



TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA (928) 634-7943

AGENDA

Regular Meeting of the Planning and Zoning Commission

Wednesday, January 19, 2022, 6:00 pm

CONDUCTED VIA ZOOM

Members of the public are welcome to participate in the meeting via the following options: By computer at <https://us02web.zoom.us/j/9286347943> or by telephone at 1 669 900 683. The Meeting ID is 928 634 7943. A drive-up internet hotspot is now available in the parking lot in front of the Jerome Public Library. The network is Sparklight Yavapai Free Wi-Fi, and no password is required. Please submit comments/questions at least one hour prior to the meeting to Town Manager/Clerk Candace Gallagher via email: c.gallagher@jerome.az.gov.

Item 1: Call to order

Item 2: Petitions from the public — Pursuant to A.R.S. § 38-431.01(H), public comment is permitted on matters not listed on the agenda, but the subject matter must be within the jurisdiction of the commission. All comments are subject to reasonable time, place, and manner restrictions. All petitioners must fill out a request form with their name and subject matter. When recognized by the chair, please state your name and please observe the three (3)-minute time limit. No petitioners will be recognized without a request. The commission's response to public comments is limited to asking staff to review a matter commented upon, asking that a matter be put on a future agenda, or responding to criticism.

Possible Direction to Staff

Item 3: Approval of Minutes – Regular meeting of December 15, 2021

Old (continued) Business: none

New Business:

Item 4: Preliminary and Final Site Plan Review for public restrooms

The Town of Jerome is seeking a "courtesy" preliminary and final site plan review of an approximately 250-square-foot public restroom, which would be constructed on the corner of First Avenue and Main Street across from the police station.

Discussion/Possible Action

Item 5: Preliminary and Final Site Plan Review for home improvements

Applicant/Owner: Thomas Lopez

Zone: R-1

Address: 804 Hampshire Avenue

APN: 401-07-128A/127A

Applicant is seeking preliminary and final site plan review for various home improvements, including addition of a two-story deck, stone retaining wall, and CMU block foundation. DRB has approved the design, including the stone retaining wall.

Discussion/Possible Action – P&Z Reso. 2022-01

Item 6: Preliminary and Final Site Plan Review for a new single-family home

Applicants/Owners: Cid Barber & Eric Lerette

Zone: R1-5

Address: 776 East Avenue

APN: 401-07-099B

Applicants are seeking preliminary and final site plan review for construction of a new single-family home, which will be two stories and approximately 1664 square feet. DRB approved the design at their January 3, 2022 meeting.

Discussion/Possible Action – P&Z Reso. 2022-02

Item 6: Conditional Use Permit (CUP) for a temporary shipping container

Applicant/Owner: Steve Knowlton/Ideas-A-Plenty, LLC

Zone: C-1

Address: 776 East Avenue

APN: 401-06-032

Applicant is seeking preliminary and final site plan review for a temporary shipping container to be placed on the property during construction and removed once construction is finished. According to the zoning ordinance, "Temporary buildings for uses incidental to construction work, which buildings shall be removed upon completion of or abandonment of the construction work," are permitted in residential zones, and therefore would be a conditional use in the C-1 zone. The applicant is currently renovating an apartment building on this property. This item will go before DRB next, subject to P&Z's decision.

Discussion/Possible Action – P&Z Reso. 2022-03

Meeting Updates:

Updates of recent and upcoming meetings

- **December 28, 2021 special Council meeting** – applicant interview for zoning administrator position
- **January 3, 2022 DRB meeting** – new door and windows at 538 School Street; new home at 776 East Avenue; review of design guidelines

- **January 11 Council meeting** – rezone at 300 Queen Street; sign ordinance; short-term rental regulation; Hotel Jerome window replacement; waterline improvements and hydrant installation; COVID.

Item 5: Potential items for Wednesday, February 16, 2022 – No items at this time.

Item 6: Adjourn

The undersigned hereby certifies that this notice and agenda was posted at the following locations on or before 6 p.m. on _____
970 Gulch Road, side of Gulch fire station, exterior posting case ♦ 600 Clark Street, Jerome Town Hall, exterior posting case ♦ 120 Main Street, Jerome Post Office, interior posting case

Rosa Cays, Deputy Town Clerk, Attest

Persons with a disability may request reasonable accommodations such as a sign language interpreter by contacting Town Hall at (928) 634-7943. Requests should be made as early as possible to allow enough time to make arrangements.



TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA (928) 634-7943

MINUTES

Regular Meeting of the **Planning and Zoning Commission**

Wednesday, December 15, 2021, 6:00 pm

CONDUCTED VIA ZOOM

6:02 (0:44) Item 1: Call to order

Chair Schall called the meeting to order at 6:02 p.m.

Deputy Town Clerk Rosa Cays called the roll. Present were Chair Schall, Vice Chair Chuck Romberger, and Commissioners Lori Riley and Jera Peterson. Jeanie Ready was not present, though notified the commission in advance. Also present was Town Manager/Clerk Candace Gallagher.

6:02 (1:45) Item 2: Petitions from the public – There were no petitions from the public.

6:03 (1:54) Item 3: Approval of Minutes – Regular meeting of October 20, 2021

Commissioner Peterson asked if she should abstain from the vote, which she did.

Motion to approve the minutes of the October 20, 2021 regular P&Z meeting

Commissioner	Moved	Second	Aye	Nay	Absent	Abstain
Peterson						X
Ready					X	
Riley		X	X			
Romberger			X			
Schall	X		X			

Old (continued) Business: none

Public Hearing (continued):

6:06 (3:54) Item 4: Ordinance amendments related to temporary signs in the commercial and industrial zones (additional changes from November 9, 2021, Council meeting)

The Planning & Zoning Commission's recommendation for amendments to the sign ordinance were reviewed by the Town Attorney, Town Manager, and Council, and certain changes have been recommended.

Discussion/Possible Action – P&Z Resolution 2021-20

Chair Schall explained the public hearing protocol and asked Ms. Cays to introduce the item. Ms. Cays told the commission that Council, Ms. Gallagher, and Town Attorney Bill Sims had all made recommendations, suggestions, or corrections to the ordinance amendments. She added that Commissioner Ready had also submitted comments via email that she wanted Ms. Cays to share with the commission. Chair Schall then continued the public hearing and asked if there was any input from the public; there was not.

Ms. Cays read aloud Commissioner Ready's message, which Ms. Ready had submitted by email. Ms. Ready had questions about G.8a. and G.8b. on page 11 regarding square footage of temporary signs and wanted the commission's input. Ms. Cays explained the Council's reasoning behind the increase in square footage for temporary signs.

Commissioner Riley asked if this ordinance applied to all temporary signs or just town-sponsored temporary signs and brought up the temporary sign that was displayed by Marge Graziano. Ms. Cays said the problem with Ms. Graziano's sign was not the size but that it was displayed for too long. Ms. Gallagher said her understanding was that it applied to all temporary signs and would double-check this with Council.

Commissioner Peterson referred to her copy of the zoning ordinance, which created some confusion as to what she was looking at in comparison to the rest of the meeting attendees. Ms. Cays pointed out that the zoning ordinance had been updated in October, and Ms. Peterson had received her copy before then.

Chair Schall closed the public hearing at 6:14 p.m. and said he had no objections to the changes or corrections suggested by Council. He asked if this was the first or second public hearing, and Ms. Gallagher replied that it was the second public hearing and that Council had sent the ordinance amendments back to P&Z for further changes.

Motion to approve P&Z Resolution 2021-20

Commissioner	Moved	Second	Aye	Nay	Absent	Abstain
Peterson		X	X			
Ready					X	
Riley			X			
Romberger			X			
Schall	X		X			

New Business:

6:17 (15:43) Item 5: Review of Jerome Design Guidelines

Jerome Town Council has requested that the Planning & Zoning Commission review the draft of the design guidelines and provide feedback to Council.

Discussion/Possible Action

Chair Schall said he had accompanied John Knight and Bill Otwell, the person who drafted the design guidelines, when Mr. Otwell was in Jerome gathering information. Chair Schall said funding was granted for this document.

Ms. Peterson asked how the design guidelines are enforced. Chair Schall said it was not an ordinance and more of a standard for new building in Jerome; a framework, per se, for applicants and the boards. He said the guidelines could also give the boards ideas of how to amend the ordinance to support the guidelines, which can also be amended as time goes on. He said it was mostly for the DRB to follow historic protocol for Jerome.

Ms. Peterson said it was somewhat vague and open to interpretation; she gave examples of the terms "compatible" and "historic overview."

Ms. Riley said where the guidelines address building height for new construction needing to be the same as neighboring buildings, she said this has not been the case in some areas of town and wondered if more strict guidelines would be spelled out or would this too be up for interpretation. Ms. Peterson expressed her concerns about new construction "overtaking" neighboring buildings.

Chair Schall talked about the purpose of the guidelines and that visual compatibility has always been the crux of design review, which could be subjective. He talked about the use of "native" materials and honest use of materials and avoiding "counterfeit old." He said the guidelines are mainly a framework to understand visual compatibility. He said a newly constructed house can be designed so that it blends in with its older surroundings yet still be recognized as modern construction.

Ms. Cays pointed out that the guidelines are not meant to supersede the ordinance and that it supports the State Historical Preservation Office (SHPO) creed of not "faking" old.

Ms. Peterson brought up the overtaking of older buildings with newer ones. Ms. Riley said she too was concerned about new construction overwhelming historic structures in older or existing areas.

Chair Schall agreed with Ms. Cays that the guidelines were not created to supersede the ordinance. He pointed out that height requirements are in the ordinance. He clarified that it was a tool for DRB and for the zoning administrator to collaborate with applicants building new homes.

Chair Schall did have a few suggestions for changes regarding terms used in the guidelines. He said on page 12, five districts are defined and would like to see a few changes in this section. He said Society Hill is more commonly referred to as Company Hill, and that the Hogback was not typically referred to in the plural and was called the "upper and lower Hogback." He suggested adding Verde District and Mexican Town to the districts, and that breaking them down by materials and techniques used could also be possible. Chair Schall shared a few examples and said he was willing to help compile this information.

