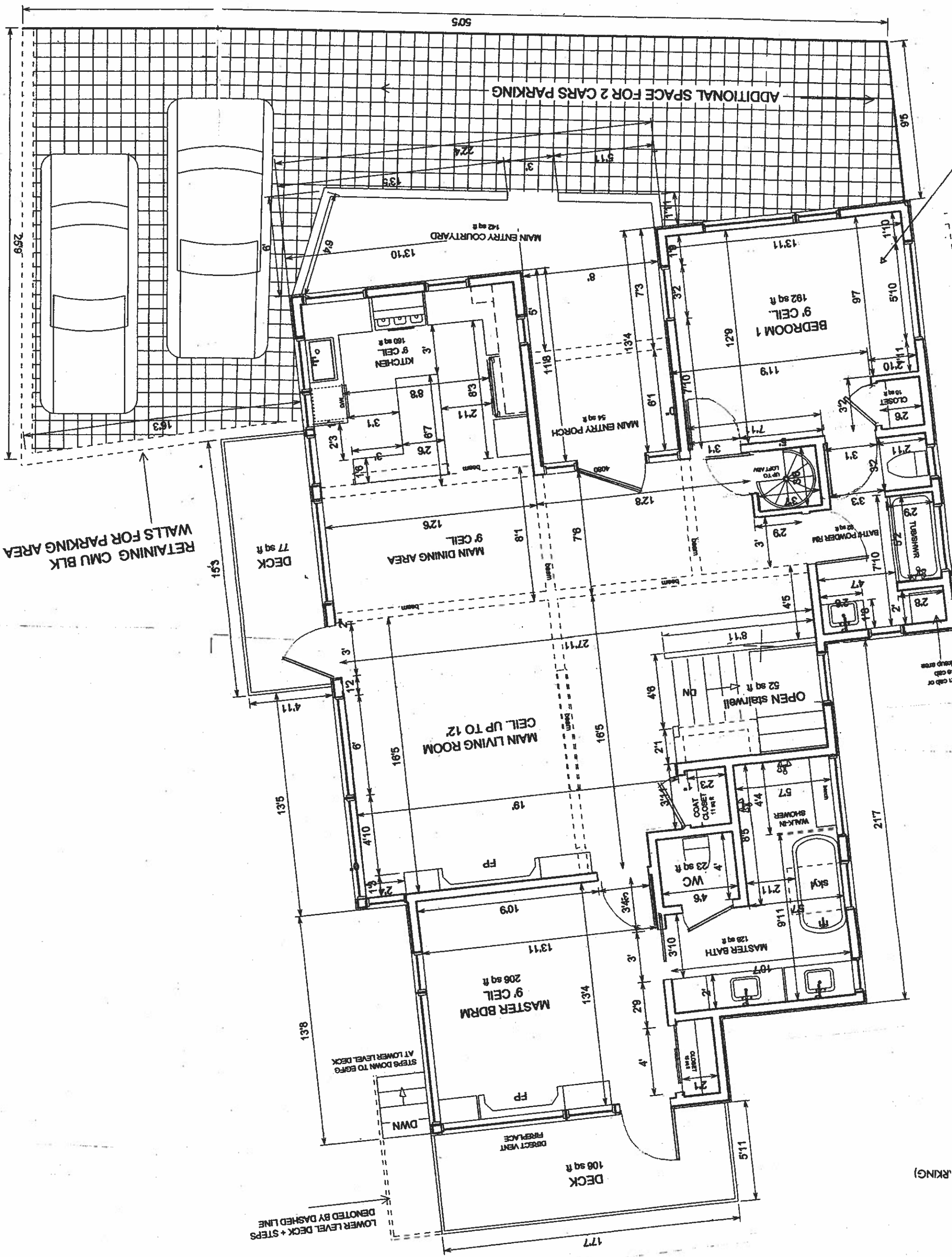


RIGHT (EAST) ELEVATION
SCALE 3/16"

MAIN LEVEL FLOOR PLAN

SCALE 3/16"

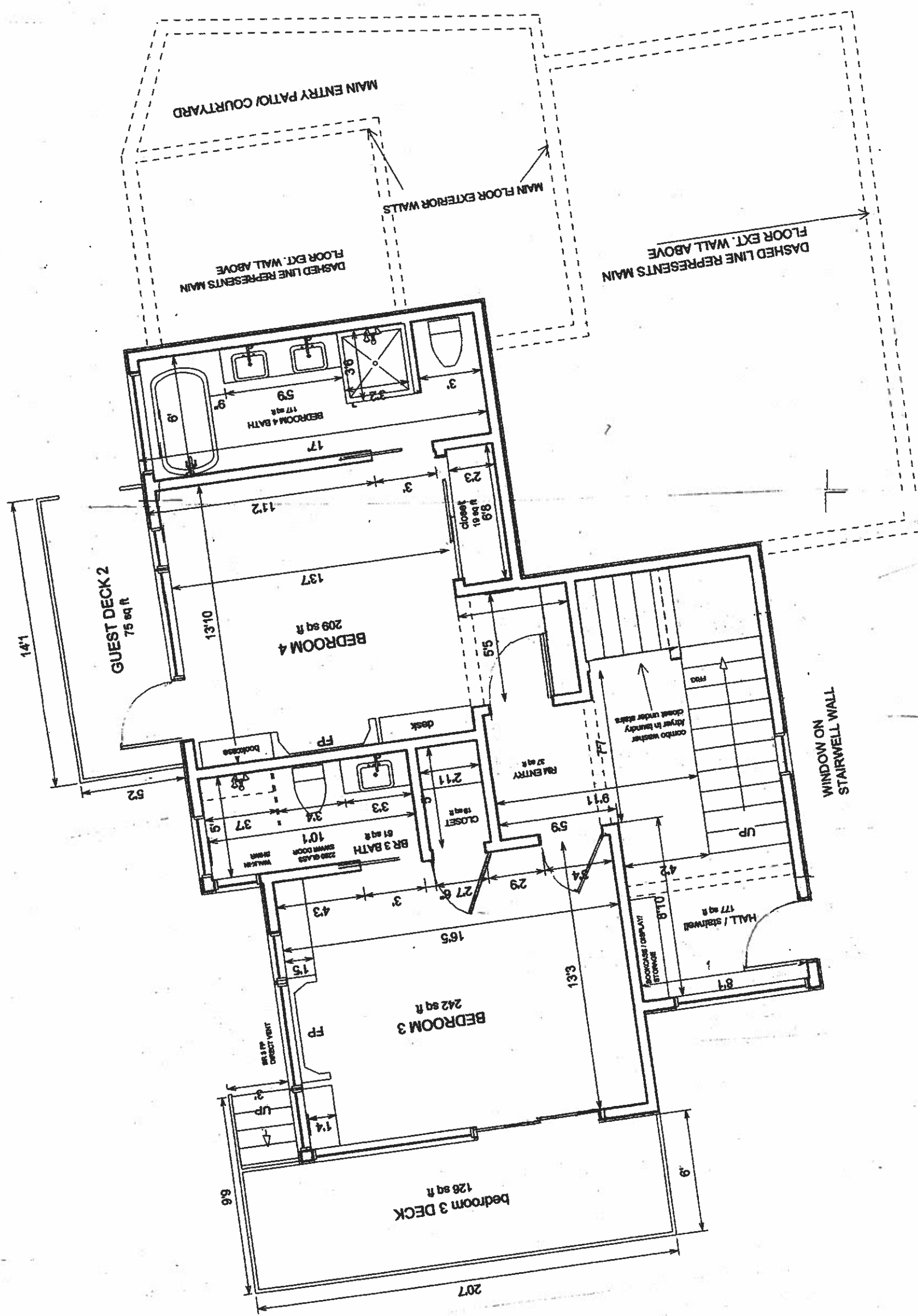
CURRINGTON RESIDENCE
A CUSTOM HOME DESIGN FOR APN: 401-11-012N
174 NORTH DRIVE, JEROME, AZ 86331



(KING)

A CUSTOM HOME DESIGN FOR APN: 401-11-012N
174 NORTH DRIVE, JEROME, AZ 86331

174 NORTH DRIVE, JEROME, AZ 86331

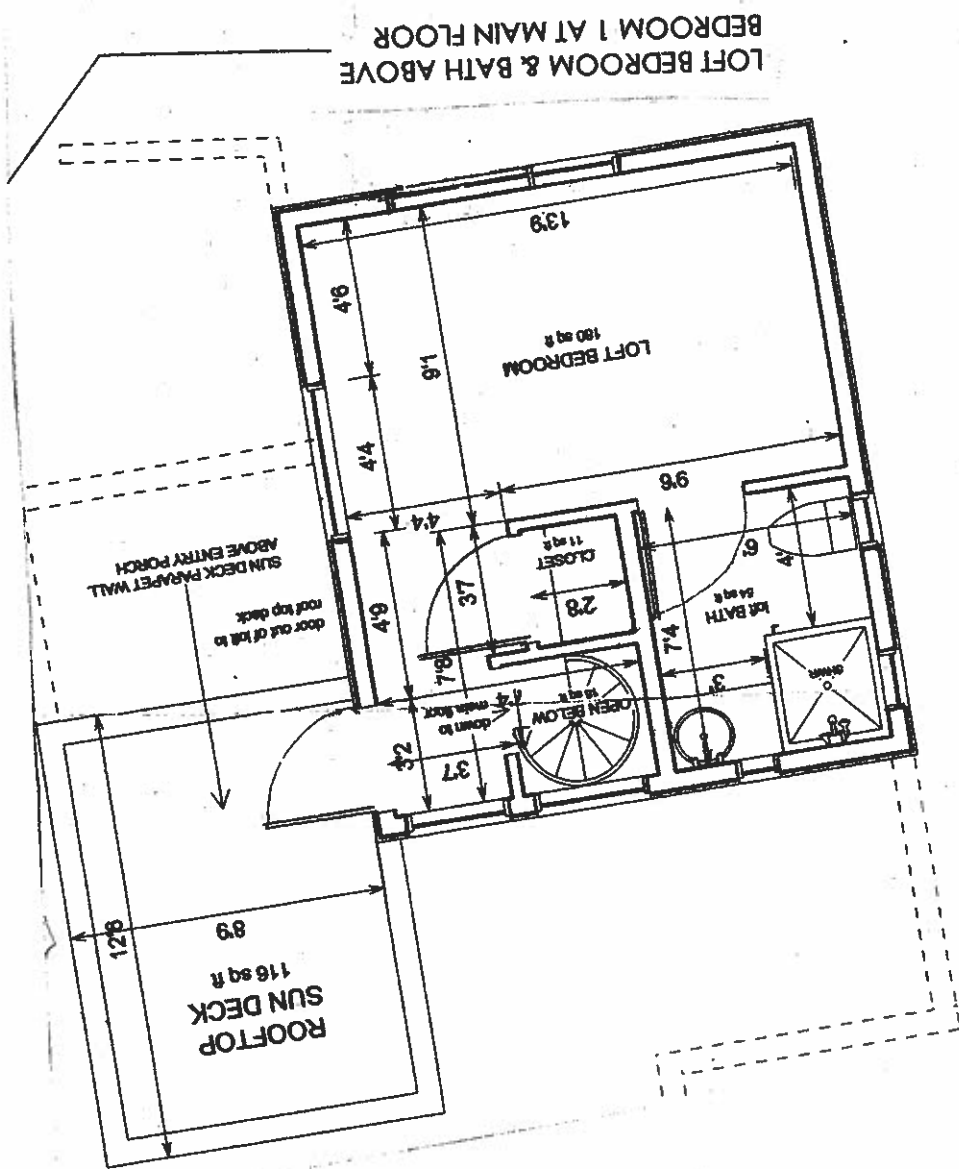


LOWER LEVEL FLOOR PLAN

SCALE 3/16

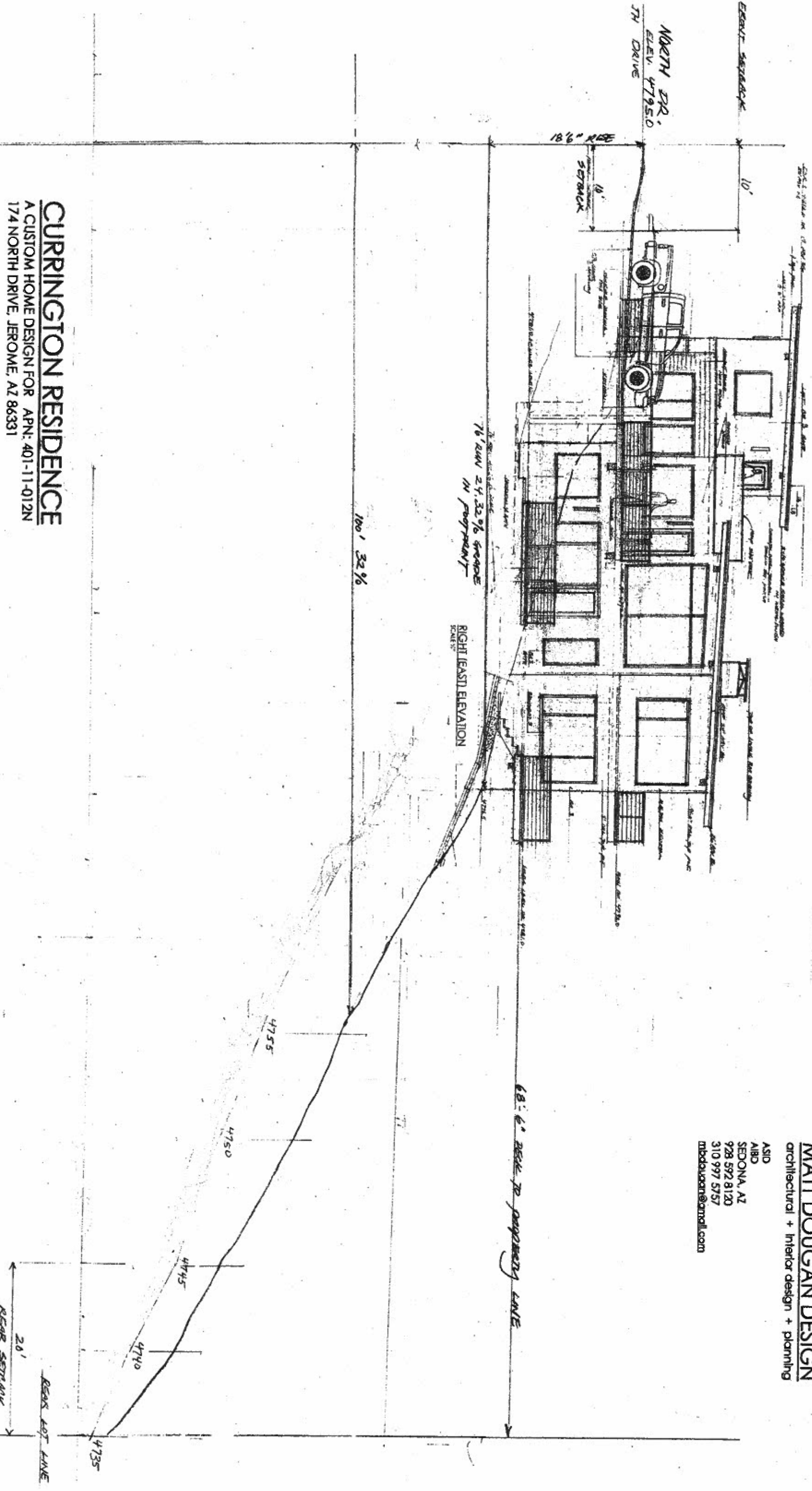
CURRINGTON RESIDENCE
A CUSTOM HOME DESIGN FOR APN: 401-11-012N
174 NORTH DRIVE, JEROME, AZ 86331

SECOND FLOOR LOFT FLOOR PLAN
SCALE 1/8"



MATT DOUGAN DESIGN
architectural + interior design + planning

ASID
AIBD
SEDONA, AZ
928 592 8120
310 997 5757
mddougan@gmail.com



CURRINGTON RESIDENCE
A CUSTOM HOME DESIGN FOR APN: 401-11-012N
174 NORTH DRIVE, JEROME, AZ 86331

LENGTH ALONG RIGHT (EAST) PROPERTY LINE

SITE SECTION ELEVATION RIGHT (EAST) SIDE
CR A1 C1 10H



TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331

OFFICE (928) 634-7943 FAX (928) 634-0715

ZONING ADMINISTRATOR ANALYSIS PLANNING & ZONING COMMISSION

January 8, 2020

ITEM 6: CUP for Residential in C-1
Location: 128 First Street
Applicant: Don and Paula Nord
ZONE: C-1
APN: 401-10-006
Recommendation: Review/Recommend Approval to Council (P&Z Resolution 2020-3)
Prepared by: John Knight, Zoning Administrator

Summary: The applicant requests approval of a Conditional Use Permit (CUP) to allow construction of a duplex in the C-1 zone. The zoning code allows residential in the C-1 with the approval of a CUP. The Planning and Zoning Commission's role is to make a recommendation to Council. This is tentatively scheduled for review by Council at the February 2020 meeting. Note that the Planning and Zoning Commission previously approved a CUP for a single-family home to be located on the site. The applicant is now requesting a second unit in the lower level of the home, converting the home into a duplex.

Code Compliance:

Section 507.C.13. Conditional Uses: *Residential use of a building, including boarding houses, rooming houses, lodging houses, apartments and Bed and Breakfasts, when in the opinion of the Planning and Zoning Commission, said use has little or no adverse effect on the public health, safety and general welfare. Residential use with historic precedence in the subject buildings are exempt from the well-being criteria but remain subject to nonconforming use clauses.*

Response: The Commission has the authority to recommend approval of a duplex in the C-1 Zone provided a finding is made that the proposed use will have *"no adverse effect on the public health, safety, and general welfare."* The area where the duplex is proposed is an area with a mix of single-family homes, duplexes, and multi-family homes. One additional duplex should not have an adverse effect on the neighborhood. Note that the applicant will be providing adequate off-street parking for both units.

Section 302.B.1. General Regulations: *Zoning district regulations established elsewhere in this Ordinance specify that certain buildings, structures and uses of land may be authorized by the Commission as Permitted Conditional Uses in a given district subject to the provisions of this Section and to requirements set forth in district regulations. The Planning and Zoning Commission is empowered to make recommendations to the Town Council regarding granting or denying applications for use permits and to impose reasonable conditions upon them. Prior to becoming effective, all actions by the Planning and Zoning Commission concerning a use permit application must be acted upon by the Town Council in accordance with the provisions of subsection 302 E.*

Response: The Commission is “empowered” to make recommendations to the Council regarding granting or denying the proposed request and may add reasonable conditions. Note that conditions are included in the accompanying resolution (P&Z Reso. 2020-3). The Commission has the authority to modify or add conditions if necessary.

Section 302.D. Commission Actions and Findings:

1. *It is the express intent of this Ordinance that any use for which a Conditional Use Permit is required shall be permitted as a Principal Use in the particular zoning district, provided that all special conditions and requirements of this Ordinance are met. Therefore, the action of the Commission shall be one of approval or denial based upon its judgment as to whether the specified conditions have been or will be met. The Commission shall consider not only the nature of the use and the special conditions influencing its location in the particular district, but also the proposed location of buildings, parking and other facilities within the site, the amount of traffic likely to be generated and how it will be accommodated, and the influence that such factors are likely to exert on adjoining properties. The Commission may make such suggestions as it considers desirable and shall provide all possible guidance to the applicant in his preparation of application, plans, and data in such manner as to satisfy the intent of this Section.*
2. *The Commission shall consider the application at their next regular meeting if the application was filed at least fifteen (15) days prior to such meeting. Otherwise it shall be carried over until the next regularly scheduled meeting. The Commission may reach a decision, continue the matter to a specified date (but not later than the next regularly scheduled meeting), or may set the matter for public hearing. Prior to holding a public hearing, a Neighborhood Meeting may be required in accordance with Section 306 of this Zoning Ordinance. If the Commission does set the matter for public hearing, notice thereof shall be given to the public by publication of a notice in the official newspaper of the Town and by posting the property included in the application not less than fifteen (15) days prior to the hearing. The notice shall set forth the time and place of the hearing and include a general explanation of the matter to be considered and a general description of the area affected.*
3. *In order to grant any use permit, the findings of the Commission must be that the establishment, maintenance, or operation of the use or building applied for will not be detrimental to the public health, safety, peace, convenience, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the Town.*
4. *The Commission may designate such conditions in connection with the use permit as it deems necessary to secure the intent and purposes of this ordinance and may require guarantees and evidence that such conditions are being or will be complied with.*
5. *If the Commission finds that the application and supporting data do not indicate that all applicable conditions and requirements of this Ordinance will be met, it shall deny the permit. Notice of denial, including reasons therefore, shall be mailed to the applicant at the address shown in the application, and the Commission shall report its actions to the Council at its next regular meeting.*
6. *If the Commission approves the application it shall direct the Zoning Administrator to draft a Conditional Use Permit setting forth all conditions and requirements governing such use, shall make the approved site plan a part of the record of the case, and shall submit the permit to the Town Council for action at Council's next regular meeting.*

7. *Failure of the applicant to comply with the conditions and safeguards which are a part of the terms under which a Conditional Use Permit is granted shall be deemed a violation of this Ordinance and punishable under Section 109.*

Response: The Commission is required to review the proposed application and make findings for approval (included in the attached resolution) or denial. The Commission may also add conditions to ensure compliance with the approval.

Section 510.D.m. Off-Street Parking: Off-street parking shall be provided for a residential apartment at the rate of 1.5 spaces per dwelling unit.

Response: The applicant has provided a site plan that shows three (3) off-street parking spaces.

Recommendation: The Zoning Administrator requests that the Planning and Zoning Commission review/discuss the proposed application, add/modify conditions if necessary, and make a recommendation to the Town Council by approving Resolution 2020-3.



Left (west elevation) 1 (duplex entrance below)



Front (south) elevation 1

Attachments:

- Resolution 2020-3
- Site Plan



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Incorporated 1899

TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331
(928) 634-7943 FAX (928) 634-0715

P&Z RESOLUTION NO. 2020-3

RECOMMENDING APPROVAL OF A CONDITIONAL USE PERMIT (CUP) FOR RESIDENTIAL USE IN COMMERCIAL (C-1) ZONE FOR 128 FIRST STREET

WHEREAS, the Town of Jerome has received an application from Don and Paula Nord for a conditional use permit to allow a residential use (duplex) to be constructed in the C-1 Zone (APN 401-10-006); and

WHEREAS, the property is in the C-1 zoning district, and residential use is allowed in the C-1 with the approval of a conditional use permit (CUP); and

WHEREAS, the Jerome Planning & Zoning Commission reviewed this application at their January 8, 2020 meeting; and

WHEREAS, the Planning and Zoning Commission has considered not only the nature of the use and the special conditions influencing its location in the particular district, but also the proposed location of buildings, parking and other facilities within the site, the amount of traffic likely to be generated and how it will be accommodated, and the influence that such factors are likely to exert on adjoining properties; and

WHEREAS, the Planning and Zoning Commission finds that the establishment, maintenance, or operation of the use or building applied for will not be detrimental to the public health, safety, peace, convenience, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the Town; and

WHEREAS; the Planning and Zoning Commission has designated conditions in connection with the use permit that it deems necessary to secure the intent and purposes of the Jerome Zoning Ordinance and may require guarantees and evidence that such conditions are being or will be complied with;

NOW, THEREFORE, BE IT RESOLVED by the Planning and Zoning Commission of the Town of Jerome, Arizona, recommends approval of this Conditional Use Permit by the Town Council, subject to the following conditions:

1. **Parking Spaces** – A minimum of three (3) off-street parking spaces shall be provided and maintained on the site.
2. **Construction Hours and Noise** – Construction and noise shall be limited between 8:00 pm and 7:00 am in accordance with Section 10-1-13.C. of the Jerome Town Code.
3. **Sign** – A separate application for the Design Review Board will be required for approval of any signage.

P&Z RESOLUTION NO. 2020-3

4. **Other Improvements/Changes** – Any subsequent modifications or changes to the Plans, including, but not limited to, changes in setbacks, square footage, fences, siding, roofing, height, additional units, changes in parking, etc.; will require additional review by the Planning and Zoning Commission and/or the Design Review Board.
5. **Home Occupations** - Any proposed use of the property for a Home Occupation shall be incidental to the primary use of the property and in compliance with Section 502.M. of the Zoning Ordinance.
6. **Building Permit Submittal and Code Requirements** - The applicant shall consult with the Building Official and submit detailed drawings for building permits that clearly demonstrate compliance with all Code requirements, including, but not limited to, coverage, height, parking and setbacks (Section 505).
7. **Violation** - Failure of the applicant to comply with the conditions and safeguards which are a part of the terms under which a Conditional Use Permit is granted shall be deemed a violation of this Ordinance and punishable under Section 109 of the Jerome Zoning Ordinance.
8. **Expiration of Approval** - Any use permit issued by the Town Council shall be commenced within six (6) months from the date of Council ratification, and diligently pursued, otherwise it shall become null and void. If necessary, the applicant may request an extension by the approval body, if the extension is submitted prior to approval expiration.

ADOPTED AND APPROVED by a majority vote of the Planning and Zoning Commission on the 8th day of January 2020.

ATTEST:

APPROVED:

Rosa Cays, Deputy Town Clerk

Chairman Lance Schall



Founded 1876
Incorporated 1899

TOWN OF JEROME, ARIZONA

Jerome Town Hall and Civic Center
600 Clark Street

P.O. Box 335, Jerome, AZ 86331
(928) 634-7943 FAX (928) 634-0715 www.jerome.az.gov

APPLICATION FOR PLANNING & ZONING COMMISSION

PLEASE PRINT LEGIBLY SO THAT PROCESSING WON'T BE DELAYED.

APPLICANT NAME: Don + Paula Nord
MAILING ADDRESS: Po Box 942 Williams, AZ 86046
TELEPHONE: 928 635 4090 EMAIL: paula@donnorddesigns.com
PROJECT ADDRESS: 128 First St Jerome, AZ
PARCEL NUMBER: 401-10-006 ZONE DISTRICT: C-1
APPLICATION FOR (Please describe the project.): modify CUP from "Single Family" to "Duplex" (April 9, 2019)

- I hereby apply for consideration and conditional approval by the above Planning and Zoning Commission.
- I understand that application fee is due at submission and review will not be scheduled until fee is paid to the Town.
- I have obtained and reviewed information on the criteria used in evaluation by the Planning & Zoning Commission and/or reviewed the application provisions in the Town Zoning Ordinance.
- I understand that this application will not be scheduled for consideration until all required materials have been submitted and reviewed.

APPLICANT SIGNATURE: Paula Nord DATE: 23 Dec 2019

TOWN USE BELOW

RECEIVED FROM: Don Nord DATE: 12/23/19

Received the sum of \$ 100 as: ☐ Check No. ☐ Cash ☒ Credit Card by phone

Per Fee schedule - Ordinance 331

BY: Rosa Carls

FOR: John Knight

PLEASE NOTE:

After approval from the Planning & Zoning Commission and Design Review Board, most building projects must then be submitted to the Building Inspector for review, approval and issuance of building permit.

REGARDING BUILDING PERMITS:

Additional fees are required for building permits to reimburse the Town for costs of providing plan review and construction inspection services. Commercial projects, and some residential projects may require plans to be prepared and/or sealed by an Arizona registrant, such as a licensed architect or engineer, per A.R.S. §32-144. Licensed contractors may be required for construction projects per A.R.S. §32-1121.

PLANNING & ZONING REVIEW**REQUIRED ITEMS ARE PER ZONING ORDINANCE SECTION 503**

NOTE: FIRE SAFETY; A PLAN REVIEW WILL BE CONDUCTED FOR SUBMISSIONS INVOLVING EXPANSION OF NONCONFORMING STRUCTURES, NEW BUILDINGS AND ALL PROJECTS IN COMMERCIAL OR INDUSTRIAL ZONES.

Each application will be filed with the Zoning Administrator, reviewed by Building Inspector and Fire Department, then forwarded to the Planning & Zoning Commission. The application shall be submitted with eight copies of a plan. The plan shall be on paper not measuring more than twenty-four inches by thirty-six inches (24" x 36"), drawn to a scale not smaller than forty feet (40') to the inch. A checklist is provided to ensure inclusion of all necessary data. Additional information may be requested for final approval.

PROPOSED USE: Duplex PERMITTED USE: Yes ☐ No: ☐

Eight (8) copies of the site plan, all required items below must be included per Section 303 I.C of the Zoning Ordinance.

- ☐ North arrow
- ☐ Scale – no smaller than 1 inch = 40 feet
- ☐ Property lines and lot dimensions
- ☐ Street names
- ☐ Easements
- ☐ Utilities
- ☐ Location of all existing and proposed buildings and structures and number of stories (describe heights & sq. ft.)
- ☐ Exterior lighting – existing and proposed
- ☐ Dimensions of all required yard depths; show setback for front, side and rear yards
- ☐ Space between buildings, existing and proposed (must be clearly written on site plan)
- ☐ Location and height of all existing and proposed walls and fences
- ☐ Existing man-made features (roads, walkways, stairways, etc.)
- ☐ Existing natural features (rock outcroppings, washes, etc.)
- ☐ Location and dimension of parking spaces – existing and proposed
- ☐ Location and dimension of driveways – existing and proposed
- ☐ Location and dimension of pedestrian walkways and stairways – existing and proposed

*Submitted to
Building Official*

Grading/Excavating – Engineering reports may be required

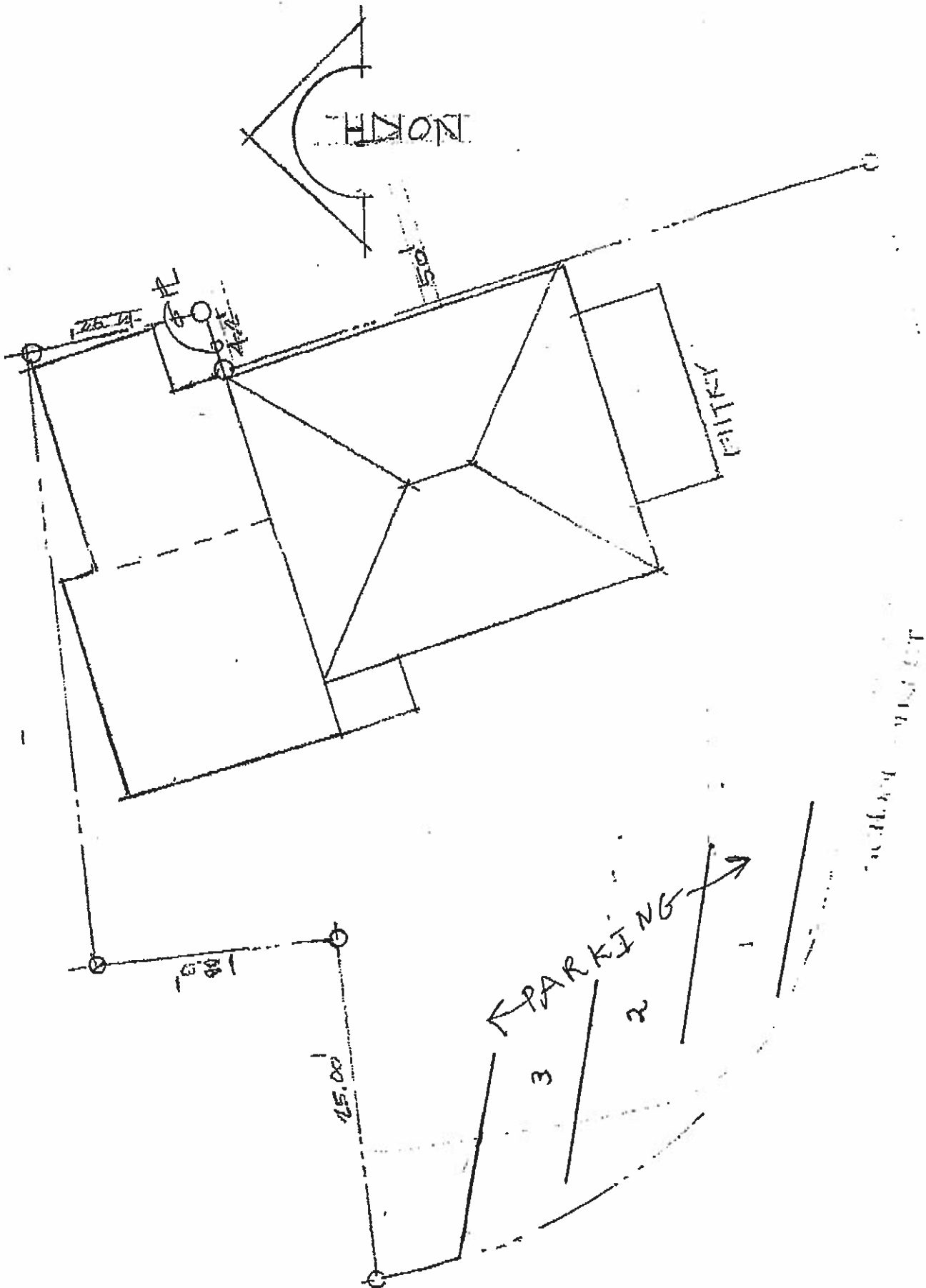
- ☐ Existing and proposed drainage, indicate high and low on site plan, and general direction of flow → on site
- ☐ Existing and proposed grades
- ☐ Slope of property (calculation example on page 5)
- ☐ Proposed excavation