Ms. Peterson asked if the districts were developed in certain periods. Chair Schall said not necessarily, although Company Hill was constructed in the late 1800s, and the lower Hogback was constructed closer to the 1920s. He said there is a lot of overlap. Ms. Riley said it was hard to determine age when there are overlapping time frames.

Ms. Gallagher clarified the purpose of the discussion and said Council had simply requested from the boards specific recommendations for changes to the design guidelines.

Ms. Riley said she agreed with Chair Schall's suggestions regarding nomenclature and additions to the districts mentioned in the guidelines.

Chair Schall asked Ms. Cays to summarize the commission's suggestions and comments and pass them by him before submitting to Ms. Gallagher and the Council.

Chair Schall said under the section that talks about restoration, renovation, and rehabilitation, he would add that since many buildings have many additions, it is possible to have restoration in the front and renovation in the back of a building, depending on its age, and that it is possible to do a remodel that could be a combination of restoration, renovation, and rehabilitation. He said it would be good to be sensitive and flexible to what is there and what the property owner needs to do to preserve the structure.

Ms. Peterson said that back in day when additions were done, it seems as if they used whatever materials were available. She asked if the lack of standards would remain the same. Chair Schall said any construction now must follow the latest ordinances and that setbacks also must be adhered to for fire safety reasons.

Meeting Updates:

6:42 (40:53) Item 6: Updates of recent and upcoming meetings

- a. **October 12 Council meeting** – microbrewery CUP; zoning administrator/historic preservation officer; banners for town-sponsored events; design review guidelines
- b. **November 1 DRB meeting** – Cornish Pasty sign (tabled)
- c. **November 9 Council meeting** – 300 Queen Street zoning (first reading); interim zoning administrator; contractual options to address street abandonment and subsidence; COVID protocol
- d. **December 6 DRB meeting** – public restrooms; new Ghost Town Tours sign; 804 Hampshire
- e. **December 13 Council meeting** – 300 Queen Street zoning (second reading); resolution regarding fee schedule for planning and zoning, design review, and board of adjustment fees; contractual options to address street abandonment and subsidence; short-term rentals; request for abandonment of a portion of a town right-of-way

Ms. Cays briefly shared items discussed at recent meetings.

6:51 (49:48) Item 7: Potential items for Wednesday, January 19, 2022 – Public restrooms; 804 Hampshire Avenue project

Ms. Cays said that Council asked that the public restrooms go before P&Z to be sure all zoning requirements are in order. Ms. Gallagher said it was a courtesy review, but that P&Z's input and approval was requested.

Chair Schall asked Ms. Gallagher about potential zoning administrator applicants, and she told him that one qualified person has applied. Ms. Gallagher invited the commissioners to attend the job interview, which will be open to the public once it is scheduled.

Ms. Peterson asked if the public restrooms were permanent or temporary. Ms. Cays informed her they would be permanent.

Ms. Riley asked if the porta-johns would be removed once the public restrooms were built. Ms. Cays told her they would be removed by January 3, regardless of when the public restrooms were constructed.

Item 8: Adjourn

Motion to approve adjourn at 6:55 p.m.

Commissioner	Moved	Second	Aye	Nay	Absent	Abstain
Peterson		X	X			
Ready					X	
Riley			X			
Romberger			X			
Schall	X		X			

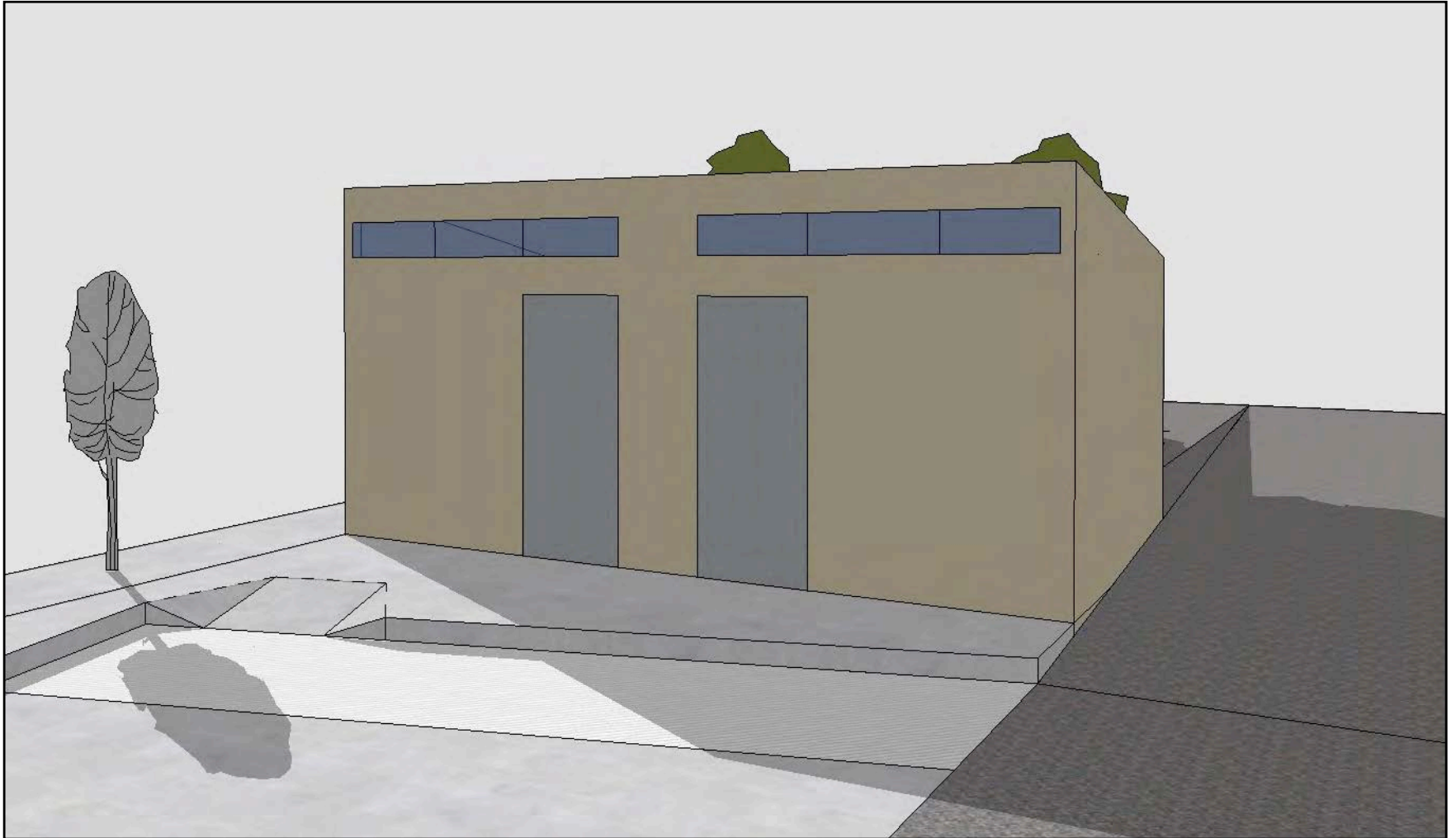
Approved: _____ Date: _____

Chair Schall, Planning & Zoning Commission Chair

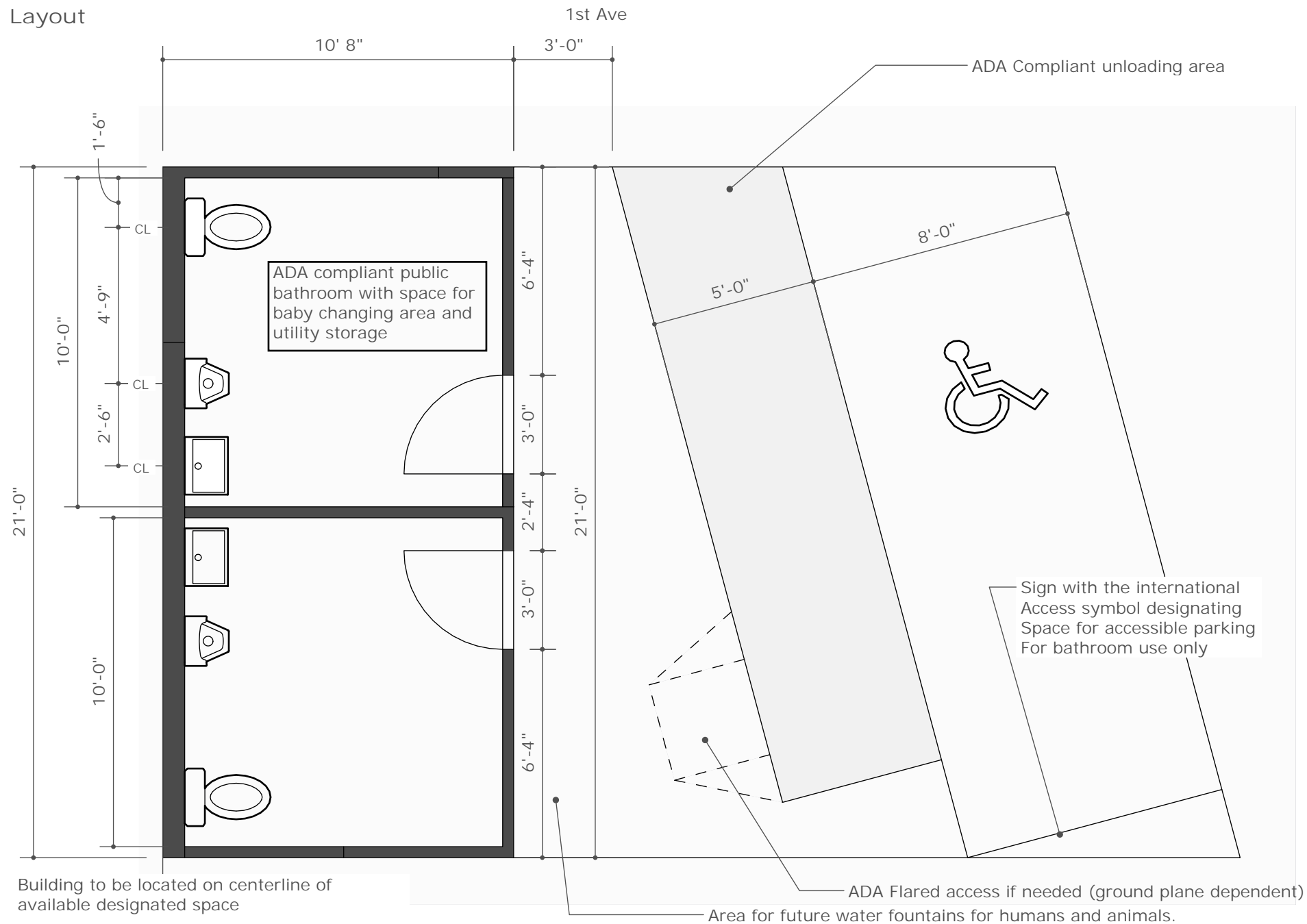
Attest: _____ Date: _____

Rosa Cays, Deputy Town Clerk

NOTE: THIS SET IS FOR P&Z and DRB ONLY.