Vicinity sketch - may be presented on site plan or as separate document

- ☐ Include the site, relation to streets and adjacent properties

PROPERTY DESCRIPTION, ADDITIONAL INFORMATION

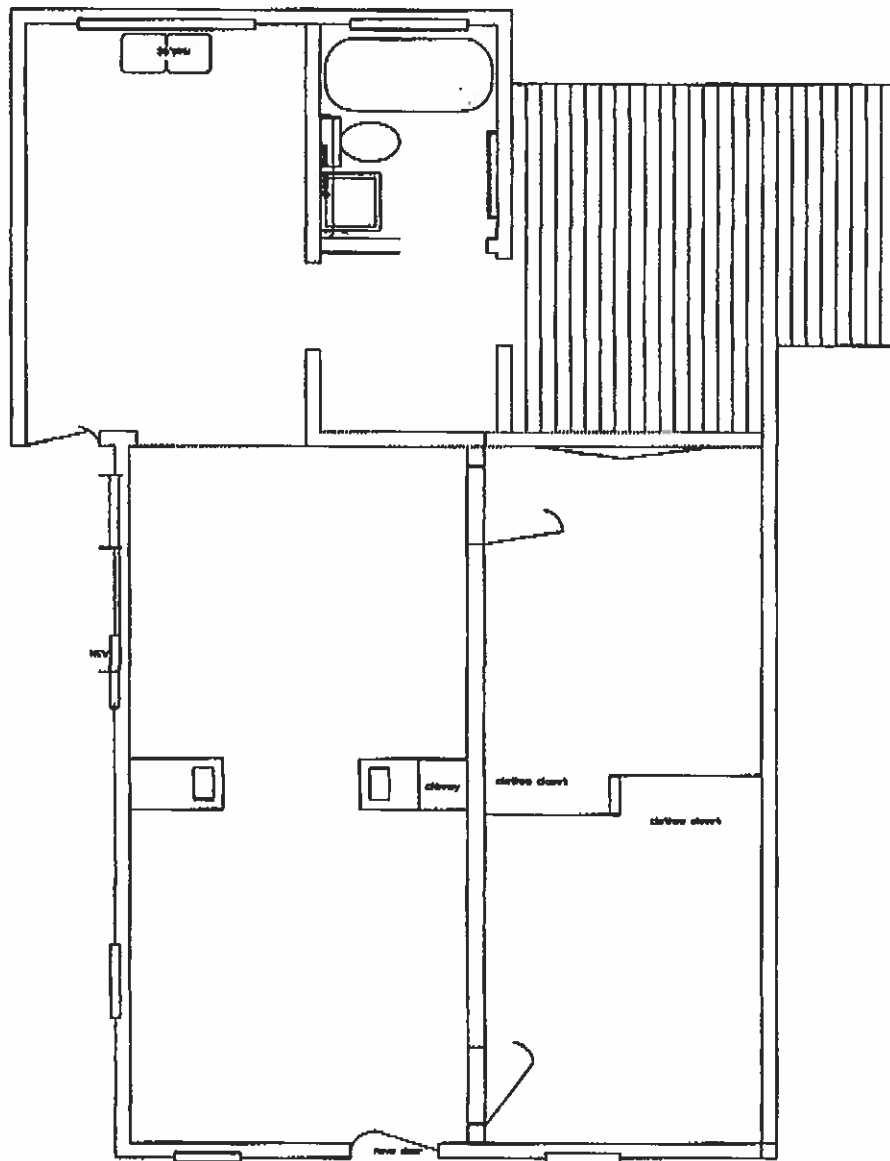
1. Nonconforming lot of record? no
 2. Name of connecting public street School St
 3. Public water (domestic)? yes Public sewer? yes
Public water (fire suppression?) yes Public septic? No
 4. Lot area 3484 ft² Required for zone NA
 5. Lot width 70' widest Required for zone NA
 6. Square footage of building 1082 ft² Required for zone NA
Square footage of footprint 1082 ft²
 7. Lot coverage; add footprints of existing and proposed buildings ÷ total lot area x 100 = % lot coverage 31 %
 8. Yards: Front 0 Front of buildings within 100 feet 20'
Side yard (1) 0 Side yard (2) 0
Rear yard 0 Single or double frontage single
 9. Proposed building height from median 17'-21' Maximum face 26'
 10. Accessory buildings, describe size and use for existing, proposed modifications or new accessory buildings:
Existing sq. ft. _____ Proposed sq. ft. _____ Proposed height _____
Proposed Use: _____
- Engineering may be required on Items 11, 12 and 13 – describe proposed plans**
11. Fill required? NO Is evidence of safety of fill required? NO
 12. Excavation required? NO Is evidence of safety of excavation required? NO
 13. Is land suitable for building? (engineering verification may be required) yes
Slope (see page 5 for calculation example) NA
Engineering report requested by Building Inspector NO Engineering report submitted NO



40140-006

SITE PLAN

1" = 10'



128 First Street, Jerome, AZ
scaled to fit page
Paula Nord December 2019



TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331

OFFICE (928) 634-7943 FAX (928) 634-0715

ZONING ADMINISTRATOR ANALYSIS PLANNING & ZONING COMMISSION

January 8, 2020

ITEM 7: Site Plan Review for Mixed-Use Commercial Building
Location: 324 Queen Street
Applicant/Owner: Windy Jones & Josh Lindner/Cuban Queen Bordello LLC
ZONE: C-1
APN: 401-06-127
Recommendation: Approve P&Z Resolution No. 2020-4 with conditions
Prepared by: John Knight, Zoning Administrator

Summary: Applicant requests approval of preliminary and final site plan review to construct a mixed-use, commercial building in the C-1 Zone. Proposed uses include 758 square feet of retail, three (3) boardinghouse rooms, and a kitchen. The building is two stories and includes 2,960 square feet of interior space. Retail space is an allowed use and the boardinghouse rooms are conditionally allowed. Note that the Conditional Use Permit (CUP) is a separate agenda item. This proposal is tentatively scheduled for review by the Design Review Board (January 13, 2020).

Key Issues: Key issues/concerns are noted below.

Parking and MOU: A total of six (6) parking spaces are required for the proposed uses. The retail portion is 758 square feet and requires three (3) spaces (758 sq. ft./300 sq. ft. per space = 2.53 spaces) and three (3) spaces are required for the boardinghouse rooms for a total of six (6) spaces. The applicant has previously signed a Memorandum of Understanding (MOU) that allows the applicant to proceed with the Site Plan Approval contingent upon their participating in the Parking Overlay District.

Fire Access: The applicant has proposed a supplemental fire access from the rear of the building to the west across the Town-owned lot (APN 401-06-127). Primary fire access is provided out of the front of the building. A spiral staircase from the upper story to the ground level is shown at the back of the building to facilitate exiting from the upper-story rooms and retail area. This proposal has been preliminarily agreed to by the fire chief and the building inspector. The final details of the fire exiting will be reviewed as part of the building permit submittal.

Posting: A notice was posted on site on December 23, 2019.

Zoning Ordinance Compliance -

Section 507.B.1 Permitted Uses: *Retail sales of apparel and accessories, dry goods, foods, drugs, flowers and plants, garden supplies, hardware, gifts and novelties, pet and hobby supplies, art and art supplies, jewelry, liquor, tobacco, newspapers and magazines, music and records, household supplies, [stationery], books, paint, wallpaper and glass, sporting goods, toys, variety store goods, appliances, auto parts and supplies, furniture, office supplies, leather and leather products, carpet, antiques, fabrics, photo supplies, second hand and used goods and similar convenience goods.*

Response: The zoning code allows for a variety of retail and service uses as a permitted use. Note that the parking required for retail is one space per 300 square feet. Although not proposed as part of this application, the applicant would also be able to have uses with the same or less intensive parking requirement (like an artist studio or wine tasting).

Section 507.C.13. Conditional Uses: *Residential use of a building, including three-family dwellings, multi-family dwellings, boarding houses, rooming houses, lodging houses, apartment houses and Bed and Breakfasts, when in the opinion of the Planning and Zoning Commission, said use has little or no adverse effect on the public health, safety and general welfare. Residential use with historic precedence in the subject buildings are exempt from the well-being criteria but remain subject to nonconforming use clauses.*

Response: The zoning code requires a conditional use permit (CUP) for residential uses in the C-1 Zone. This is included as a separate application and a separate agenda item. Note that the zoning code categorizes the proposed rooms as a "boardinghouse" as opposed to an apartment or hotel/motel.

Section 201. General - Boarding or Rooming House - *a building or buildings containing central kitchen facilities and not more than eight (8) rooms where lodging is provided for compensation with or without meals, but not to include rest homes.*

Response: A boardinghouse (or rooming house) is categorized as a building containing central kitchen facilities with not more than eight (8) rooms. This differs from a bed and breakfast where the host family lives on the premises. This also differs from a hotel or motel defined as having nine (9) or more rooms.

Section 303.1.A. Purpose: *The purpose of the preliminary site plan review is to provide for the public health, safety and general welfare, and to protect the environment and the historical character of the Town of Jerome. The plan review will include examination of all proposed site work and excavation and grading regulations, with special regulation of work on sites with extreme slope or unstable soils. Essential to this purpose is the review of possible impacts on surrounding properties.*

Response: The zoning administrator and Planning & Zoning Commission are required to review the proposed plans to provide for the public health, safety and general welfare, and to protect the environment and the historical character of the Town of Jerome. This includes a review of all proposed site work, grading, and potential impacts on surrounding properties.

Section 303.1.A. Review Procedures: *The Zoning Administrator shall have ten (10) working days from the date of submission of a preliminary site plan application to review said plan for completeness. A completed preliminary site plan shall be submitted to the Planning and Zoning Commission at the earliest meeting time available. The Zoning Administrator may request Design Review recommendation on the Preliminary Site Plan. The Planning and Zoning Commission shall approve, conditionally approve or deny said plan. Once denied, the original plan shall not be resubmitted. The Planning and Zoning Commission may, if the preliminary drawings and other data are sufficiently clear and explicit, waive the requirements of Section 303.2 and/or Grant Final Approval at the Preliminary Review session, provided all other requirements of this section are conformed with.*

Response: After reviewing the proposed plans and application materials, the Planning and Zoning Commission may approve, conditionally approve, or deny the plan. Note: this section also identifies that the applicant may receive both preliminary and final site plan review if the drawings and information are sufficiently clear. The applicant has requested both preliminary and final approval as part of their request.

Section 505.D. Property Development Standards and Section 510.D. Parking

Item	Code Standard	Proposed
Square footage of bldg.	none	2,960 square feet
Lot coverage	none	70%
Front yard	0 feet to 10 feet	0 feet (previously reviewed by the Planning & Zoning Commission)
Side yard	0 feet	0 feet
Rear yard	20 feet min.	20 feet
Building height	25 feet max.	21 feet +/-
Max. wall height	35 feet max.	26 feet
Fire-escape stairs	15 feet min.	14.5 +/- feet
Parking	6 spaces	6 spaces (to be provided via participation in the Parking Overlay District)

Response: The proposal meets all standards except for a minor encroachment due to the size of the spiral staircase, fire escape. The spiral staircase extends approximately 7 inches into the required rear yard setback. A condition of approval has been added to require that the fire escape meet the required 15-foot setback.

Recommended Conditions: The Planning and Zoning Commission may add conditions to ensure compliance with town ordinances and standards. The zoning administrator has prepared a resolution and conditions for consideration by P&Z.

Recommendation: The zoning administrator recommends approval of the attached P&Z Resolution No. 2020-4, which includes both preliminary and final site plan review and conditions.

Attachment: Resolution 2020-4



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TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331
(928) 634-7943 FAX (928) 634-0715

P&Z RESOLUTION NO. 2020-4

APPROVING PRELIMINARY AND FINAL SITE PLAN REVIEW FOR A MIXED-USE COMMERCIAL BUILDING AT 324 QUEEN STREET

WHEREAS, the Town of Jerome has received an application for Preliminary and Final Site Plan Review by Windy Jones and Josh Lindner for property located at 324 Queen Street (APN 401-11-012C); and

WHEREAS, the property is in the C-1 zoning district; and

WHEREAS, the applicant has proposed a mix of both permitted uses (retail) and conditionally permitted uses (boarding house); and

WHEREAS, the applicant has proposed a separate application for approval of the conditionally permitted use; and

WHEREAS, a notice was posted at the site on December 23, 2019 in accordance with Jerome Zoning Ordinance Section 303.1C; and

WHEREAS, the Jerome Planning & Zoning Commission reviewed this application at their January 8, 2020 meeting and wishes to approve the application with certain conditions; and

WHEREAS, the Planning and Zoning Commission finds that the site plan does not adversely affect the public health, safety and general welfare, and so protects the environment and the historical character of the Town of Jerome;

NOW, THEREFORE, BE IT RESOLVED by the Planning and Zoning Commission of the Town of Jerome, Arizona, that the Preliminary and Final Site Plan submitted for a mixed-use commercial building at 324 Queen Street is hereby approved, subject to the following conditions:

1. **Parking** – A total of six parking spaces shall be provided for the proposed uses. The parking spaces are required to be provided prior to final occupancy.
2. **Height** – The building height shall not exceed 25' above existing average grade.
3. **Construction Hours and Noise** – Construction and noise shall be limited between 8:00 pm and 7:00 am in accordance with Section 10-1-13.C. of the Jerome Town Code.
4. **Sign** – A separate application for the Design Review Board will be required for approval of any signage.
5. **Fire-escape Setback** – The fire-escape at the rear of the building shall be at least 15' from the rear property line.

P&Z RESOLUTION NO. 2020-4

6. **Fire-escape Path** – Access across the adjacent Town-owned lot to the west shall be reviewed and approved by the Fire Chief and Public Works Director prior to issuance of a building permit.
7. **Recorded Agreement** – The applicant shall enter into an agreement with the Town to find an alternative route for the fire-escape path should the Town sell or develop the adjacent lot (APN 401-06-127). This agreement shall be recorded prior to issuance of a building permit. This shall be done at no cost or burden to the Town.
8. **Other Improvements/Changes** – Any subsequent modifications or changes to the Plans, including but not limited to changes in setbacks, square footage, fences, siding, roofing, height, etc., will require additional review by the Planning and Zoning Commission and/or the Design Review Board.
9. **Drainage** - The building permit submittal shall indicate both existing and proposed drainage. This includes, but is not limited to, how drainage will be collected (such as from roof drains) and directed to provide disposal and protection of neighboring properties. This may include splash blocks, swales, detention basins, and gravel catchments to help dissipate hydraulic energy. Roof drains shall not be directed over the front sidewalk.
10. **Sidewalk** – A sidewalk shall be provided across the full front of the lot and shall be reviewed and approved by the Public Works Director prior to issuance of a building permit.
11. **Grading** - Grading shall comply with the requirements of Section 303.3 of the Zoning Ordinance. Grading plans shall include, but not be limited to, adequate dust control measures, erosion control/drainage, and fencing to protect sensitive features (such as trees to be saved).
12. **Sewer/Septic** - The building permit submittal shall show and include details on the location and connection to either public sewer or the use of a septic system.
13. **Home Occupations** - Any proposed use of the property for a Home Occupation shall be incidental to the primary use of the property and in compliance with Section 502.M. of the Zoning Ordinance.
14. **Building Permit Submittal and Code Requirements** - The applicant shall consult with the Building Official and submit detailed drawings for building permits that clearly demonstrate compliance with all Code requirements, including, but not limited to, coverage, height, parking and setbacks (Section 505).
15. **Conditions on Plans** – The building permit plan submittal shall include a sheet with a list of the approved conditions.
16. **Expiration of Approval** - This approval shall become null and void if a building permit is not issued within six (6) months of final Planning and Zoning and Design Review Board Approval of this application. If necessary, the applicant may request an extension by the approval body, if the extension is submitted prior to approval expiration.