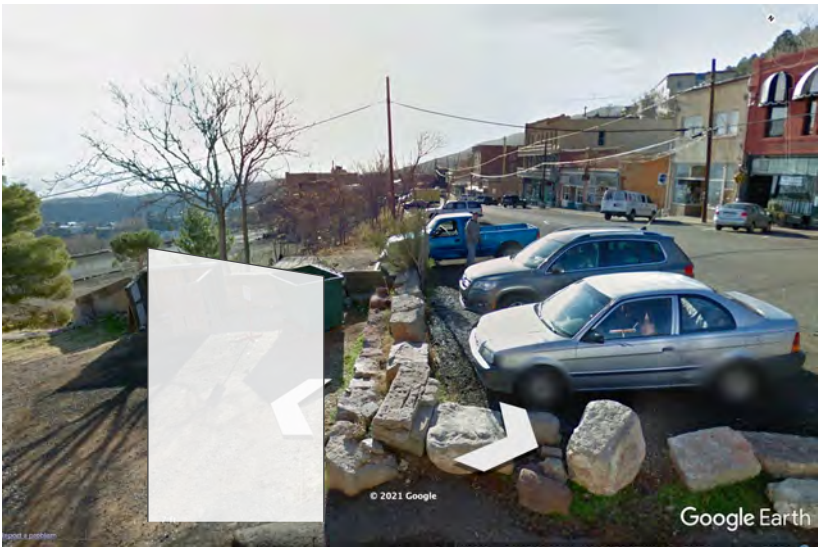


Layout



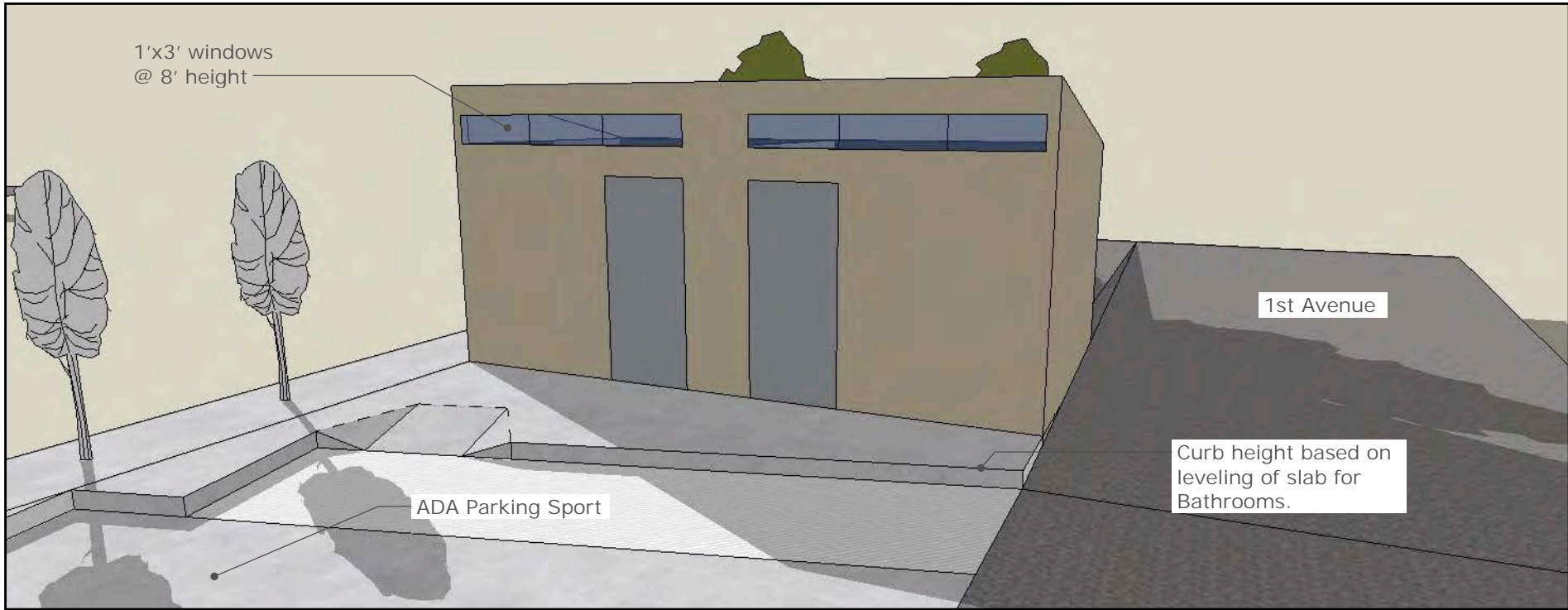
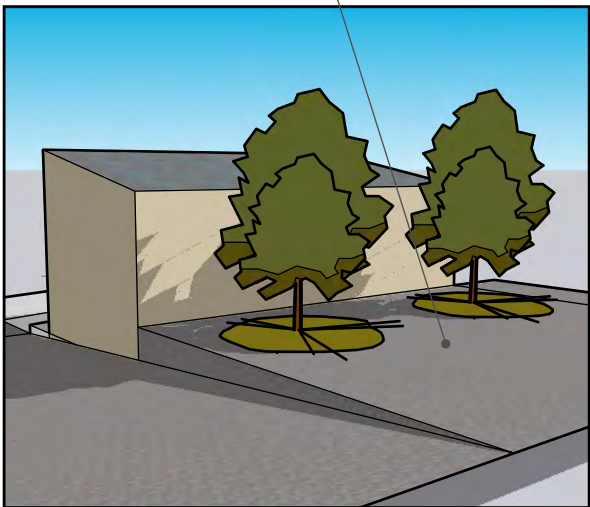
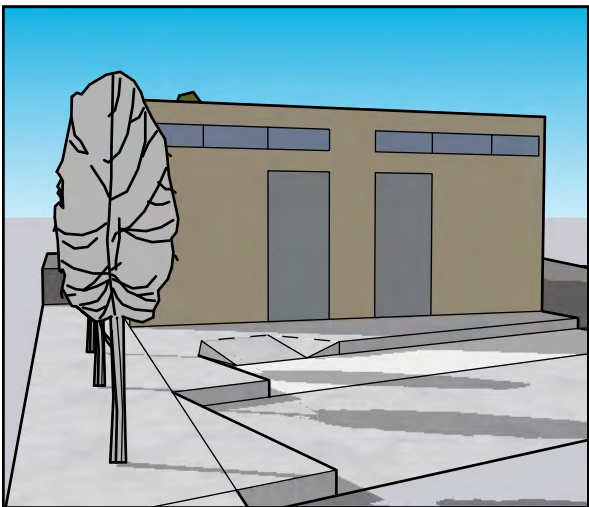
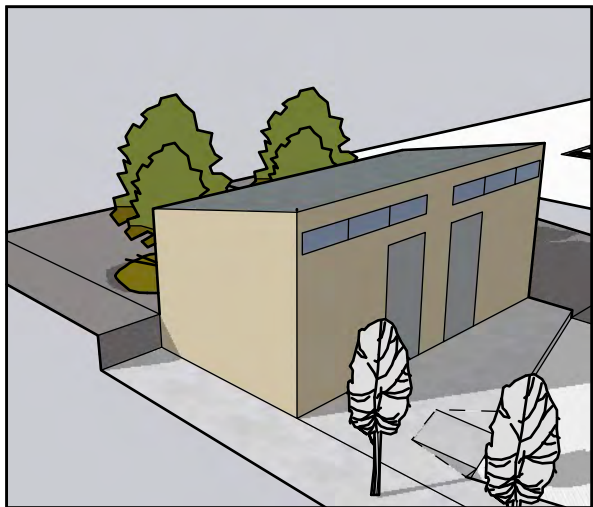


Street Views with massing model

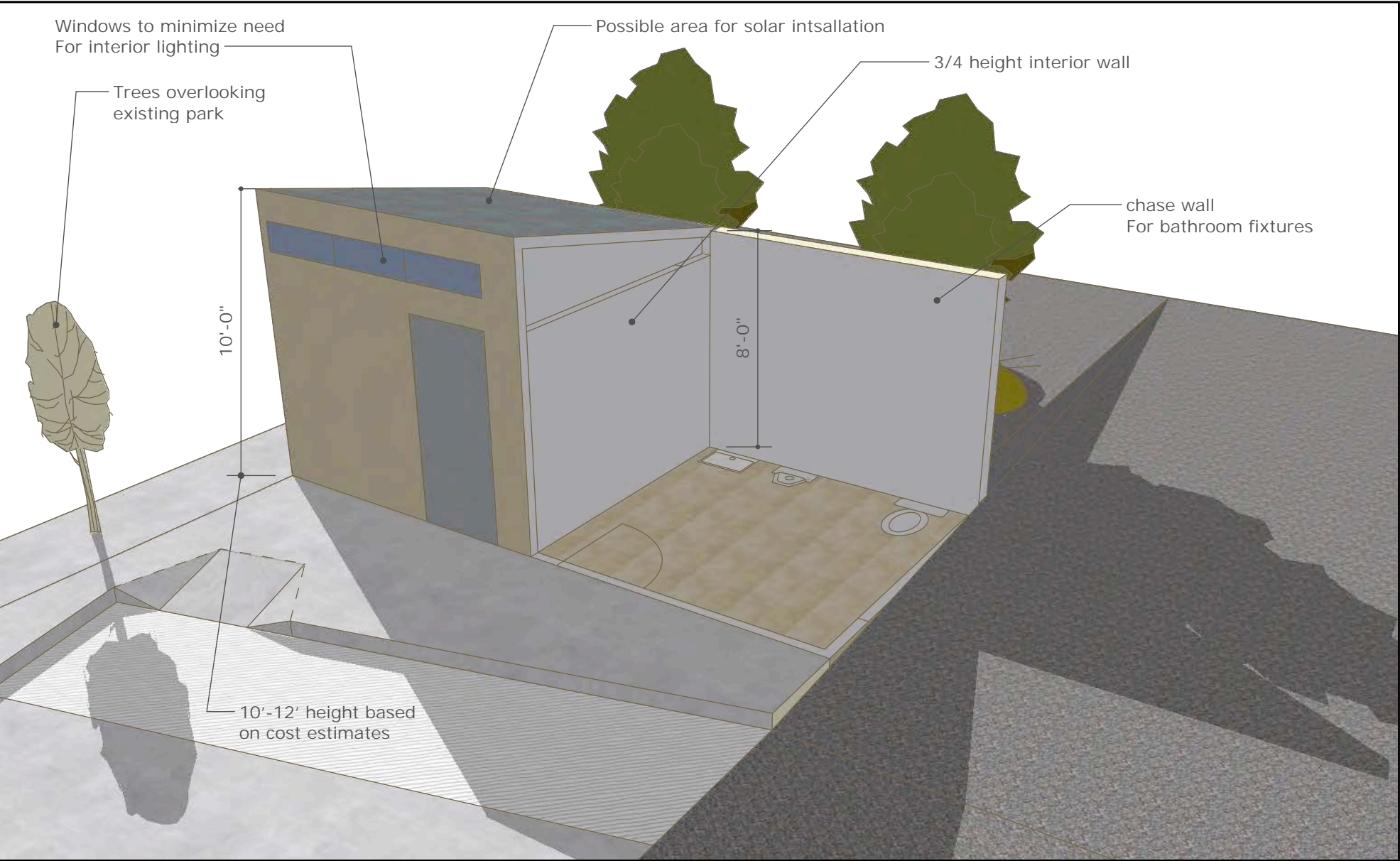


Color to match old town hall

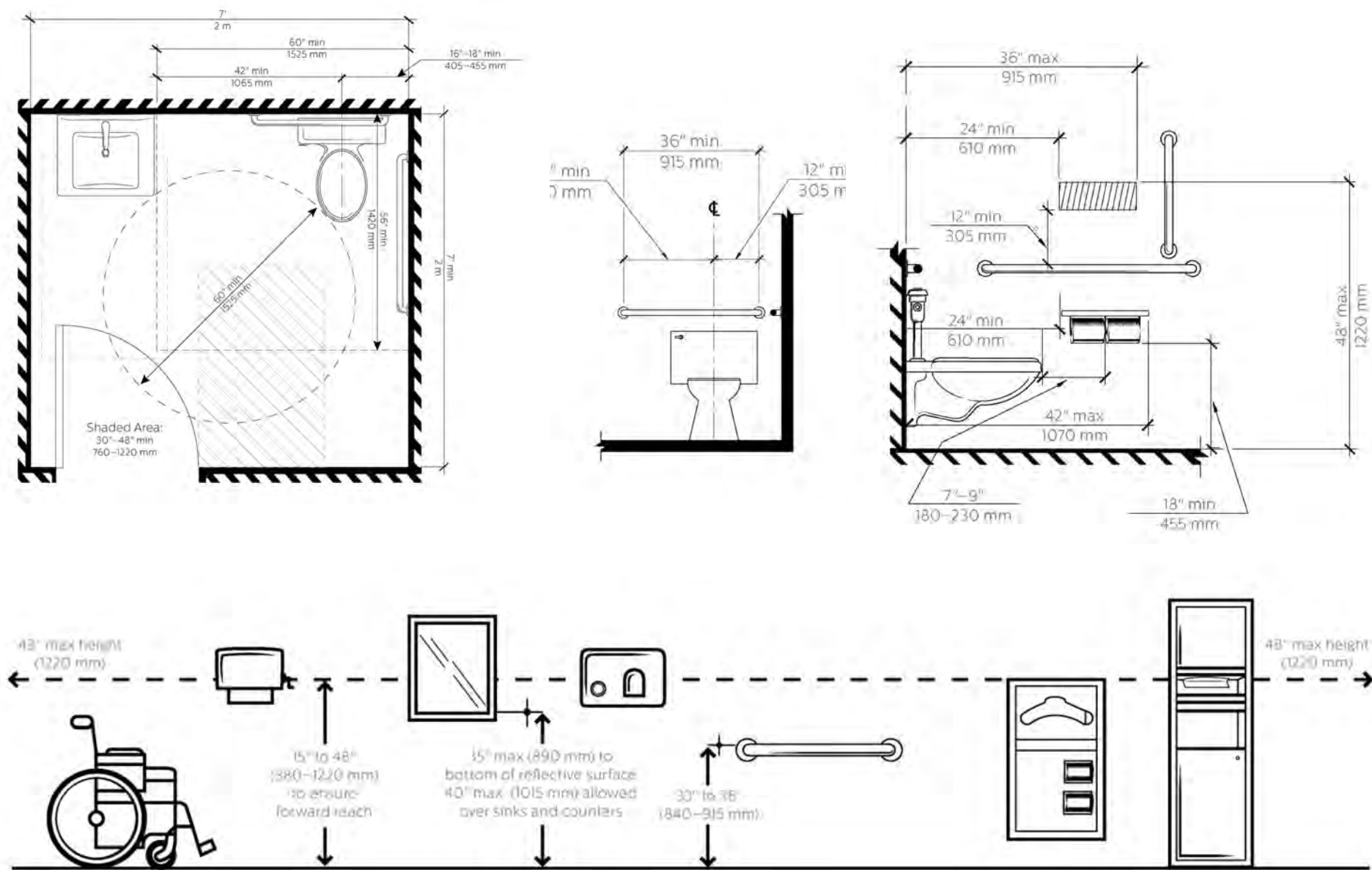
Basic Rendering



Basic Iso Cutaway



ADA Requirements





File #:

Town Use

TOWN OF JEROME, ARIZONA
600 Clark Street, P.O. Box 335, Jerome, AZ 86331
(928) 634-7943

General Land Use Application – Check all that apply

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Site Plan Review \$100 | <input checked="" type="checkbox"/> Design Review \$50/\$200 | <input type="checkbox"/> Conditional Use Permit (CUP) \$100 |
| <input type="checkbox"/> Demolition \$50/\$200 | <input type="checkbox"/> Signage/Awning \$50 | <input checked="" type="checkbox"/> Paint/Roofing \$0 |
| <input type="checkbox"/> Time Extension \$0 | <input type="checkbox"/> Variance \$200 | <input type="checkbox"/> Other: _____ |

Note: Refer to the corresponding Project Application Checklist/s for additional submittal requirements.

Applicant: Thomas Lopez	Owner: Thomas Lopez
Applicant address: 9419 N. 18th St. Phoenix, Arizona 85020	Owner Mailing Address: 9419 N. 18th St. Phoenix, Arizona 85020
Applicant role/title: Owner	
Applicant phone: 602-334-3948	Owner phone: 602-334-3948
Applicant email: tom@seedy.com	Owner email: tom@seedy.com
Project address: 804 Hampshire Avenue	Parcel number: 401-07-128A & 401-07-127A
Describe project: Trim and front door color changes, deleting existing windows, adding new windows, granite cobblestone pavers, natural rock walls iron gate, corrugated siding, two story deck, CMU block foundation, rebuild three walls on first story	

- I understand that review by the Jerome Design Review Board, Planning and Zoning Commission, and Town Council is discretionary.
- I understand that the application fee is due at submission and review will not be scheduled until fee is paid to the Town.
- I understand review criteria are used in evaluation by the Jerome Design Review Board and/or Planning and Zoning Commission. These criteria are included in the Jerome Zoning Ordinance.
- I understand that this application will not be scheduled for consideration until all required materials have been submitted and the application is determined to be complete.

Applicant Signature: _____ Date: **11-10-2021**

Owner Signature: _____ Date: **11-10-2021**

For Town Use Only	
Received from: _____	Date: _____
Received the sum of \$ _____ as: <input type="checkbox"/> Check No. _____ <input type="checkbox"/> Cash <input type="checkbox"/> Credit Card	
By: _____	For: _____
Tentative Meeting Date/s - DRB: _____ P&Z: _____	

PAID IN FULL
11/15/21

E-mail completed forms and application information to: John Knight, Zoning Administrator j.knight@jerome.az.gov



TOWN OF JEROME | Planning & Zoning Dept.
928-634-7943 | F: 928-634-0715
PO BOX 335 | 600 CLARK ST | JEROME AZ 86331

Barry Wolstencroft, Building Inspector
b.wolstencroft@jerome.az.gov

FOR OFFICE USE ONLY

DATE _____
APPLICATION NO. _____
AMOUNT PAID _____
CLERK'S INITIALS _____

BUILDING PERMIT APPLICATION

Please complete all information that pertains to your building project.