ADOPTED AND APPROVED by a majority vote of the Planning and Zoning Commission on the 8th day of January 2020.

ATTEST:

APPROVED:

Rosa Cays, Deputy Town Clerk

Chairman Lance Schall

#7



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Incorporated 1899

TOWN OF JEROME, ARIZONA

Jerome Town Hall and Civic Center
600 Clark Street

P.O. Box 335, Jerome, AZ 86331
(928) 634-7943 FAX (928) 634-0715 www.jerome.az.gov

APPLICATION FOR PLANNING & ZONING COMMISSION

PLEASE PRINT LEGIBLY SO THAT PROCESSING WON'T BE DELAYED.

APPLICANT NAME: Windy Jones & Joshua Lindner

MAILING ADDRESS: 2549 Haskell Springs Rd, Clarkdale AZ 86324

TELEPHONE: 714-306-8079 EMAIL: socalwindyj@yahoo.com

PROJECT ADDRESS: 324 Queen Street, Jerome AZ 86331

PARCEL NUMBER: 401-06-127 ZONE DISTRICT: C-1

APPLICATION FOR (Please describe the project.): New mixed use commercial and rooming house.

- I hereby apply for consideration and conditional approval by the above Planning and Zoning Commission.
- I understand that application fee is due at submission and review will not be scheduled until fee is paid to the Town.
- I have obtained and reviewed information on the criteria used in evaluation by the Planning & Zoning Commission and/or reviewed the application provisions in the Town Zoning Ordinance.
- I understand that this application will not be scheduled for consideration until all required materials have been submitted and reviewed.

APPLICANT SIGNATURE: _____

DATE: 12/19/2019

TOWN USE BELOW

RECEIVED FROM: Windy Jones

DATE: 12/19/19

Received the sum of \$ 183⁰⁰ as: ☒ Check No. 39151 ☐ Cash ☐ Credit Card

Per Fee schedule - Ordinance 331

BY: Rosa Capps

FOR: John Knight

PLEASE NOTE:

After approval from the Planning & Zoning Commission and Design Review Board, most building projects must then be submitted to the Building Inspector for review, approval and issuance of building permit.

REGARDING BUILDING PERMITS:

Additional fees are required for building permits to reimburse the Town for costs of providing plan review and construction inspection services. Commercial projects, and some residential projects may require plans to be prepared and/or sealed by an Arizona registrant, such as a licensed architect or engineer, per A.R.S. §32-144. Licensed contractors may be required for construction projects per A.R.S. §32-1121.



For TTY Access, Call the Arizona Relay Service at 1-800-367-8939 and ask for Town of Jerome at 928-634-7943



PLANNING & ZONING REVIEW**REQUIRED ITEMS ARE PER ZONING ORDINANCE SECTION 503**

NOTE: FIRE SAFETY; A PLAN REVIEW WILL BE CONDUCTED FOR SUBMISSIONS INVOLVING EXPANSION OF NONCONFORMING STRUCTURES, NEW BUILDINGS AND ALL PROJECTS IN COMMERCIAL OR INDUSTRIAL ZONES.

Each application will be filed with the Zoning Administrator, reviewed by Building Inspector and Fire Department, then forwarded to the Planning & Zoning Commission. The application shall be submitted with eight copies of a plan. The plan shall be on paper not measuring more than twenty-four inches by thirty-six inches (24" x 36"), drawn to a scale not smaller than forty feet (40') to the inch. A checklist is provided to ensure inclusion of all necessary data. Additional information may be requested for final approval.

PROPOSED USE: Retail (permitted) & rooming house (conditional) PERMITTED USE: Yes ☒ No: ☒

Eight (8) copies of the site plan, all required items below must be included per Section 303 I.C of the Zoning Ordinance.

- ☒ North arrow
- ☒ Scale – no smaller than 1 inch = 40 feet
- ☒ Property lines and lot dimensions
- ☒ Street names
- ☒ Easements
- ☒ Utilities
- ☒ Location of all existing and proposed buildings and structures and number of stories (describe heights & sq. ft.)
- ☒ Exterior lighting – existing and proposed
- ☒ Dimensions of all required yard depths; show setback for front, side and rear yards
- ☒ Space between buildings, existing and proposed (must be clearly written on site plan)
- ☒ Location and height of all existing and proposed walls and fences
- ☒ Existing man-made features (roads, walkways, stairways, etc.)
- ☐ Existing natural features (rock outcroppings, washes, etc.)
- ☐ Location and dimension of parking spaces – existing and proposed
- ☐ Location and dimension of driveways – existing and proposed
- ☒ Location and dimension of pedestrian walkways and stairways – existing and proposed

Grading/Excavating – Engineering reports may be required

- ☒ Existing and proposed drainage, indicate high and low on site plan, and general direction of flow → on site
- ☒ Existing and proposed grades
- ☒ Slope of property (calculation example on page 5)
- ☐ Proposed excavation

Vicinity sketch - may be presented on site plan or as separate document

- ☒ Include the site, relation to streets and adjacent properties

PROPERTY DESCRIPTION, ADDITIONAL INFORMATION

1. Nonconforming lot of record? no
 2. Name of connecting public street Queen Street
 3. Public water (domestic)? yes Public sewer? yes
Public water (fire suppression)? will put in sprinklers Public septic? no
 4. Lot area ~~28,000~~ see plans Required for zone ex. lot
 5. Lot width 30.8' Required for zone ex. lot
 6. Square footage of building 2,960 interior sf Required for zone n/a
Square footage of footprint 1,620
 7. Lot coverage; add footprints of existing and proposed buildings ÷ total lot area x 100 = % lot coverage 55.3 %
 8. Yards: Front 0' (approved by P&Z) Front of buildings within 100 feet 0'
Side yard (1) 0' Side yard (2) 0'
Rear yard 20' Single or double frontage single
 9. Proposed building height from median 24' 10" Maximum face 15' 6"
 10. Accessory buildings, describe size and use for existing, proposed modifications or new accessory buildings:
Existing sq. ft. n/a Proposed sq. ft. n/a Proposed height n/a
Proposed Use: n/a
- Engineering may be required on Items 11, 12 and 13 – describe proposed plans*
11. Fill required? see plans Is evidence of safety of fill required? unknown
 12. Excavation required? no Is evidence of safety of excavation required? unknown
 13. Is land suitable for building? (engineering verification may be required) yes
Slope (see page 5 for calculation example) 30%
Engineering report requested by Building Inspector no Engineering report submitted _____

COMMERCIAL & INDUSTRIAL DEVELOPMENT – FIRE SAFETY REVIEW REQUIREDPlan reviewed for fire safety by: in process Date: _____

Fire escape, if required by Building Inspector, must be added to site plan.



Fire suppression/sprinklers, if required will be submitted on final plans to Building Inspector.

PARKING AND LOADING – Please review ZONING ORDINANCE, §510

1. Proposed use 754 sf retail and 3 rooming house rooms
2. Is this a change of use? no
3. Is this a pre-existing structure? no
4. Describe any loading requirement none
5. Parking requirement 6

How will requirement be fulfilled? See MOU and parking overlay (John Knight)

6. Off-street parking

Spaces required <u>6</u>	Spaces provided <u>0 (participating in parking</u>
Access from public street(s) (street name(s))	<u>overlay district/in-lieu fee program)</u>
Dimensions	_____
Grading required	_____
Surface	_____
Circulation pattern and exiting procedure	_____

Industrial Performance Standards – Please review and indicate compliance with the following:

<i>Standard</i>	<i>Compliance Guaranteed</i>
Noise	<u>X</u>
Smoke	<u>X</u>
Glare or heat	<u>X</u>
Vibration	<u>X</u>
Fly ash, dust, fumes, vapors, gases or other forms of air pollution	<u>X</u>
Liquid and solid waste	<u>X</u>
Odors	<u>X</u>

PROJECT:
CUBAN QUEEN
BORDELLO
ROOMING HOUSE

324 QUEEN ST.
JEROME, AZ 86331



ONOTER LOOK
2908 E. CAMPBELL AVE
PHOENIX, AZ 85016
MATT HIM'S
T. 480.266.8193
matt.hims@gmail.com

Issued	rev	date
DESIGN REVIEW		

GENERAL NOTES &
SITE PLAN

Drawing Title

AS NOTED
Scale

A0000

PROJECT DATA

OVERALL NET ACRES: 0.062 ACRES (2,306 SF)

LEVEL 1 DET. AREA COVERED PATIO: 280 SF

LEVEL 1 INTERIOR AREA: 1,540 SF

LEVEL 2 INTERIOR AREA: 1,200 SF

TOTAL INTERIOR AREA: 2,740 SF

BUILDING FOOTPRINT: 1,400 SF

ZONING: C-1 (ED)

OCCUPANCY TYPE: RESIDENTIAL / COMMERCIAL

OCCUPANCY LOAD: -

CONSTRUCTION TYPE: V-3

PARCEL: 401-06-127

SCOPE: NEW 2 STORY BUILDING

REQUIREMENT PROVIDED

SETBACKS:

FRONT (SOUTH): 0'-0"

REAR (NORTH): 20'

SIDE (EAST): 0'

SIDE (WEST): 0'-0"

LOT COVERAGE: 70.2%

1,287 / 1,808 = 70.2%

NEIGHBORHOOD: 20' MAX

NEIGHBORHOOD: 20'-10"

NEIGHBORHOOD: 20'-10"

NEIGHBORHOOD: 20'-10"

NEIGHBORHOOD: 20'-10"

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NEIGHBORHOOD: 20'-10"

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NEIGHBORHOOD: 20'-10"

SHEET INDEX

DESCRIPTION

GENERAL NOTES & SITE PLAN

FLOOR PLAN

ELEVATIONS

ELEVATIONS

COLOR ELEVATIONS

COLOR ELEVATIONS

SECTION

SECTION

SURVEY

SURVEY

COLOR & MATERIALS (L.S.X11)

COLOR & MATERIALS (L.S.X11)

COLOR & MATERIALS (L.S.X11)

COLOR & MATERIALS (L.S.X11)

COLOR & MATERIALS (L.S.X11)

COLOR & MATERIALS (L.S.X11)

PROJECT DESCRIPTION

THE PROPOSED SITE IS FOR A NEW 2 STORY BUILDING, WHICH WILL REMAIN AS EXISTING. THE BUILDING WILL BE USED AS A HOUSING FOR THE STUDENTS OF THE UNIVERSITY OF ARIZONA. THE PROPOSED IMPROVEMENTS INCLUDE BUT ARE NOT LIMITED TO: NEW BUILDING, NEW FURNITURE, NEW LIGHTING, NEW LANDSCAPING, NEW PAVING, NEW SIGNAGE, NEW SECURITY, NEW UTILITIES, NEW WATER, NEW SEWER, NEW GAS, NEW ELECTRIC, NEW TELEPHONE, NEW CABLE, NEW INTERNET, NEW SATELLITE, NEW ANTENNA, NEW RADIATOR, NEW HEATER, NEW COOLER, NEW FREEZER, NEW REFRIGERATOR, NEW STOVE, NEW OVEN, NEW MICROWAVE, NEW TOASTER, NEW KITCHEN, NEW BATH, NEW BEDROOM, NEW LIVING, NEW DINING, NEW BREAKFAST, NEW PORCH, NEW PATIO, NEW DECK, NEW FENCE, NEW GATE, NEW DRIVE, NEW GARAGE, NEW CARPORT, NEW PORCH, NEW PATIO, NEW DECK, NEW FENCE, NEW GATE, NEW DRIVE, NEW GARAGE, NEW CARPORT.

217-23 12517000

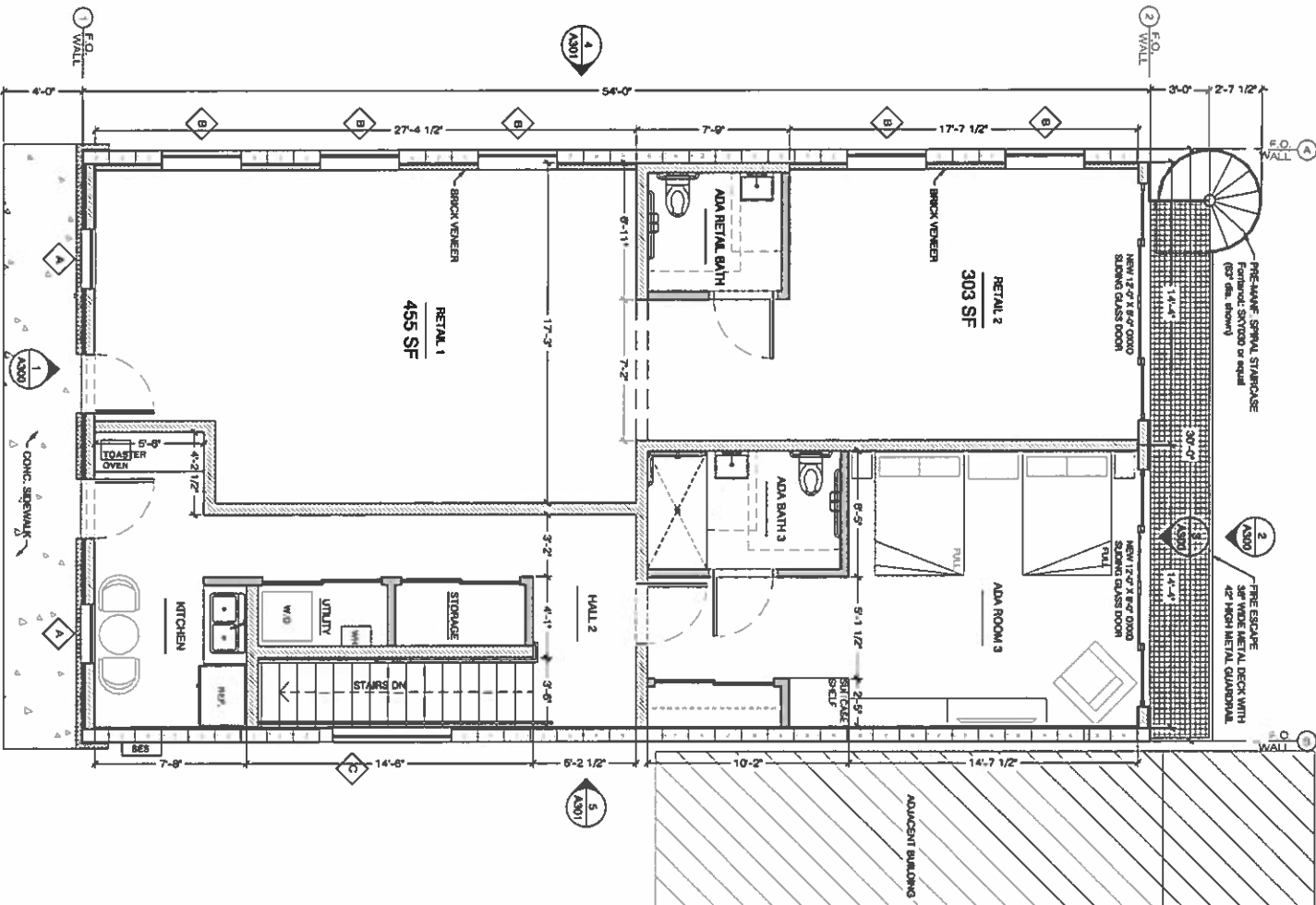
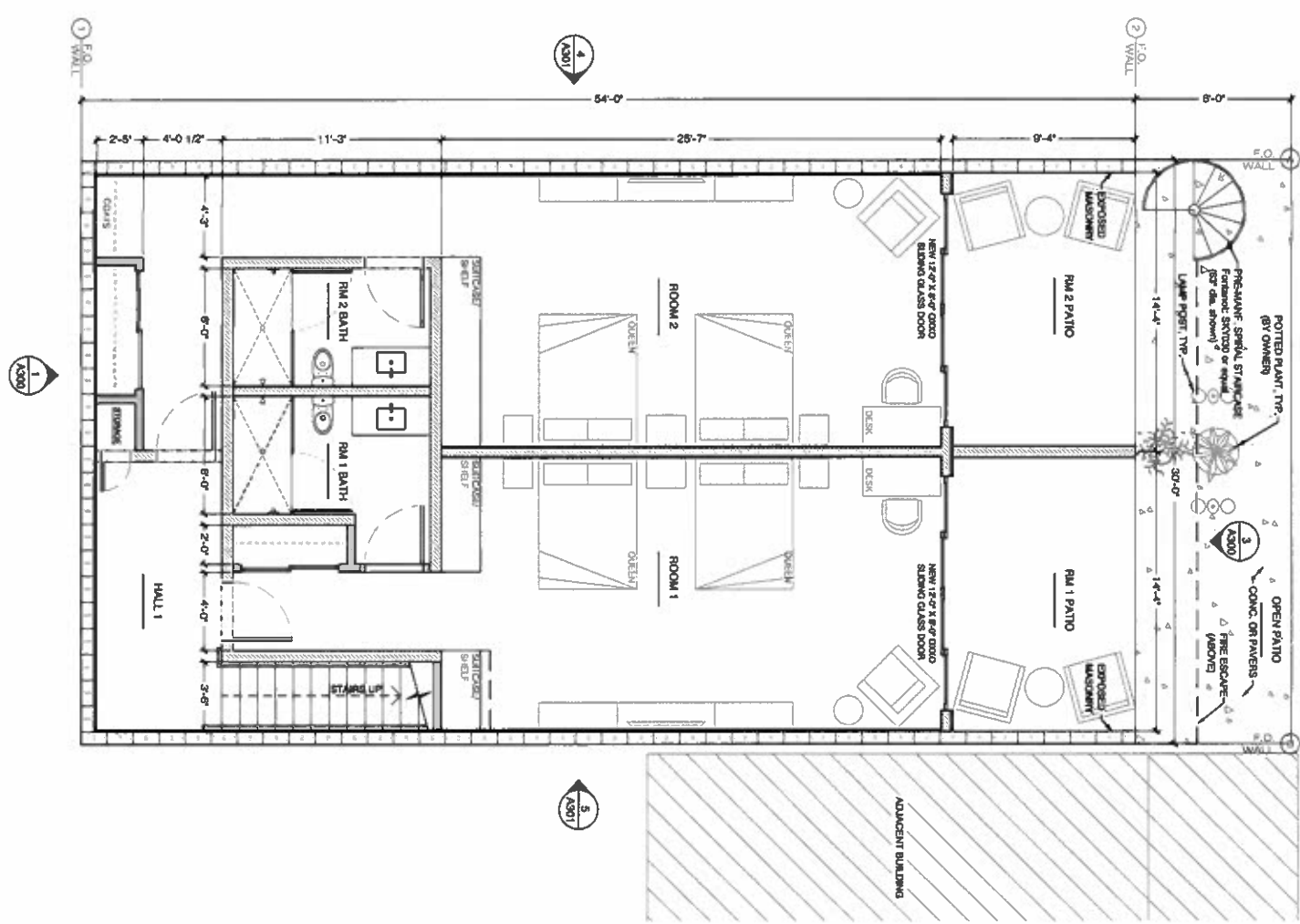
matth.hume@gmail.com