PROPERTY INFORMATION

Yavapai County Assessor's Parcel No.
401-07-128A & 401-07-127A

ADDRESS 804 Hampshire Avenue
CITY Jerome
Subdivision Mountain View Lot 1003-1C

TYPE OF WORK TO BE DONE

Walls, foundation, windows, doors, siding, pavers

☒ RESIDENTIAL ☐ COMMERCIAL ☐ INDUSTRY

VALUATION (material & labor) 100,000

Number of existing structures: 2

PROPERTY OWNER INFORMATION

OWNER Thomas Lopez
Mailing address 9419 N. 18th S
City Phoenix
State AZ Zip 85020
Phone 602-334-3948
Email tom@seedy.com

APPLICANT Thomas Lopez

Phone 602-334-3948
Email tom@seedy.com

☒ OWNER ☐ AGENT ☐ CONTRACTOR

Is owner using a contractor? ☐ YES ☒ NO If YES, the following contractor information MUST be completed prior to issuance of permit. If NO, fill out the attached form, EXEMPTION FROM LICENSING.

Is contractor licensed under provisions of ARS 32-1169? ☐ YES ☐ NO

CONTRACTOR NAME _____ STATE LICENSE _____ CLASS _____

ADDRESS _____ LICENSE EXPIRATION DATE _____

CITY _____ STATE _____ ZIP _____ STATE TAX # _____

Workers compensation insurance policy # _____ Expires _____

Company _____ Address _____

City _____ State _____ Zip code _____

Note: Inspections by the building inspector are scheduled one week in advance. Town of Jerome is not liable for work delays due to inspection scheduling. Please plan ahead and call Town Hall at 928-634-7943 for scheduling assistance.

PLEASE PROVIDE A PLOT PLAN DRAWN TO SCALE, PER CHECKLIST; DIRECTIONS TO THE SITE OR VICINITY MAP;
ANY ADDITIONAL INFORMATION INCLUDING PLANS REQUIRED FOR YOUR TYPE OF PERMIT.
ADDITIONAL APPLICATION FORMS MAY BE REQUIRED FOR SEPTIC AND PUBLIC WORKS.



TOWN OF JEROME | Planning & Zoning Dept.
928-634-7943 | F: 928-634-0715
PO BOX 335 | 600 CLARK ST | JEROME AZ 86331

OWNER-BUILDER/DEVELOPER STATEMENT – PART I (Exemption from contractor licensing requirements)

Arizona Revised Statutes 32-1121, items 1–16, allow exemptions from state licensing requirements under the following conditions (items 5 and 6 are common to the area and are reproduced below):

Item 5 (Owner-Builder): Owners of property who improve such property or who build or improve structures or appurtenances on such property and who do the work themselves, with their own employees or with duly licensed contractors, if the structure, group of structures or appurtenances, including the improvements thereto, are intended for occupancy solely by the owner and are not intended for occupancy by members of the public as the owner's employees or business visitors and the structures or appurtenances are not intended for sale or for rent. In all actions brought under this chapter, except an action against an owner-occupant as defined in section 33-1002, proof of the sale or rent or the offering for sale or rent of any such structure by the owner-builder within one year after completion or issuance of a certificate of occupancy is prima facie evidence that such project was undertaken for the purpose of sale or rent. For the purposes of this paragraph, "sale" or "rent" includes any arrangement by which the owner receives compensation in money, provisions, chattels or labor from the occupancy or the transfer of the property or the structures on the property.

Item 6 (Owner-Developer): Owners of property who are acting as developers and who build structures or appurtenances to structures on their property for the purpose of sale or rent and who contract for such a project with a general contractor licensed pursuant to this chapter and owners of property who are acting as developers, who improve structures or appurtenances to structures on their property for the purpose of sale or rent and who contract for such a project with a general contractor or specialty contractors licensed pursuant to this chapter. To qualify for the exemption under this paragraph, the licensed contractors' names and license numbers shall be included in all sales documents.

NOTE: Commercial zoning requires commercially licensed contractors.

If an owner is allowed to utilize his own employees, the owner is required to a) provide each employee with unemployment and workman's compensation insurance; b) have a federal and state tax ID number, and c) withhold and file federal and state income tax for each employee.



I CERTIFY THAT I AM NOT REQUIRED TO BE LICENSED OR UTILIZE A LICENSED GENERAL CONTRACTOR FOR THE WORK AUTHORIZED BY BUILDING PERMIT NO. _____ ON THE BASIS THAT (check all that apply):

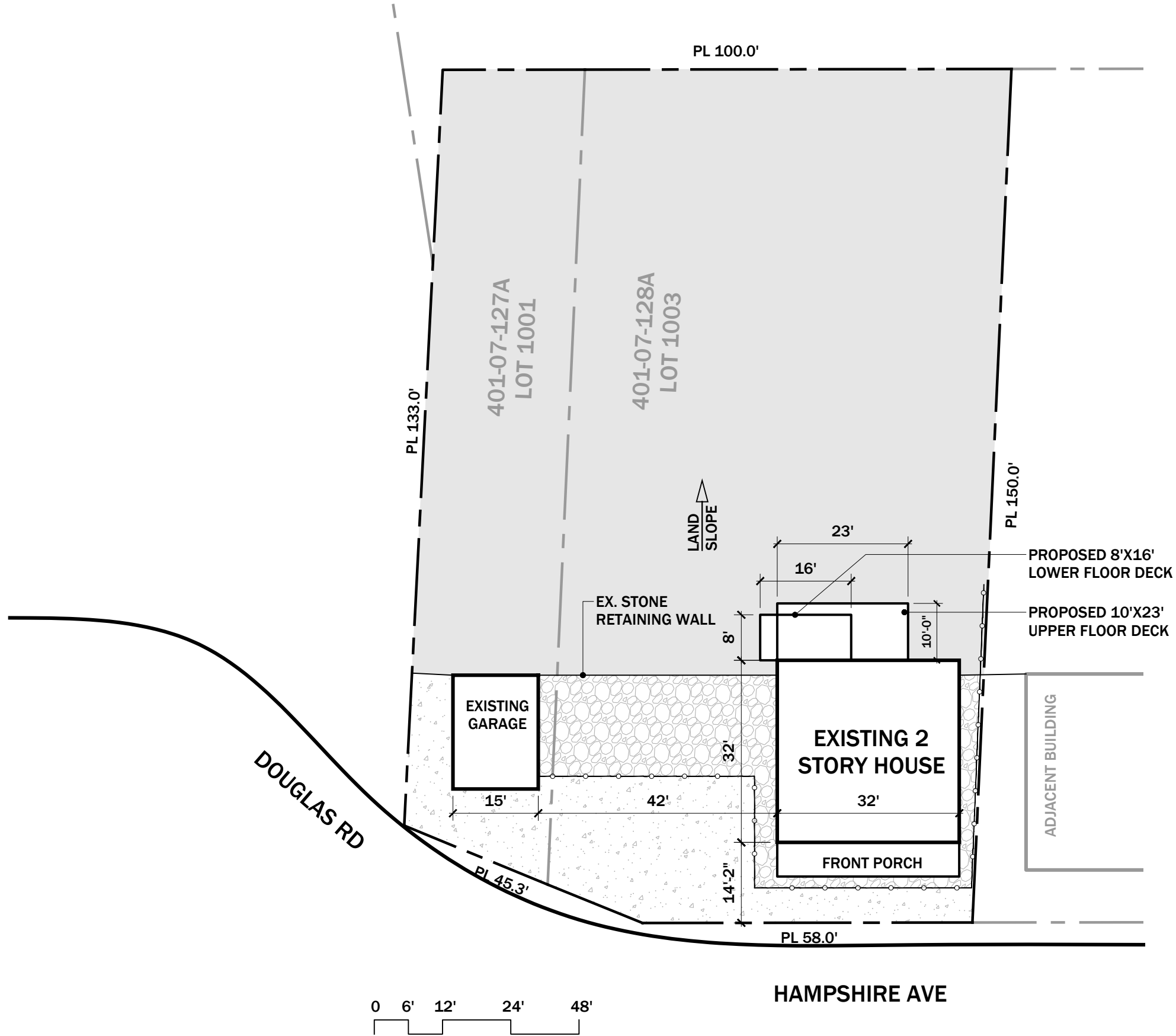
- ☒ The structure is not for sale or rent and is solely owner occupied.
- ☐ The improvements are for sale or rent and all work will be done by licensed contractors identified on the back of this form.
- ☐ The improvements will be occupied by the general public and all work will be done by licensed contractors identified on the back of this form.

Owner's signature

11-10-2021

Date

SHEET SIZE 17" x 11"



REVISION	DATE

PROJECT
804 HAMPSHIRE
AVE, JEROME, AZ
86331

SITE PLAN

SCALE: 1" = 20' - 0"