NOTE: DIMENSIONS FOR REFERENCE ONLY, G.C. TO COORDINATE WITH FIELD CONDITIONS AND COORDINATE ANY FIELD DISCREPANCIES WITH DESIGNER. DIMENSIONS TO FINISH FACE U.N.O.

ANOTHER LOOK

[illegible]

AS NOTED

SCAF-1A²=1.47*

SCALE: 1/4"=1'-0"



ANOTHER LOOK

matth.hume@gmail.com

NOTE: DIMENSIONS FOR REFERENCE ONLY, G.C. TO COORDINATE WITH FIELD CONDITIONS AND COORDINATE ANY FIELD DISCREPANCIES WITH DESIGNER. DIMENSIONS TO FINISH FACE U.N.O.

[illegible]

AS NOTED

**324 QUEEN ST.
JEROME, AZ 86331**



ANOTHER LOOK
2506 E. CAMPBELL AVE
PHOENIX, AZ 85018
MATT IHMS
T. 480.260.8183
matt.ihms@gmail.com

[illegible]

ELEVATIONS

Drawing Title

AS NOTED

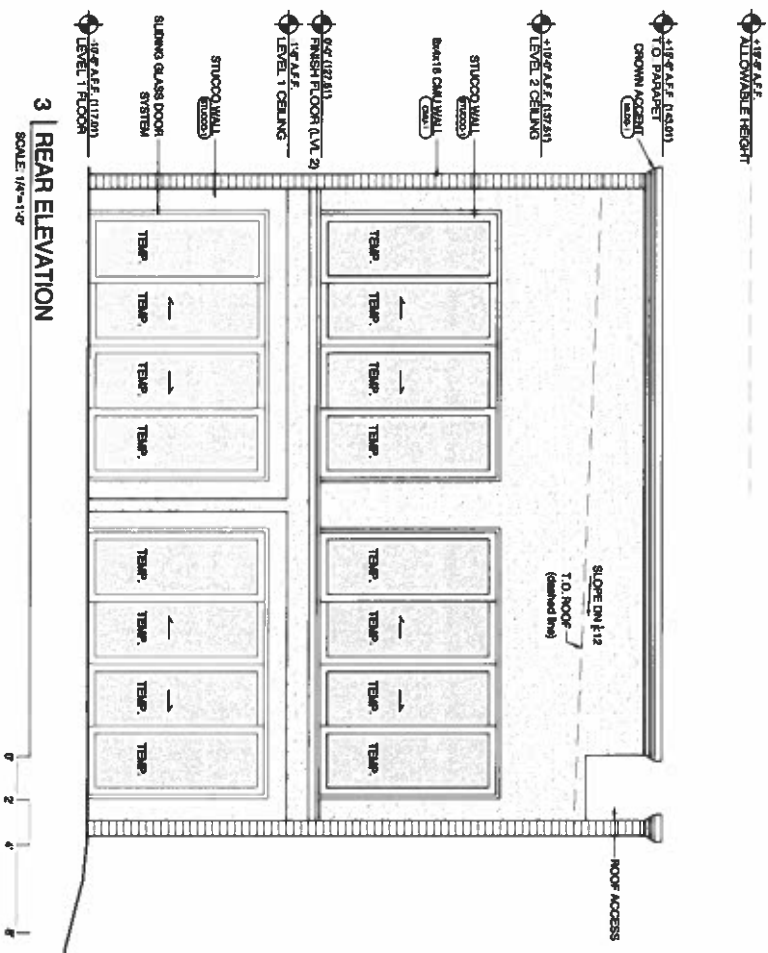
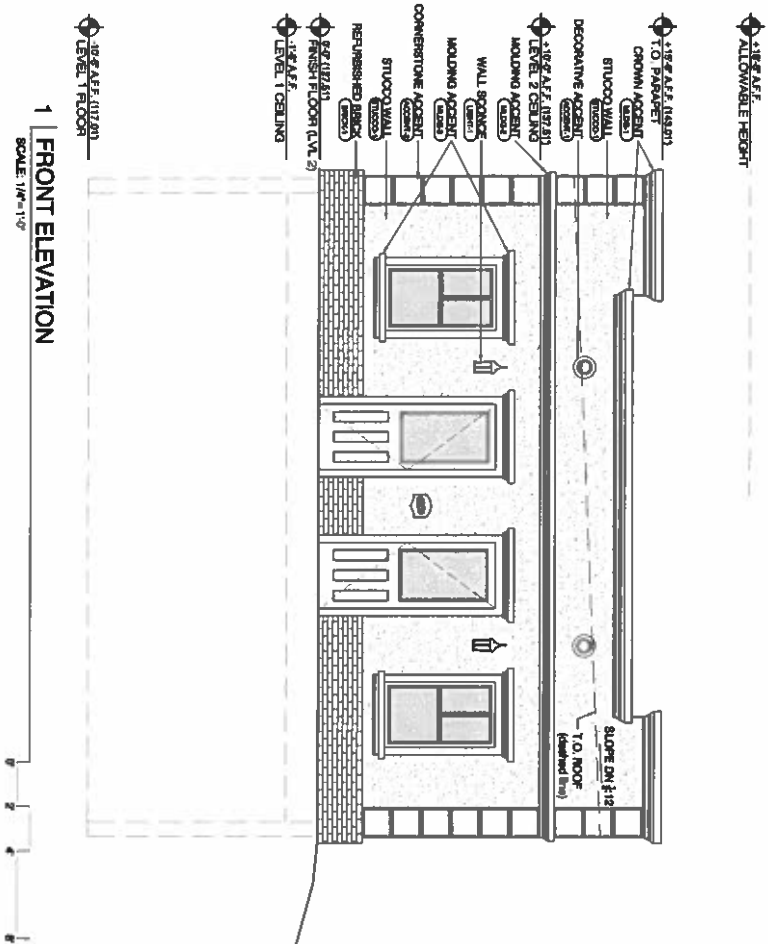
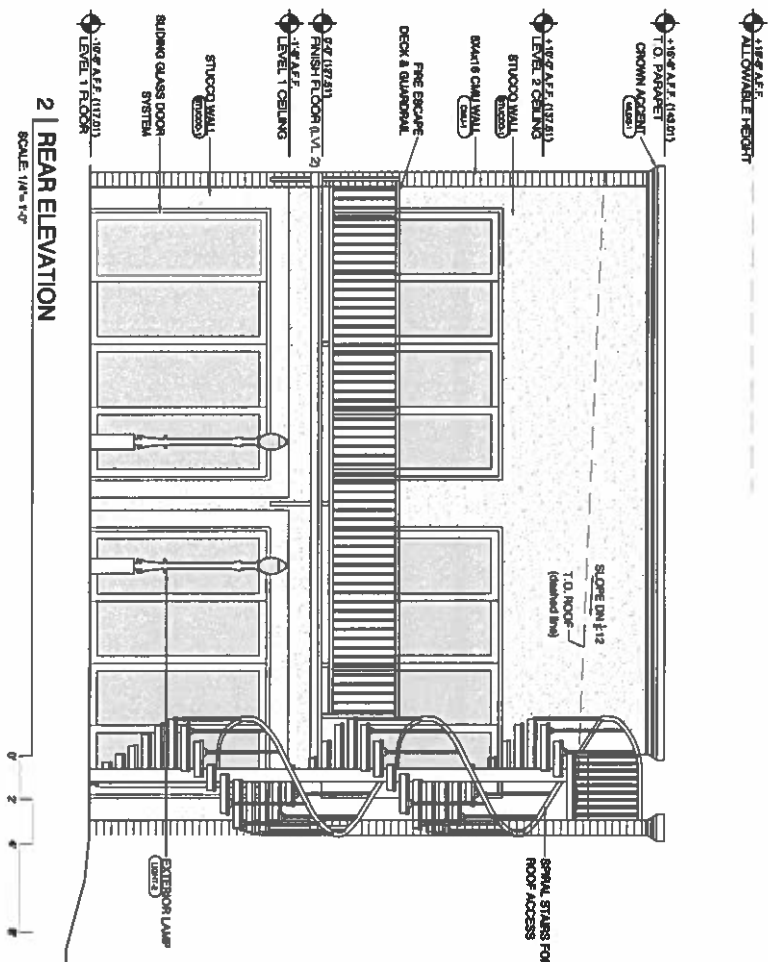
Rec'd

A300

Drawing No.

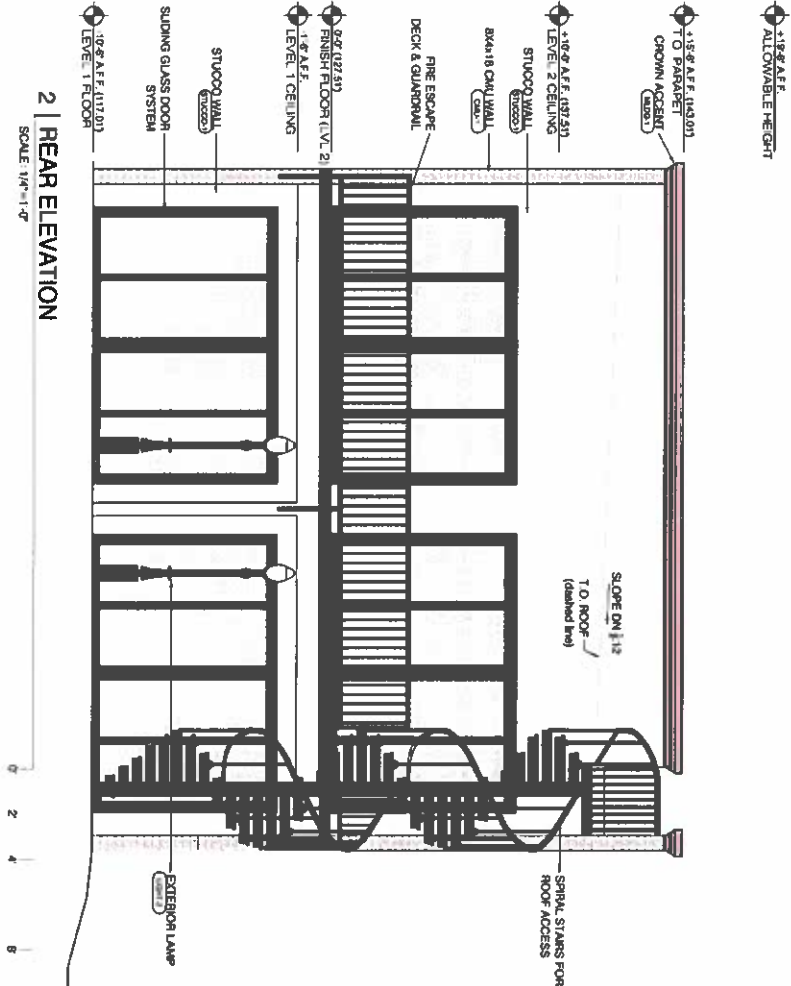
LEGEND

STUCCO-3	STUCCO WALL PAINT, DENNIS-SWISS COFFEE
MALDI-1	STUCCO FORMED MOLDING PAINT, DENNIS-SWISS ROUGE
MALDI-2	STUCCO FORMED MOLDING PAINT, DENNIS-SWISS ROUGE
MALDI-3	STUCCO FORMED MOLDING PAINT, DENNIS-SWISS ROUGE
CHAI-1	BEANS CONC. MASONRY LINT COLOR, RED SLATE BLOCK
BRICK-1	RE-FINISHED EXIST BRICK
ACCENT-3	STUCCO FORMED ACENT PAINT, DENNIS-SWISS ROUGE
ACCENT-2	STUCCO FORMED ACENT PAINT, DENNIS-SWISS COFFEE
LIGHT-1	LEIS WALL LANTERN OIL RUBBED BRUCE ELUM LIGHTING, EST. SWYHARD
LIGHT-2	EXTERIOR (3) GLOBE LAMP - PROVIDED BY OWNER



LEGEND

(STUCCO)	STUCCO WALL PAINT: DENVA2 SWISS COFFEE
(MDO.1)	STUCCO FORMED MOLDING PAINT: DE6993-VICTORIAN HOUSE
(MDO.3)	STUCCO FORMED MOLDING PAINT: DE6993-VICTORIAN HOUSE
(MDO.3)	STUCCO FORMED MOLDING PAINT: DE6993-VICTORIAN HOUSE
(CMU.1)	8x16 CONC. MASONRY UNIT COLOR: RED SLUMP BLOCK
(BRCK.1)	RE-FURNISHED EXIST. BRICK
(ACCENT.1)	STUCCO FORMED ACCENT PAINT: DE6993-VICTORIAN HOUSE
(ACCENT.2)	STUCCO FORMED ACCENT PAINT: DENVA2 SWISS COFFEE
(LGT.1)	LED WALL LANTERN ON RUBBER BRONZE CORD LIGHTING - 67L-150W-MD
(LGT.2)	EXTENSION (A) GLOBE LAMP - PROVIDED BY OWNER



PROJECT:
**CUBAN QUEEN
BORDELLO
ROOMING HOUSE**

**324 QUEEN ST.
JEROME, AZ 86331**



ANOTHER LOOK[®]
2506 E. CAMPBELL AVE
PHOENIX, AZ 85016
MATT HIMS
T. 480.266.8193
matt.hims@gmail.com

issued	rev	date
DESIGN REVIEW		

ELEVATIONS

Drawing Title

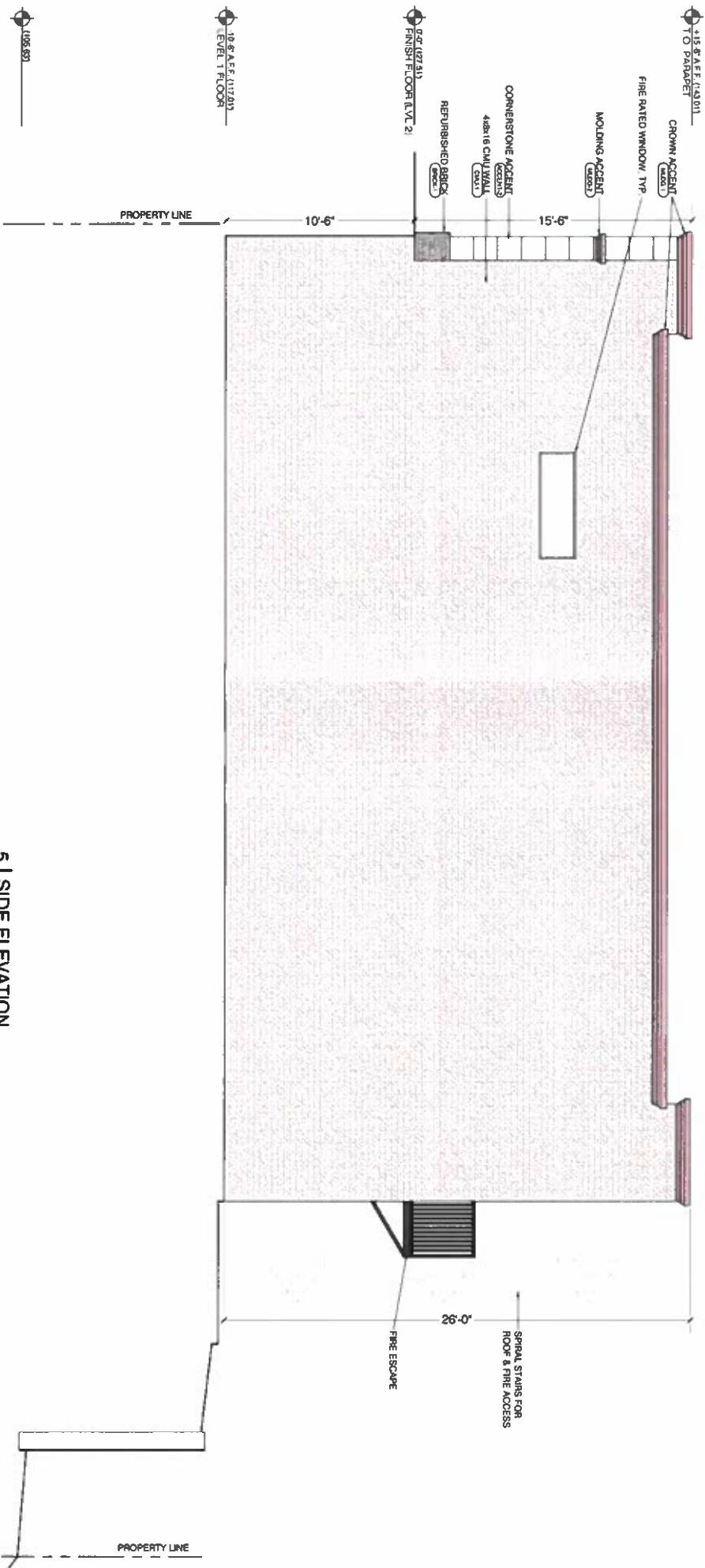
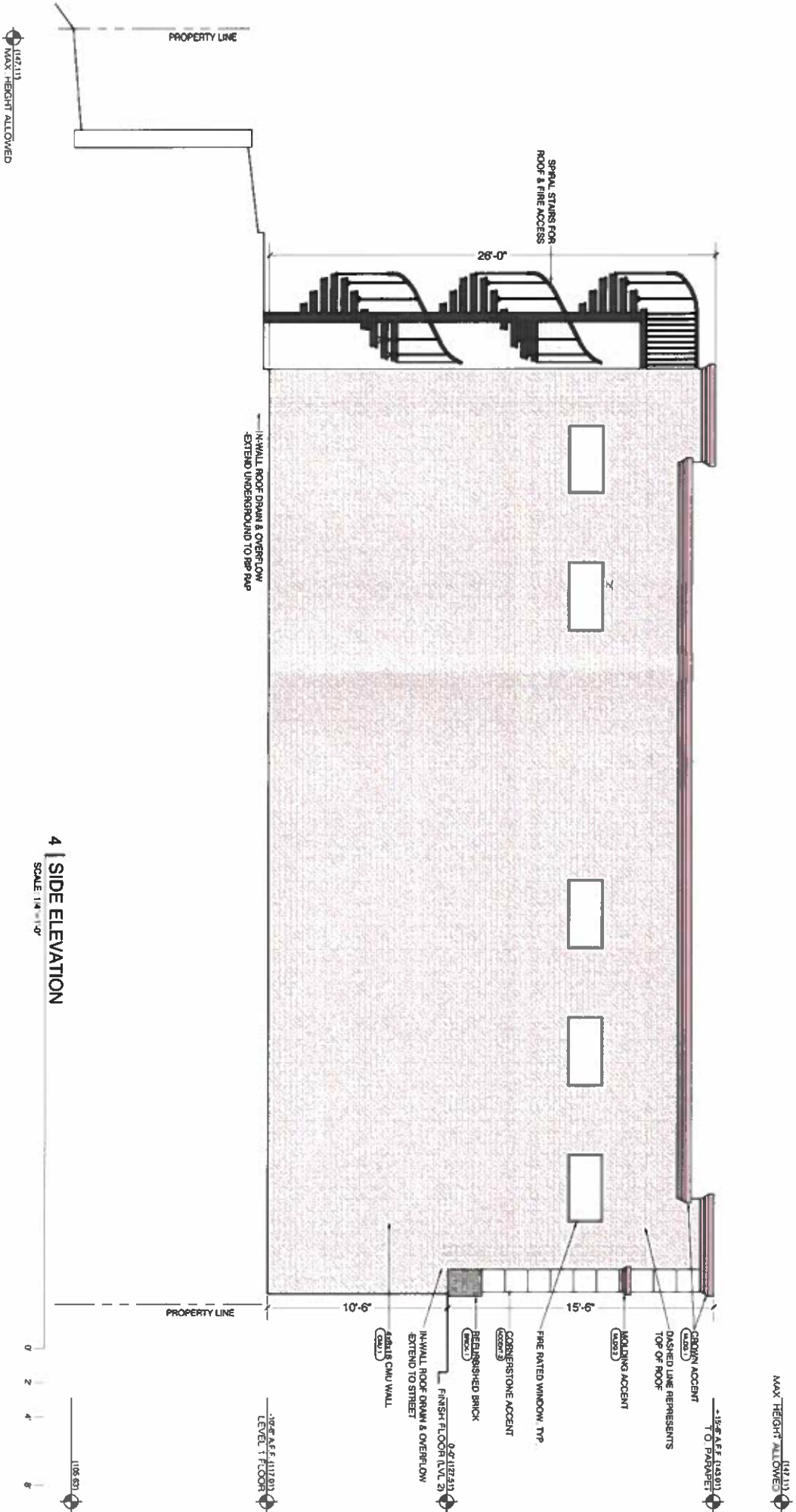
AS NOTED
Scale

A300-C

Drawing No.

LEGEND

(STUCCO)	STUCCO WALL	PAINT: DENW42 SWISS COFFEE
(MDO-1)	STUCCO FORMED MOLDING	PAINT: DE0995-VICTORIAN HOUSE
(MDO-2)	STUCCO FORMED MOLDING	PAINT: DE0995-VICTORIAN HOUSE
(MDO-3)	STUCCO FORMED MOLDING	PAINT: DE0995-VICTORIAN HOUSE
(CMU-1)	8x16 CORN. MASONRY UNIT	COLOR: RED SLUMP BLOCK
(BRCK-1)	RE-FURNISHED EXIST. BRICK	
(ACCENT-1)	STUCCO FORMED ACCENT	PAINT: DE0995-VICTORIAN HOUSE
(ACCENT-2)	STUCCO FORMED ACCENT	PAINT: DENW42 SWISS COFFEE
(LIGHT-1)	LED WALL LANTERN	ON RUBBED BRONZE
(LIGHT-2)	LED LIGHTING - EPL-100W-MD	EXTENDER (3) GLOBE LAMP
		- PROVIDED BY OWNER



PROJECT

CUBAN QUEEN BORDELLO ROOMING HOUSE

324 QUEEN ST.
JEROME, AZ 86331



ANOTHER LOOK

2306 E. CAMPBELL AVE
PHOENIX, AZ 85016
MATT HIMMS
T. 480.286.8193
matt.himms@gmail.com

issued	rev	date
DESIGN REVIEW		

ELEVATIONS

Drawing Title

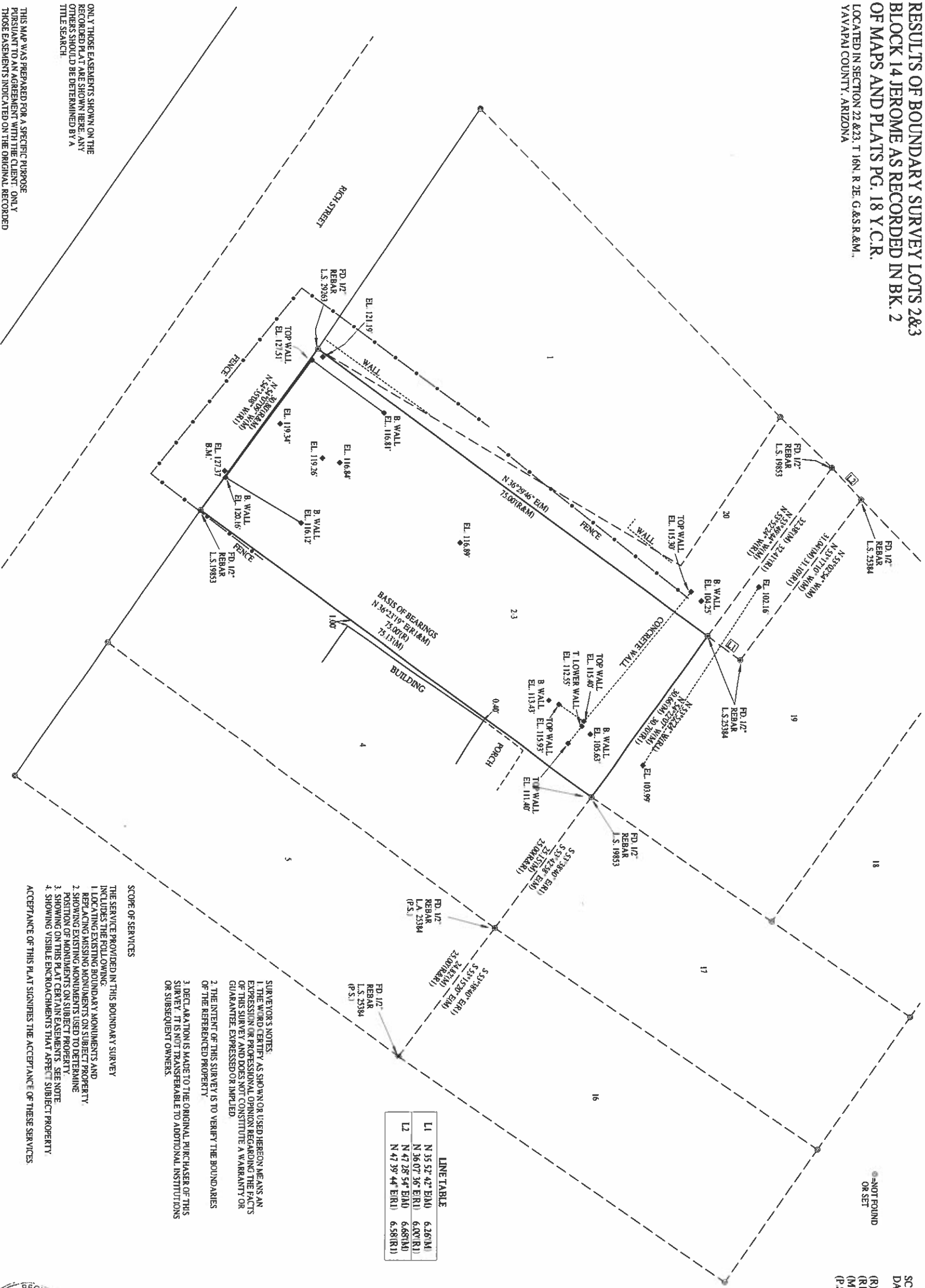
AS NOTED
Scale

A301-C

Drawing No.

RESULTS OF BOUNDARY SURVEY LOTS 2&3
BLOCK 14 JEROME AS RECORDED IN BK. 2
OF MAPS AND PLATS PG. 18 Y.C.R.
LOCATED IN SECTION 22 & 23, T. 16N., R. 2E., G. & S. R. & M.,
YAVAPAI COUNTY, ARIZONA

SCALE: 1"=10'
DATE: 10/17/2018
(R)=RECORD
(R1)=BK. 48, L.S. PG. 54
(M)=MEASURED
(P.S.)=PREVIOUS SURVEY



LINE TABLE			
L1	N 35°52'42" E 60.0'	6.26'	(M)
L2	N 36°07'36" E 60.0'	6.00'	(R)
L3	N 47°28'54" E 60.0'	6.68'	(M)
L4	N 47°39'44" E 60.0'	6.58'	(R1)

SURVEYOR'S NOTES:
1. THE WORD CERTIFY AS SHOWN OR USED HEREON MEANS AN EXPRESSION OR PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EXPRESSED OR IMPLIED.
2. THE INTENT OF THIS SURVEY IS TO VERIFY THE BOUNDARIES OF THE REFERENCED PROPERTY.
3. DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

SCOPE OF SERVICES:
THE SERVICE PROVIDED IN THIS BOUNDARY SURVEY INCLUDES THE FOLLOWING:
1. LOCATING EXISTING BOUNDARY MONUMENTS AND REPLACING MISSING MONUMENTS ON SUBJECT PROPERTY.
2. SHOWING EXISTING MONUMENTS USED TO DETERMINE POSITION OF MONUMENTS ON SUBJECT PROPERTY.
3. SHOWING ON THIS PLAT CERTAIN EASEMENTS, SEE NOTE 4, SHOWING VISIBLE ENCROACHMENTS THAT AFFECT SUBJECT PROPERTY.
ACCEPTANCE OF THIS PLAT SIGNIFIES THE ACCEPTANCE OF THESE SERVICES.

LIMITATION OF LIABILITY:
The Surveyor's Certification is subject to a limitation of liability. The general public and client are on notice that this Survey is subject to a limitation of liability not to exceed the price of the contract between Hammes Surveying LLC and said client.

10-17-2018
Hammes Surveying LLC
2100 VIA SILVERADO
CAMP VERDE, AZ. 86312
(928) 282-5666 (928) 567-2833

THIS MAP WAS PREPARED FOR A SPECIFIC PURPOSE PURSUANT TO AN AGREEMENT WITH THE CLIENT. ONLY THOSE EASEMENTS INDICATED ON THE ORIGINAL RECORDED SUBDIVISION PLAT ARE INDICATED ON THIS PLAT. NO ATTEMPT WAS MADE BY THIS SURVEYOR OR HAMMES SURVEYING LLC TO DETERMINE IF ANY ADDITIONAL EASEMENTS OR ENCUMBRANCES EXIST. THEREFORE, A TITLE SEARCH WOULD BE NECESSARY TO DETERMINE IF ADDITIONAL EASEMENTS AND ENCUMBRANCES, IF ANY, MAY AFFECT THE SUBJECT PROPERTY. THIS SURVEYOR AND HAMMES SURVEYING LLC WILL NOT ACCEPT ANY LIABILITY FOR LOSS OR DAMAGES DUE TO ANY EASEMENTS, ENCUMBRANCES, SURFACE CONDITIONS, STRUCTURES AND OR UTILITIES NOT INDICATED ON THIS PLAT.

THIS PLAT IS SUBJECT TO ALL CONDITIONS, RESERVATIONS, AND OTHER ITEMS OF PUBLIC RECORD ON THIS 17th DAY OF OCTOBER, 2018.
THIS PLAT DOES NOT PURPORT TO VERIFY THE OWNERSHIP OF ANY PROPERTY SHOWN OR INVOLVED IN THIS SURVEY. ANY EASEMENTS OR OTHER ENCUMBRANCES SHOULD BE DETERMINED BY A TITLE SEARCH.