C-1

GENERAL NOTES

1.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES. IF THE DRAWINGS AND/OR THE SPECIFICATIONS ARE AT VARIANCE THEREWITH, THE CONTRACTOR SHALL SO NOTIFY THE ENGINEER IMMEDIATELY.
2.
- DURING CONSTRUCTION, REPORT ALL DISCREPANCIES AND/OR CONFLICTS IN THE DRAWINGS TO THE ENGINEER IMMEDIATELY.
3.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND LABOR REQUIRED TO COMPLETE THE WORK. EXCLUSION OF AN ITEM OR ITEMS DOES NOT IMPLY OMISSION. THE CONTRACTOR'S RESPONSIBILITY IS TO NOTIFY THE ENGINEER & OWNER OF THESE OMISSIONS PRIOR TO THE SUBMISSION OF BIDS. THE CONTRACTOR SHALL COMPLY WITH THE SPIRIT AND INTENT OF THESE DOCUMENTS AND SHALL COMPLETE THE WORK SATISFACTORILY AND IN A MANNER ACCEPTABLE TO THE OWNER. THESE DOCUMENTS ILLUSTRATE THE MINIMUM STANDARDS OF CONSTRUCTION AND THE CONTRACTOR SHALL MEET OR EXCEED NORMAL CONSTRUCTION TECHNIQUES AND STANDARDS FOR A BUILDING OF THIS TYPE.
4.
- NEITHER THE ENGINEER OR THE OWNER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF THE CONTRACTOR; SAFETY PRECAUTIONS AND PROGRAMS OF CONTRACTOR; THE ACTS OR OMISSIONS OF THE CONTRACTOR; OR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS.
5.
- VERIFY DIMENSIONS, GRADES, ELEVATIONS AND CRITICAL LOCATIONS, SUCH AS STRUCTURAL SUPPORTS, BEFORE COMMENCING WORK AFFECTED BY THEM. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER.
6.
- THE CONTRACTOR SHALL THOROUGHLY REVIEW THE DRAWINGS AND EXISTING SITE CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES, ERRORS OR OMISSIONS PRIOR TO CONSTRUCTION.
7.
- MANUFACTURED MATERIALS, EQUIPMENT, ETC., SHALL BE INSTALLED PER MANUFACTURES RECOMMENDATIONS, INSTRUCTIONS AND APPLICABLE REPORTS UNLESS OTHERWISE NOTED OR INSTRUCTED.
8.
- SUBSTITUTIONS, REVISIONS OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE ENGINEER.
9.
- NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE AS A CONSEQUENCE OF THE ENGINEER FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT DOCUMENTS. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
10.
- IN THE EVENT CERTAIN FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE NOTES OR SPECIFICATIONS, THEN THE CONSTRUCTION SHALL BE SIMILAR AND OF THE SAME CHARACTER AS SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
11.
- THE CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE DRAWINGS APPROVED BY THE BUILDING OFFICIAL. THE APPROVED DRAWINGS SHALL NOT BE CHANGED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
12.
- ALL WORK AND MATERIAL SHALL BE NEW AND UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.

DESIGN CONSIDERATIONS

1.
- THESE DETAILS ARE BASED ON THE PRESCRIPTIVE REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE, INDUSTRY BEST-PRACTICES AND APPLICABLE REFERENCED STANDARDS SUCH AS THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
2.
- FRAMING MEMBERS IN THESE DETAILS ARE DESIGNED FOR A 40 PSF LIVE LOAD, 10 PSF DEAD LOAD, NORMAL LOADING DURATION, WET SERVICE CONDITIONS AND DEFLECTIONS OF $\ell/360$ FOR MAIN SPANS AND $\ell/180$ FOR OVERHANGS WITH A 220-POUND POINT LOAD.
3.
- DECKS CONSTRUCTED IN ACCORDANCE WITH THIS PROJECT ARE NOT APPROVED FOR PLANTERS, BUILT-IN SEATING OR HOT TUBS.
4.
- THE PROJECT DOES NOT APPLY TO DECKS WHICH WILL EXPERIENCE SNOW LOADS, SNOW DRIFT LOADS, OR SLIDING SNOW LOADS THAT EXCEED 40 PSF
5.
- DECKS SHALL NOT BE USED OR OCCUPIED UNTIL FINAL INSPECTION AND APPROVAL IS OBTAINED

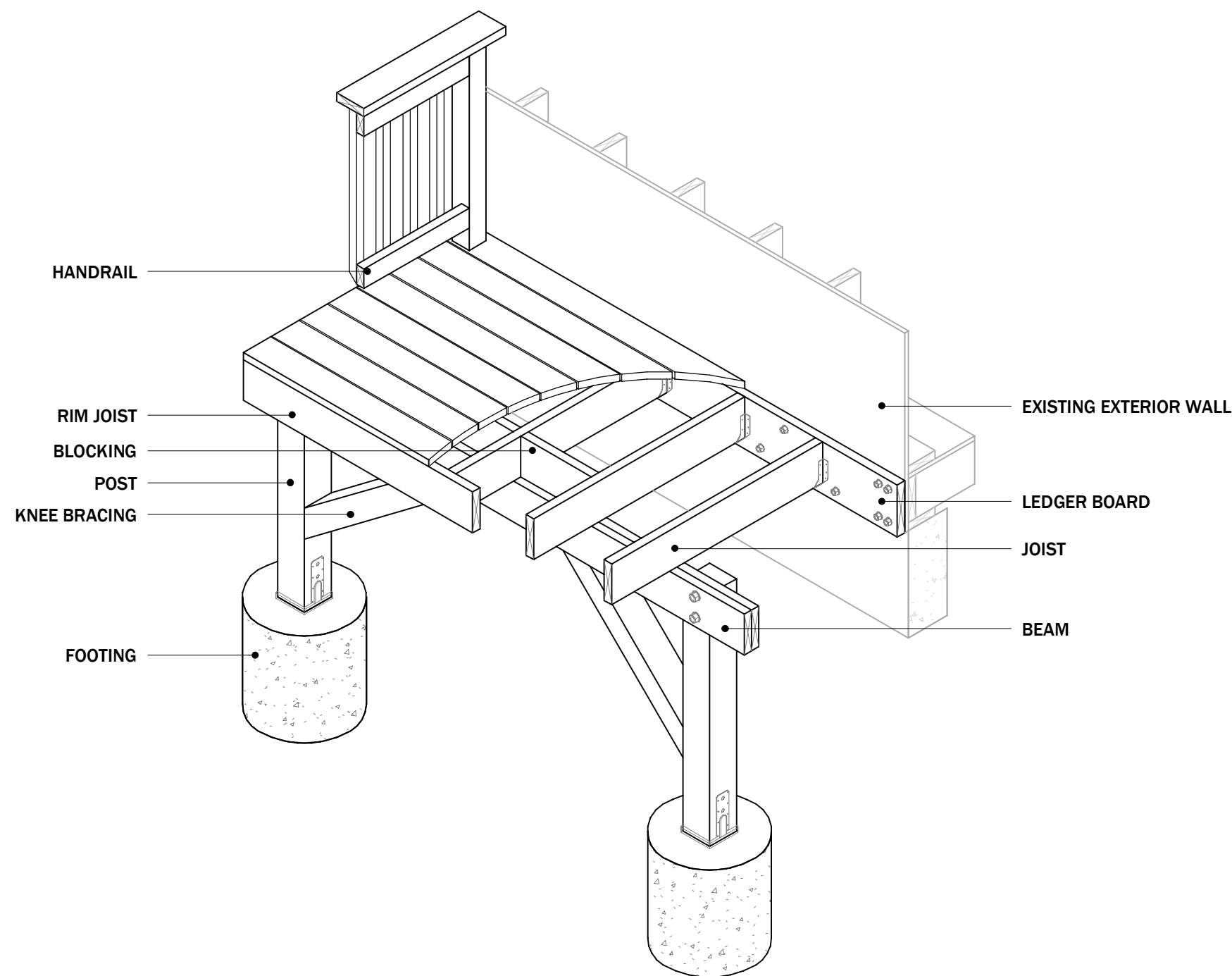
SHEET LIST	
#	NAME
A000	GENERAL NOTES
A100	DEMOLITION PLANS
A101	PROPOSED PLANS
A102	STRUCTURAL PLANS
A200	ELEVATIONS
A201	SECTION
A300	DETAILS
A301	DETAILS

MATERIAL SPECIFICATIONS

1.
- LUMBER SHALL BE PRESERVATIVE-TREATED, SOUTHERN PINE, GRADE #2 OR BETTER. LUMBER NOT NATIVE TO NORTH AMERICA, SUCH AS IPE, MAY BE USED AS DECKING ONLY; ITS USE IN GUARDS IS PROHIBITED.
2.
- LUMBER IN CONTACT WITH THE GROUND SHALL BE RATED AS "GROUND-CONTACT." NOT ALL TREATED LUMBER IS RATED FOR GROUND CONTACT.
3.
- CONCRETE IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
4.
- FOOTINGS SHALL BEAR ON SOLID GROUND BELOW FROST LINE; FOOTINGS SHALL BE DEEPER IF SOLID GROUND IS NOT FOUND. BEARING CONDITIONS MUST BE VERIFIED BY COUNTY INSPECTORS PRIOR TO PLACEMENT OF CONCRETE.
5.
- DO NOT CONSTRUCT FOOTINGS OVER UTILITY LINES OR SERVICE PIPE. CALL MISS UTILITY AT 811 BEFORE YOU DIG.
6.
- WHEN THE EDGE OF A DECK FOOTING IS CLOSER THAN 5 FEET TO AN EXISTING EXTERIOR HOUSE WALL, THE FOOTING MUST BEAR AT THE SAME ELEVATION AS THE EXISTING HOUSE FOOTINGS
7.
- NAILS SHALL BE THREADED, RING-SHANKED OR ANNULAR GROOVED. A 1/8" PILOT HOLE SHALL BE USED AT TOE-NAILING LOCATIONS.
8.
- CARRIAGE-BOLTS MAY BE SUBSTITUTED WHERE THROUGH-BOLTS ARE SPECIFIED PROVIDED CARRIAGE-BOLT WASHERS (WITH SQUARE HOLES) ARE INSTALLED AT THE BOLT HEAD.
9.
- FASTENERS SHALL BE HOT-DIPPED GALVANIZED, STAINLESS STEEL OR APPROVED FOR USE WITH PRESERVATIVE-TREATED LUMBER.
10.
- FASTENERS AND CONNECTORS EXPOSED TO SALT WATER OR LOCATED WITHIN 300 FEET OF A SALT WATER SHORELINE SHALL BE STAINLESS STEEL GRADE 304 OR 316.
11.
- HARDWARE AND MECHANICAL CONNECTORS, E.G., JOIST HANGERS OR POST ANCHORS, SHALL BE STAINLESS STEEL OR GALVANIZED WITH 1.85 OUNCES OF ZINC PER SQUARE FOOT (G-185 COATING). LOOK FOR PRODUCT LINES SUCH AS "ZMAX," "TRIPLE ZINC" OR "GOLD COAT."
12.
- FLASHING AT LEDGER BOARD CONNECTIONS SHALL BE COPPER (WITH COPPER NAILS ONLY), STAINLESS STEEL, UV RESISTANT PLASTIC OR GALVANIZED STEEL WITH A G-185 COATING.
13.
- PLASTIC COMPOSITES ARE MATERIALS COMPOSED OF BOUND WOOD AND PLASTIC FIBERS. PERMISSIBLE AS NOTED IN THIS DOCUMENT, PLASTIC COMPOSITES MUST BEAR A LABEL INDICATING ITS COMPLIANCE WITH ASTM D 7032. PLASTIC COMPOSITES LABEL AND INSTALLATION INSTRUCTIONS MUST BE AVAILABLE TO THE INSPECTOR.
14.
- WHEN USING PLASTIC COMPOSITES, EXERCISE CAUTION AS SOME MEMBERS DO NOT HAVE THE SAME CAPACITY AS THEIR WOOD EQUIVALENTS.
15.
- PVC DECKING AND GUARDS ARE PERMITTED PROVIDED THEY HAVE A VALID EVALUATION REPORT FROM AN ACCREDITED LISTING AGENCY SUCH AS THE INTERNATIONAL CODE COUNCIL - EVALUATION SERVICE. INSTALLATION SHALL BE IN CONFORMANCE WITH THE REPORT AND THE MANUFACTURER'S INSTRUCTIONS WHICH MUST BE AVAILABLE TO THE INSPECTOR.
16.
- THE USE OF OTHER MATERIALS AND PRODUCTS, OTHER THAN THOSE PERMITTED HEREIN, SHALL BE APPROVED BY THE CITY/COUNTY PRIOR TO INSTALLATION.

ELECTRICAL NOTES

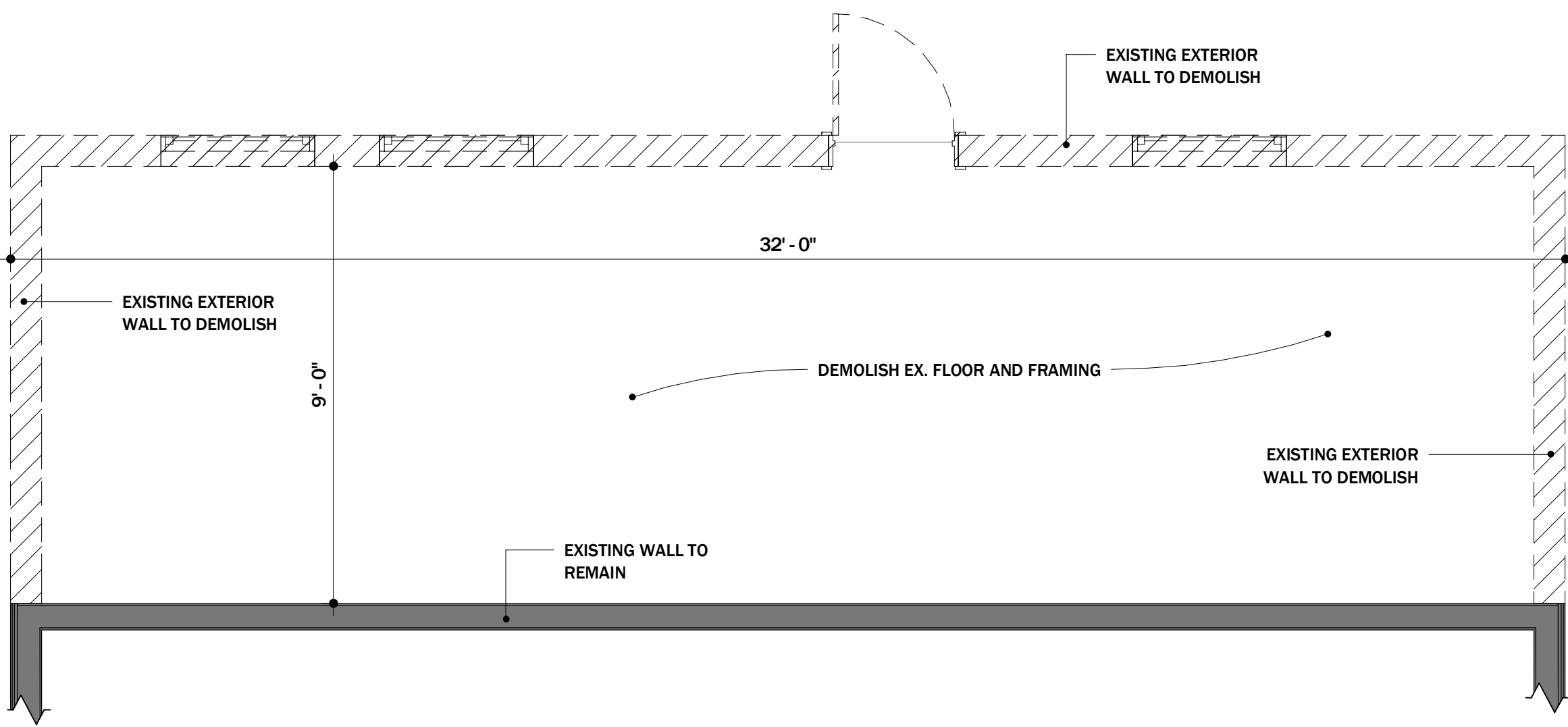
1.
- DECKS SHALL HAVE A MINIMUM OF ONE ELECTRICAL OUTLET ALONG THE PERIMETER OF THE DECK AND WITHIN 6.5 FEET OF THE FLOOR.
2.
- RECEPTACLES INSTALLED OUTDOOR SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL
3.
- STAIRWAY SHALL HAVE A LIGHT SOURCE THAT ILLUMINATES ALL STAIRS. LIGHTS SHALL BE OPERATED FROM INTERIOR SWITCHES, MOTION DETECTORS OR TIMED SWITCHES. LOW VOLTAGE LIGHTING AT EACH STAIR TREAD IS PERMISSIBLE.



ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AG	ABOVE GRADE
ALT.	ALTERNATE
B.O.	BOTTOM OF
BTM.	BOTTOM
CL	CENTER LINE
CL	CLOSET
CLG	CEILING
CONT.	CONTINUOUS
CONC.	CONCRETE
D.J.	DOUBLE JOIST
D.S.	DOWN SPOUT
D/W	DISHWASHER
DBL	DOUBLE
DEMO.	DEMOLITION
DIA.	DIAMETER
DIM.	DIMENSION
D.L.	DEAD LOAD
DN.	DOWN
EA.	EACH
E.J.	EXPANSION JOINT
EQ	EQUAL
EQUIP.	EQUIPMENT
E.W.	EACH WAY
EX.	EXISTING
GA.	GAUGE
GALV.	GALVANIZED
G.C.	GENERAL CONTRACTOR
GFCI.	GROUND FAULT CIRCUIT INTERRUPT
GYP.	GYPSUM
HB	HOSE BIB
HOR	HORIZONTAL
HR	HOOR
HVAC	HEATING, VENTING AND AIR CONDITIONING
LF	LINEAR FEET
MAX	MAXIMUM
MECH	MECHANICAL
MFG	MANUFACTURING
MIN	MINIMUM
N.T.S.	NOT TO SCALE
N.F.C.	NOT FOR CONSTRUCTION
O.C.	ON CENTER
PL	PROPERTY LINE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
QTY.	QUANTITY
R.O.W.	RIGHT OF WAY
REV.	REVISION
SIM.	SIMILAR
SQ.FT.	SQUARE FEET
SQ. IN.	SQUARE INCHES
T&G	TONGUE AND GROOVE
T.O.	TOP OF
TYP.	TYPICAL
V.I.F.	VERIFY IN FIELD
WD.	WOOD