SURVEYOR'S CERTIFICATE:
THIS RESULTS OF SURVEY MAP AND THE FIELD SURVEY ON WHICH IT IS BASED WERE CONDUCTED DURING THE MONTH OF OCTOBER, 2018, UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE STANDARDS GOVERNING THE CREATION OF LAND SURVEY BOUNDARIES WITHIN THE STATE OF ARIZONA AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Colors & Materials: Cuban Queen

STUCCO-1: **DEW341 - dunn edwards - swiss coffee**
Location: stucco at front & rear of building exterior
Finish: smooth

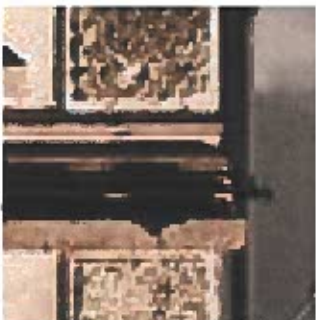


MLDG-1, MLDG-2 & MLDG-3: **DE0995 - dunn edwards - Victorian Rouge**

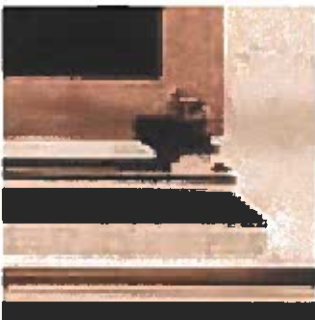
Location: front of building, roof crown moulding entire perimeter
Finish: smooth



MLDG-1



MLDG-2



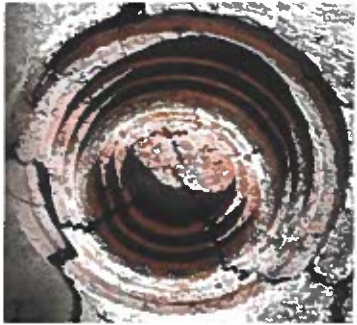
MLDG-3

CMU-1: **8x4x16 concrete masonry unit**
Location: exterior side walls of building
Finish: slump block (reds - mixed to emulate brick)



BRICK-1: **Re-furnished existing brick**
Location: front of building
Finish: mixed colors





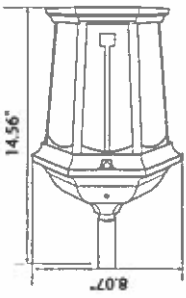
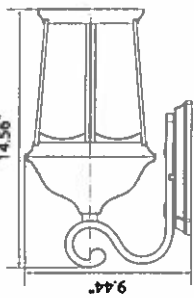
ACCENT-1: Stucco accent
Location: front of building
Finish: paint DE0995-Victorian Rouge (to match picture)



ACCENT-2: Stucco accent
Location: front of building
Finish: paint DEW341-Swiss Coffee (to match picture)



LIGHT-1: LED Wall Lantern
Location: front of building
Finish: oil rubbed bronze



LIGHT-2: Globe Lamp
Location: rear of building
Finish: oil rubbed bronze



TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331

OFFICE (928) 634-7943 FAX (928) 634-0715

ZONING ADMINISTRATOR ANALYSIS PLANNING & ZONING COMMISSION

January 8, 2020

ITEM 8: CUP for Residential in C-1
Location: 324 Queen Street
Applicant/Owner: Windy Jones & Josh Lindner/Cuban Queen Bordello LLC
ZONE: C-1
APN: 401-06-127
Recommendation: Review/Recommend Approval to Council (P&Z Resolution 2020-5)
Prepared by: John Knight, Zoning Administrator

Summary: The applicant requests approval of a Conditional Use Permit (CUP) to allow a boardinghouse/rooming house in the C-1 zone. The applicant is proposing a mixed-use building with retail and three (3) residential rooms. The zoning code allows residential in the C-1 with the approval of a CUP. Note that the Planning and Zoning Commission (the Commission) has a separate item on the agenda for site plan review of the same project. The Commission's role for the CUP is to make a recommendation to Council. This is tentatively scheduled for review by Council at the February 2020 meeting.

Code Compliance:

Section 507.C.13. Conditional Uses: *Residential use of a building, including boarding houses, rooming houses, lodging houses, apartments and Bed and Breakfasts, when in the opinion of the Planning and Zoning Commission, said use has little or no adverse effect on the public health, safety and general welfare. Residential use with historic precedence in the subject buildings are exempt from the well-being criteria but remain subject to nonconforming use clauses.*

Response: The Commission has the authority to recommend approval of a boardinghouse/rooming house in the C-1 zone provided a finding is made that the proposed use will *have "no adverse effect on the public health, safety, and general welfare."* The proposed mix of retail and residential rooms in the C-1 is common and compatible with other similar uses in the C-1. Note that the approval is subject to the applicant obtaining parking to serve the proposed uses.

Section 302.B.1. General Regulations: *Zoning district regulations established elsewhere in this Ordinance specify that certain buildings, structures and uses of land may be authorized by the Commission as Permitted Conditional Uses in a given district subject to the provisions of this Section and to requirements set forth in district regulations. The Planning and Zoning Commission is empowered to make recommendations to the Town Council regarding granting or denying applications for use permits and to impose reasonable conditions upon them. Prior to becoming effective, all actions by the Planning and Zoning Commission concerning a use permit application must be acted upon by the Town Council in accordance with the provisions of subsection 302 E.*

Response: The Commission is “empowered” to make recommendations to the Council regarding granting or denying the proposed request and may add reasonable conditions. Note that conditions are included in the accompanying resolution (P&Z Reso. 2020-5). The Commission has the authority to modify or add conditions is necessary.

Section 302.D. Commission Actions and Findings:

- 1. It is the express intent of this Ordinance that any use for which a Conditional Use Permit is required shall be permitted as a Principal Use in the particular zoning district, provided that all special conditions and requirements of this Ordinance are met. Therefore, the action of the Commission shall be one of approval or denial based upon its judgment as to whether the specified conditions have been or will be met. The Commission shall consider not only the nature of the use and the special conditions influencing its location in the particular district, but also the proposed location of buildings, parking and other facilities within the site, the amount of traffic likely to be generated and how it will be accommodated, and the influence that such factors are likely to exert on adjoining properties. The Commission may make such suggestions as it considers desirable and shall provide all possible guidance to the applicant in his preparation of application, plans, and data in such manner as to satisfy the intent of this Section.*
- 2. The Commission shall consider the application at their next regular meeting if the application was filed at least fifteen (15) days prior to such meeting. Otherwise it shall be carried over until the next regularly scheduled meeting. The Commission may reach a decision, continue the matter to a specified date (but not later than the next regularly scheduled meeting), or may set the matter for public hearing. Prior to holding a public hearing, a Neighborhood Meeting may be required in accordance with Section 306 of this Zoning Ordinance. If the Commission does set the matter for public hearing, notice thereof shall be given to the public by publication of a notice in the official newspaper of the Town and by posting the property included in the application not less than fifteen (15) days prior to the hearing. The notice shall set forth the time and place of the hearing and include a general explanation of the matter to be considered and a general description of the area affected.*
- 3. In order to grant any use permit, the findings of the Commission must be that the establishment, maintenance, or operation of the use or building applied for will not be detrimental to the public health, safety, peace, convenience, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the Town.*
- 4. The Commission may designate such conditions in connection with the use permit as it deems necessary to secure the intent and purposes of this ordinance and may require guarantees and evidence that such conditions are being or will be complied with.*
- 5. If the Commission finds that the application and supporting data do not indicate that all applicable conditions and requirements of this Ordinance will be met, it shall deny the permit. Notice of denial, including reasons, therefore, shall be mailed to the applicant at the address shown in the application, and the Commission shall report its actions to the Council at its next regular meeting.*
- 6. If the Commission approves the application it shall direct the Zoning Administrator to draft a Conditional Use Permit setting forth all conditions and requirements governing such use, shall make the approved site plan a part of the record of the case, and shall submit the permit to the Town Council for action at Council's next regular meeting.*

7. *Failure of the applicant to comply with the conditions and safeguards which are a part of the terms under which a Conditional Use Permit is granted shall be deemed a violation of this Ordinance and punishable under Section 109.*

Response: The Commission is required to review the proposed application and make findings for approval (included in the attached resolution) or denial. The Commission may also add conditions to ensure compliance with the approval.

Section 510.D.1.a. Off Street Parking: Off-street parking shall be provided for the boardinghouse rooms at the rate of one (1) space per dwelling unit.

Response: Three (3) spaces are needed for the boardinghouse in addition to parking for all other uses in the proposed building.

Recommendation: The zoning administrator requests that the Planning and Zoning Commission review/discuss the proposed application, add/modify conditions (if necessary), and make a recommendation to the Town Council by approving Resolution 2020-5.

Attachments:

- Resolution 2020-5



Founded 1876
Incorporated 1899

TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331
(928) 634-7943 FAX (928) 634-0715

P&Z RESOLUTION NO. 2020-5

RECOMMENDING APPROVAL OF A CONDITIONAL USE PERMIT (CUP) FOR RESIDENTIAL USE IN COMMERCIAL (C-1) ZONE FOR 324 Queen Street

WHEREAS, the Town of Jerome has received an application from Windy Jones and Josh Lindner for a conditional use permit to allow a boarding house to be constructed in the C-1 Zone at 324 Queen Street (APN 401-06-127); and

WHEREAS, the property is in the C-1 zoning district, and a boarding house use is allowed in the C-1 with the approval of a conditional use permit (CUP); and

WHEREAS, the Jerome Planning & Zoning Commission reviewed this application at their January 8, 2020 meeting; and

WHEREAS, the Planning and Zoning Commission has considered not only the nature of the use and the special conditions influencing its location in the particular district, but also the proposed location of buildings, parking and other facilities within the site, the amount of traffic likely to be generated and how it will be accommodated, and the influence that such factors are likely to exert on adjoining properties; and

WHEREAS, the Planning and Zoning Commission finds that the establishment, maintenance, or operation of the use or building applied for will not be detrimental to the public's health, safety, peace, convenience, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the Town; and

WHEREAS, the Planning and Zoning Commission has designated conditions in connection with the use permit that it deems necessary to secure the intent and purposes of the Jerome Zoning Ordinance and may require guarantees and evidence that such conditions are being or will be complied with;

NOW, THEREFORE, BE IT RESOLVED by the Planning and Zoning Commission of the Town of Jerome, Arizona, that the Commission hereby recommends approval of this Conditional Use Permit by the Town Council, subject to the following conditions:

1. **Parking Spaces** – A minimum of three (3) off-street parking spaces shall be provided for the residential use. Additional parking will be required for other uses in the proposed building.
2. **Construction Hours and Noise** – Construction and noise shall be limited between 8:00 pm and 7:00 am in accordance with Section 10-1-13.C. of the Jerome Town Code.
3. **Sign** – A separate application to the Design Review Board will be required for approval of any signage.

P&Z RESOLUTION NO. 2020-5

4. **Other Improvements/Changes** – Any subsequent modifications or changes to the Plans, including but not limited to changes in setbacks, square footage, fences, siding, roofing, height, additional units, changes in parking, etc., will require additional review by the Planning and Zoning Commission and/or the Design Review Board.
5. **Home Occupations** - Any proposed use of the property for a Home Occupation shall be incidental to the primary use of the property and in compliance with Section 502.M. of the Zoning Ordinance.
6. **Building Permit Submittal and Code Requirements** - The applicant shall consult with the Building Official and submit detailed drawings for building permits that clearly demonstrate compliance with all Code requirements, including, but not limited to, coverage, height, parking and setbacks (Section 505).
7. **Violation** - Failure of the applicant to comply with the conditions and safeguards which are a part of the terms under which a Conditional Use Permit is granted shall be deemed a violation of this Ordinance and punishable under Section 109 of the Jerome Zoning Ordinance.
8. **Expiration of Approval** - Any use permit issued by the Town Council shall be commenced within six (6) months from the date of Council ratification, and diligently pursued, otherwise it shall become null and void. If necessary, the applicant may request an extension by the approval body, if the extension is submitted prior to approval expiration.

ADOPTED AND APPROVED by a majority vote of the Planning and Zoning Commission on the 8th day of January 2020.

ATTEST:

APPROVED:

Rosa Cays, Deputy Town Clerk

Chairman Lance Schall

#8

ITEM-7

CUP
Application


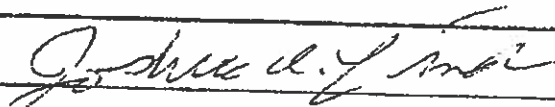
Founded 1876
Incorporated 1899

TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331

PH: (928) 634-7943 FAX: (928) 634-0715 c.page@jerome.az.gov

PLANNING & ZONING COMMISSION

APPLICANT		FOR OFFICE USE ONLY CONDITIONAL USE PERMIT			
Project Name: Cuban Queen Borello Rooming House	Fee Receipt Zone Date Taken By Parking Req's:	Ma Y N	A D	Final action	
Project Address: 324 Queen St. Jerome AZ 86331					
Parcel Number(s): 401-06-127					
Property Owner(s): Windy Jones + Josh Lindner	Applicant/Agent: Windy Jones + Josh Lindner				
Mailing Address: 2549 Haskell Springs Rd	Mailing Address: 2549 Haskell Springs Rd				
City: Clarkdale	City: Clarkdale				
State: AZ	State: AZ				
Zip Code: 86324	Zip Code: 86324				
Phone: 714-306-8079	Phone: 714-306-8079				
Email: socialwindyj@yahoo.com	Email: socialwindyj@yahoo.com				
State Request (proposed usage requiring permit and other information pertinent to the consideration of granting requested permit):					
Building a mixed use retail and rooming/lodging house.					
I hereby certify that the information submitted on this application is complete and accurate to the best of my knowledge and that I am the owner or authorized agent of the same as stated in the attached documentation.					
Signature: 					
Print Name: Windy Jones					
Date: 4-18-19					
Signature: 					
Print Name: Josh Lindner					
Date: 4-18-19					



TOWN OF JEROME

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MINUTES

TOWN OF JEROME NEIGHBORHOOD MEETING

COUNCIL CHAMBERS, JEROME TOWN HALL

MONDAY, DECEMBER 16, 2019

6:00 PM: Parking Overlay District

7:00 PM: 324 Queen Street Project

Staff present were John Knight, zoning administrator; John McDonald, DRB member; Rosa Cays, utilities clerk.

Councilmembers present were Sage Harvey, vice mayor, and Jane Moore.

Presenters were John Knight, Windy Jones and Josh Lindner, owners of 324 Queen Street.

In attendance were approximately 20 members of the community including Sharon Watson, Nancy and Tracy Weisel, Carol Wittner, Carol Anne Teague, Jay Kinsella, Steve Pontious, Sherry McMahon, Curtis Lindner, Steve Knowlton, Nancy Robinson, Jesse Anderson, Jason Benatz, Karen Sakala, and others.

6:00 PM: Parking Overlay District

John Knight (JK) opened the PowerPoint presentation (See Attachment 1), introduced the agenda and purpose of the meeting, then talked about the parking requirements for the C-1 district. JK explained what would seem to be a nonconforming parking situation (i.e., “grandfathered” if building existed before 1977) isn’t always necessarily the case. JK addressed the difficulty of providing parking in Jerome—not impossible. The zoning code allows required parking spaces to be located off street (on the site) or anywhere within C-1. JK reviewed the parking space requirements for various types of businesses.

JK talked about variances done in the early 1990s, where business owners could pay a fee in lieu of providing parking. A new, similar program may be implemented to allow for in-lieu fees that would be allocated for future parking spaces.



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JK introduced the concept of the Parking Overlay District, which was discussed at the November 2019 council meeting. The proposed “overlay” district boundary includes the lots below Hull Avenue (House of Joy, town property), the basketball and volleyball courts, Park Street, the Ensign property, and 324 Queen Street. Most of the area is owned by the town. There is talk about possibly expanding the boundary to include the Hotel Jerome and Al Robles’s apartments (currently vacant). Total number of spaces proposed to be added in the Queen Street parking lot would be approximately 30. The volleyball court could be relocated and upgraded to a multipurpose court allowing for more parking. The basketball court could double as a farmer’s market courtyard; landscaping would be enhanced.

JK opened the floor to questions. Bobby Conlin asked if businesses had to be within the overlay district boundaries (Bobby D’s is his restaurant) to participate in this parking plan. Yes, they do, JK informed him. The current boundary only includes the House of Joy, Cuban Queen, the Ensign property and possibly the Hotel Jerome if the boundary extension is put in place.

Jay Kinsella wanted it on record that **parking in the C-1 district does not work**. He asked how many spaces would be added in the overlay district. JK told him about 30; 12 additional could be added to serve the Hotel Jerome if the boundary extension is approved.

No more questions were asked. **First part of meeting ended at approximately 7:40 PM.**



TOWN OF JEROME

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7:00 PM: 324 Queen Street Project

JK introduced Windy Jones (WJ) and Josh Lindner (JL), owners of 324 Queen Street. WJ spoke while JL operated the PowerPoint presentation (see Attachment 2).

WJ started with the history and photograph images of the Lindner family in the Verde Valley, including JL's great-great grandfather. Jerome resident Curtis Lindner is Josh's father, who was present and has a business in Jerome with his partner, Sherry McMahon (Papillon Antiques on Main Street).

The visual presentation included before and after images of the Cuban Queen and design elements WJ hopes to incorporate. WJ explained that the original Cuban Queen could not be replicated - according to the State Historic Preservation Offices (SHPO). WJ showed revised plans that give the sense of the old Cuban Queen without replicating it. These plans still have to be reviewed by the Planning and Zoning Commission and the Design Review Board. The original plans totaled 5,000 square feet and are now down to just under 3,000 square feet—instead of three stories, the building is now proposed to be two stories. This was done partly to accommodate Jerome Zoning ordinances. The new Cuban Queen would be a rooming house and retail space with the possibility of an artist's studio. WJ and JL are going forward with their plans as the parking overlay district concept also moves forward, in hopes all will dovetail for a win-win.

The meeting ended at approximately 7:40 PM.

Attachments –

1. PowerPoint Presentation – Parking Overlay District
2. PowerPoint Presentation – 324 Queen St.

Town of Jerome
Neighborhood Meeting
6:00 PM Parking Overlay District
7:00 PM 324 Queen Street Project
December 16, 2019



1

Agenda

- Introduction, Purpose of Meeting
- Parking Requirements in C-1
- Background of Parking Overlay District
- Review of Maps/Plans for Parking District
- Possible Expansion of Boundary
- In-Lieu Fee Program
- Review Plan for Queen St. Parking Lot
- Next Steps
- Questions

2

Parking Requirements in C-1

- Zoning Code Section 510. Parking & Loading Requirements
- 510.B.1. Space Size – 8' x 20'
- Non-conforming Parking (grandfathered) – 1977
- On-Site/Off-street & Off-site (On-street doesn't count toward requirement)
- Off-site Spaces (510.C.2.a.) – allowed with easement or deed restriction
- Required Spaces –
 - Boarding House/Hotel/Motel – 1 per room
 - Apartment – 1.5 spaces/unit
 - Restaurant – 1 space/6 seats (plus 1 per 100 s.f. usable area)
 - Retail & Wine Tasting – 1 space/300 s.f.
 - Art Studio – 1 space/500 s.f.

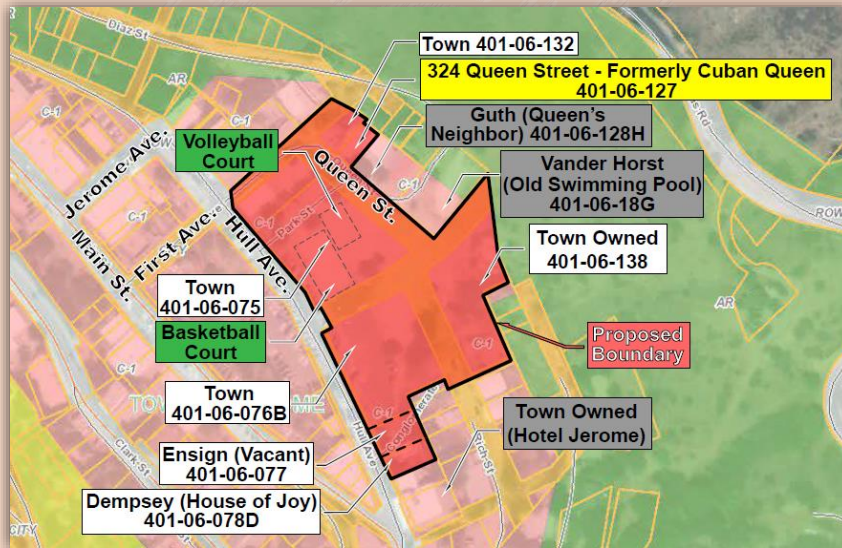
3

Background of Parking Overlay District

- 1990s – Parking In-Lieu Fee & Variances
- Difficult for many properties to provide On-site Parking
- Council directed staff to look at other ways to meet parking requirements
- Variances are not likely to be approved
- In Nov. 2019, the Council initiated a Code Amendment to create an Overlay District
- An Overlay District “overlays” the primary Zoning District (in this case, C-1)
- Council also directed staff to create an In-Lieu fee
- In-Lieu fees will be allocated toward creating new/additional public parking spaces

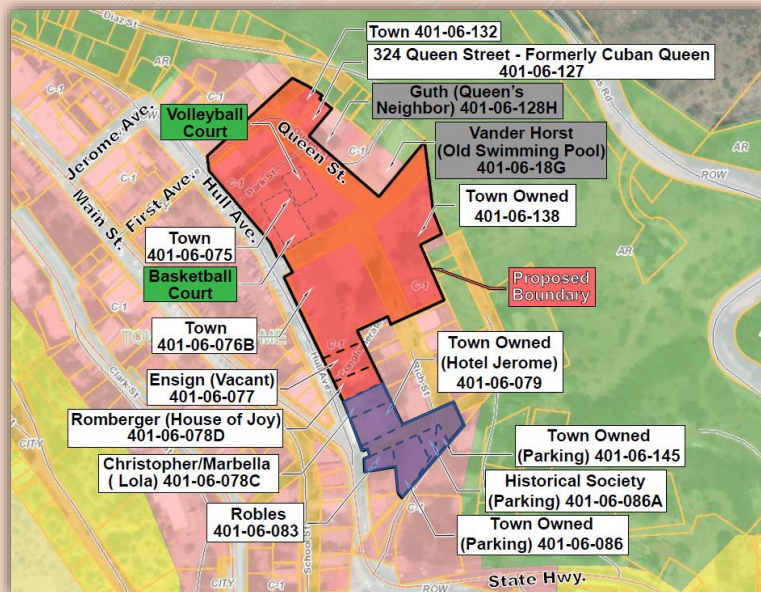
4

Proposed Overlay District Boundary



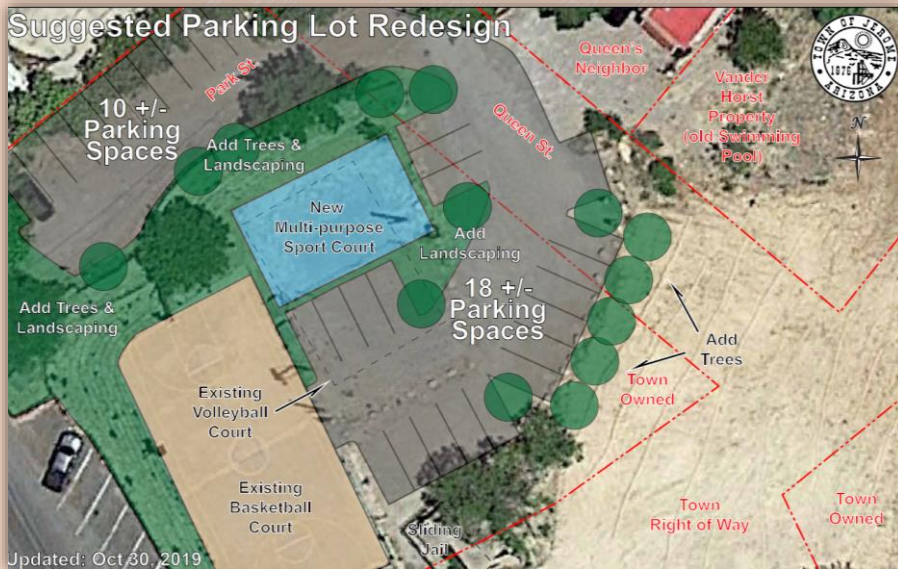
5

Possible Expansion of Boundary



6

Conceptual Design Queen St. Parking Lot



7

Next Steps

- Council Meeting 1/14/2020 to discuss expanding boundary
- Updated Neighborhood Meeting if Boundary Expanded
- Survey and Design of new Parking Area
- Prepare construction cost estimates and In-Lieu Fee
- Planning and Zoning Commission review of Overlay District (recommendation)
- Return to Council for Ordinance Adoption
- Construct parking lot and associated landscaping

8

Questions/Comments?



9



Thank you!

Please stay for Applicant
Presentation on 324 Queen St.



10



324 Queen Street
Neighborhood meeting
12/16/2019

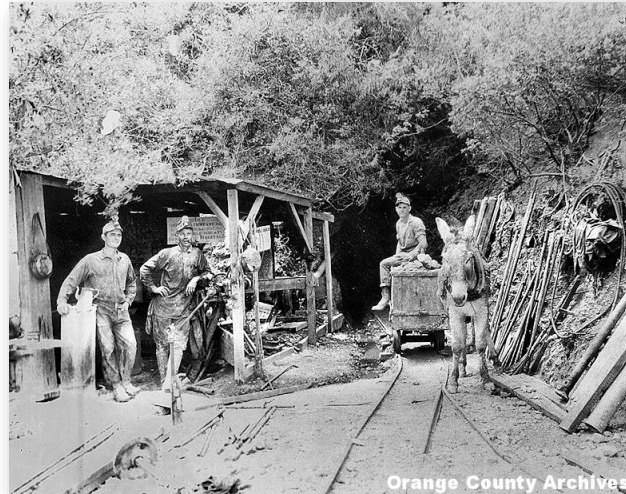
1

Who we are...



2

Historic Silverado Canyon Blue Light Mine



3

**JOSH'S FAMILY HISTORY BEGAN IN JEROME
WHEN THE WILLARD FAMILY BEGAN THEIR
MOVE TO THE VERDE VALLEY IN 1878.**



4

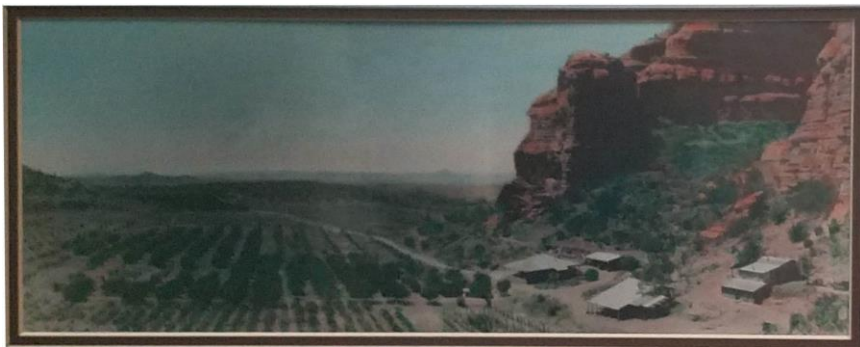
Frances (Fannie) Willard Munds



First teacher in Jerome, leader of the AZ suffrage movement
and the **first** woman senator in Arizona

5

Great Great Grandpa Charlie Willard



Homesteaded the land now known as the Palatki ruins
Planted and dry farmed over 1,000 fruit trees and sold the fruit in
Jerome

6



Great Grandpa Ersel Garrison

Built the Liberty Garage
County Supervisor
Development of 260
Put in Cottonwood Airport
The Patriarch – Burning Tree

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Milton (Mo) Lindner & Bud Lindner Lindner Motors in Jerome on Dundee est. 1930s



8



Curtis Lindner & Sherry McMahon

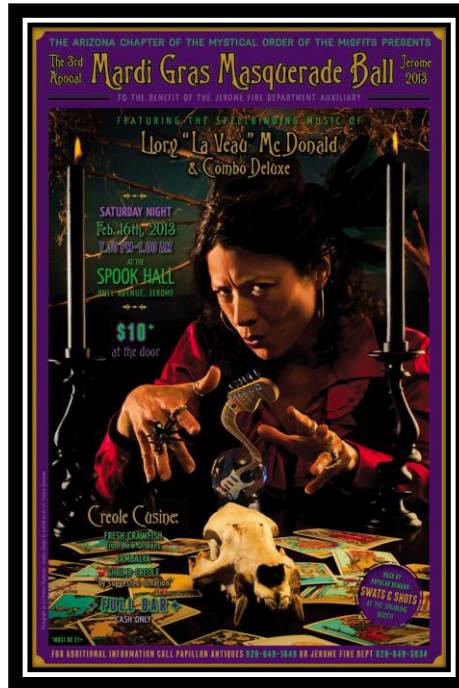
Yavapai County Planning & Zoning & business owners in Jerome

9

Papillon Antiques - Jerome



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Former Cuban Queen Bordello



Photo by Carol Anne Teague

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Photo by Jason Voss

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2017 condition after its collapse

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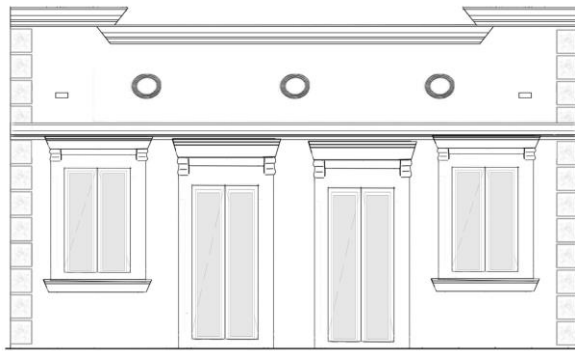


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Current photo with salvaged brick

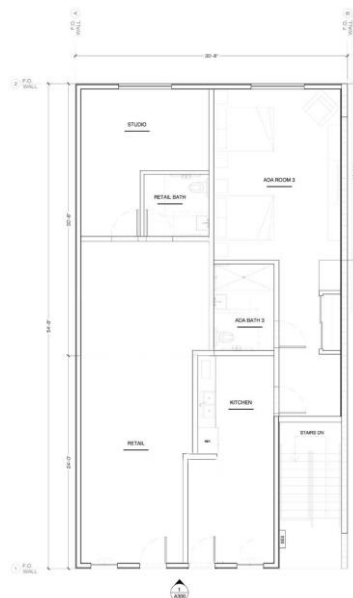
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Proposed street view of new 324 Queen Street building

- Subject to change through P&Z and Design Review process
- Resembles the former Cuban Queen, while being SHPO compliant
 - Per the State Historic Preservation Office – Do not to replicate the original because that may fool the public into believing that it is the original building.
 - Wider and deeper than former building to make modern construction feasible
 - Plaque ensuring the public is aware this is the site of the former Cuban Queen building
 - Building height will not exceed the 25' maximum height
- Enables us to tell the story of the Cuban Queen and keep its history alive in Jerome
- Uses are complimentary our neighborhood
 - La Victoria Glass blowing artist studio and retail
 - Apartment building
 - Queen's Neighbor art studio, gallery, retail and residence

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Queen Street level

- 1 ADA accessible rooming house room
- Retail curated to tell the story of the Cuban Queen
- Small art studio

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Basement level

Two rooming house rooms

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Inspirational photos



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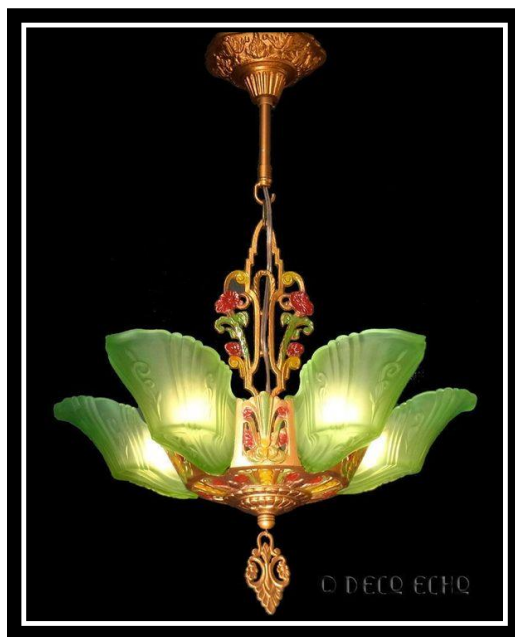
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