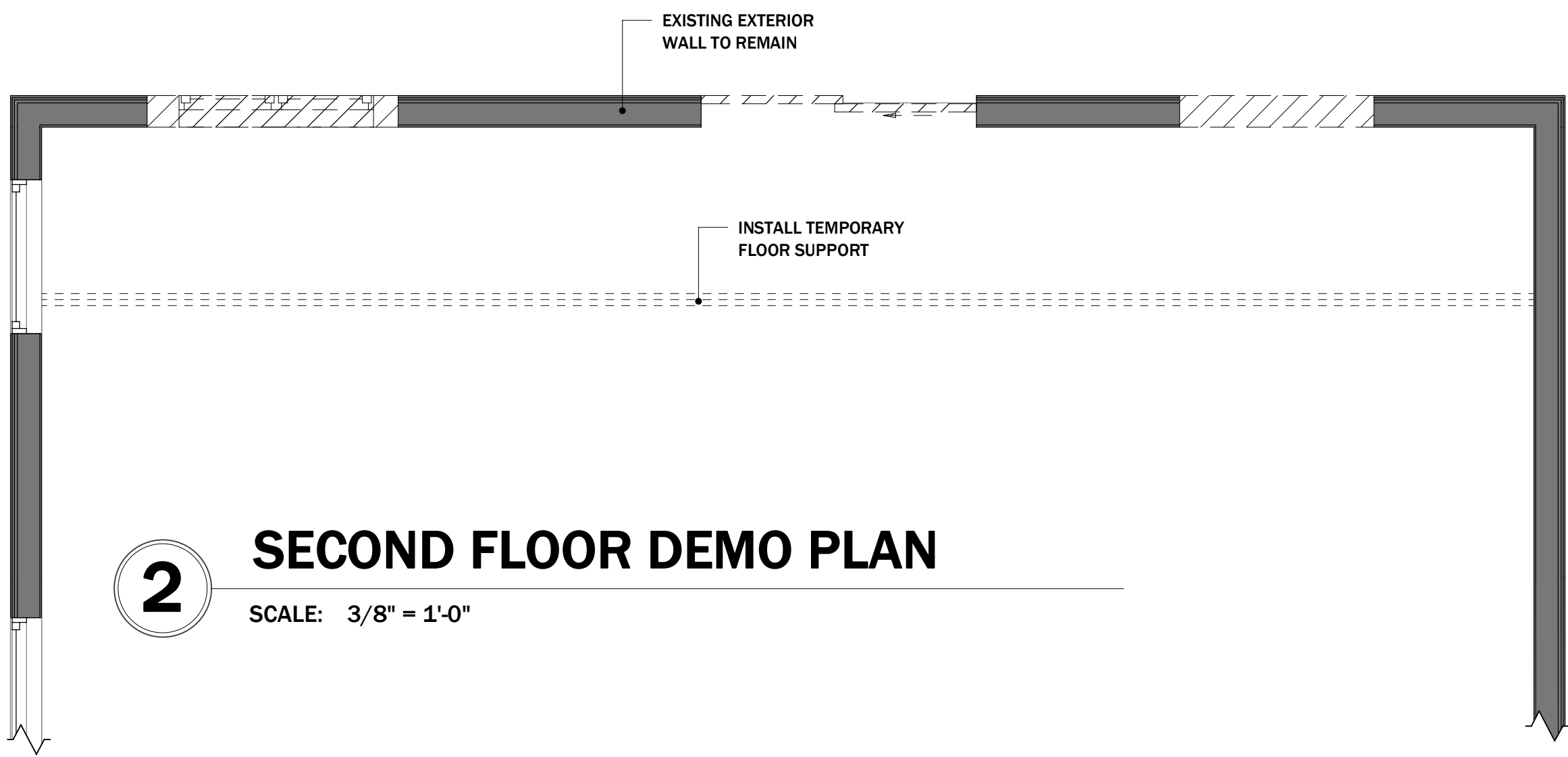




1

FIRST FLOOR DEMO PLAN

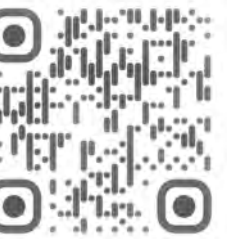
SCALE: 3/8" = 1'-0"



2

SECOND FLOOR DEMO PLAN

SCALE: 3/8" = 1'-0"



SCAN FOR CONTACTS

PROJECT:
**DECK
ADDITION**

804 Hampshire Ave,
Jerome, AZ 86331

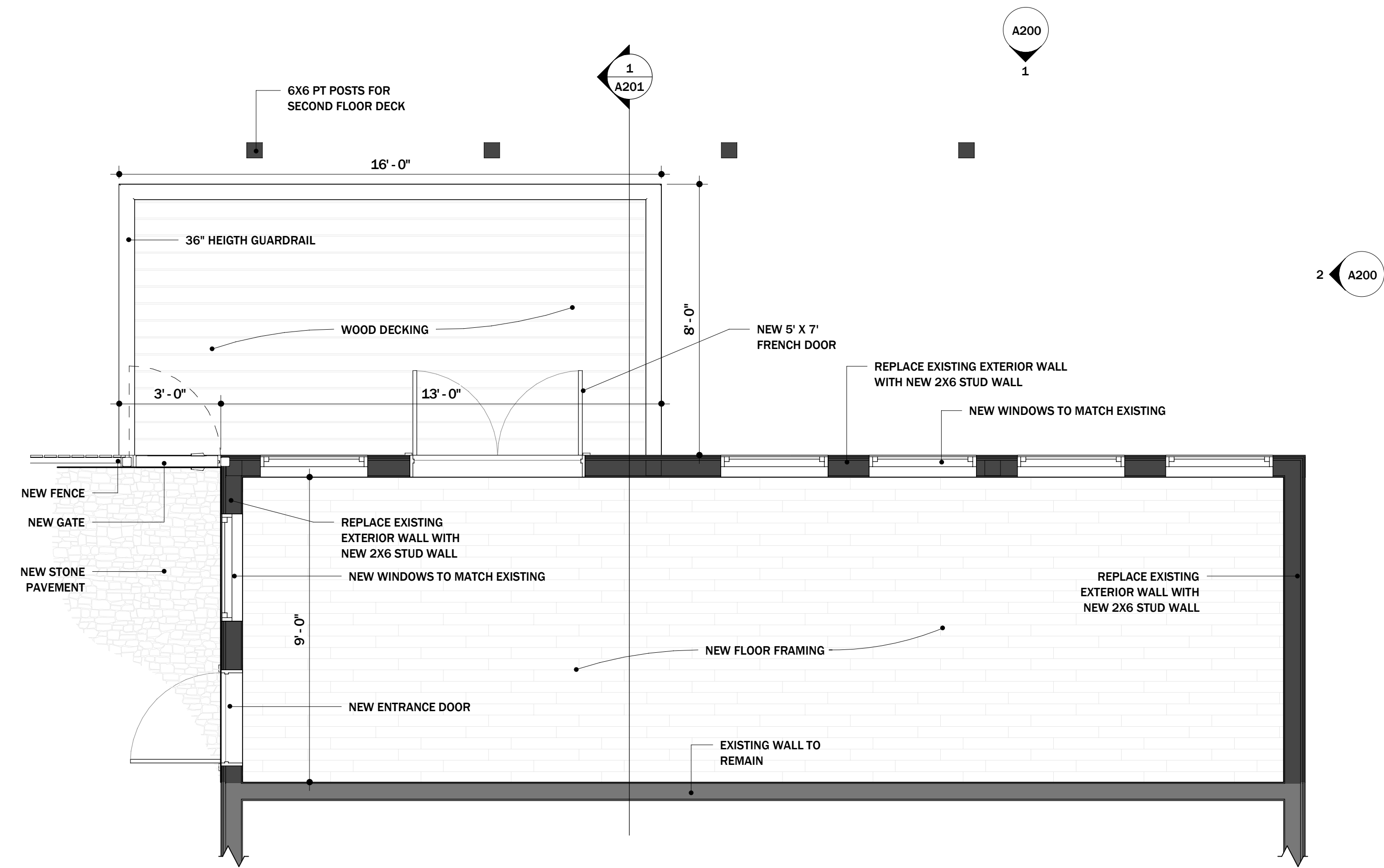
REVISION DATE

ISSUE DATE: 11/13/21

DEMOLITION
PLANS

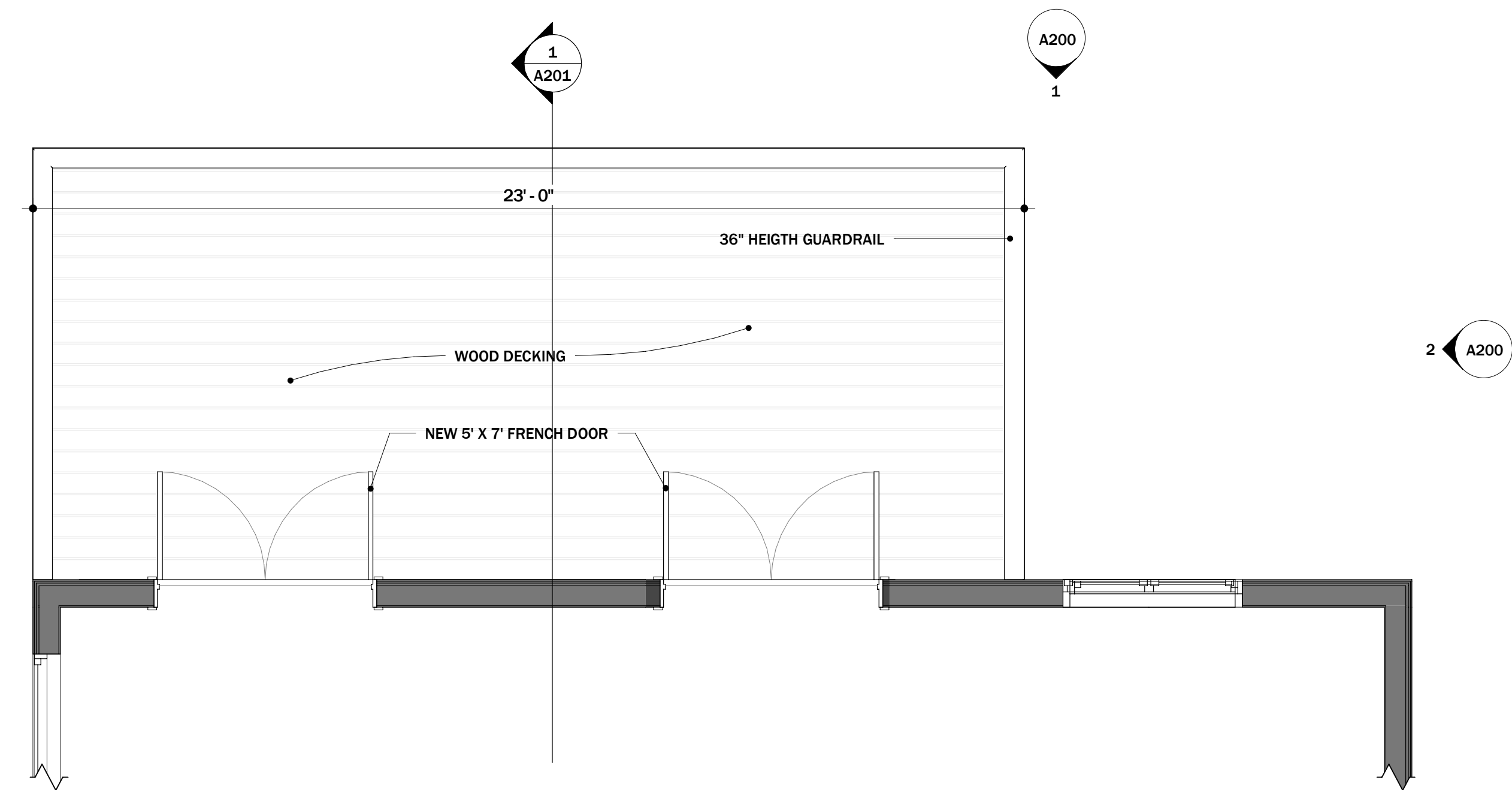
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A100



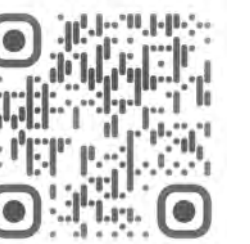
1 PROPOSED FIRST FLOOR PLAN

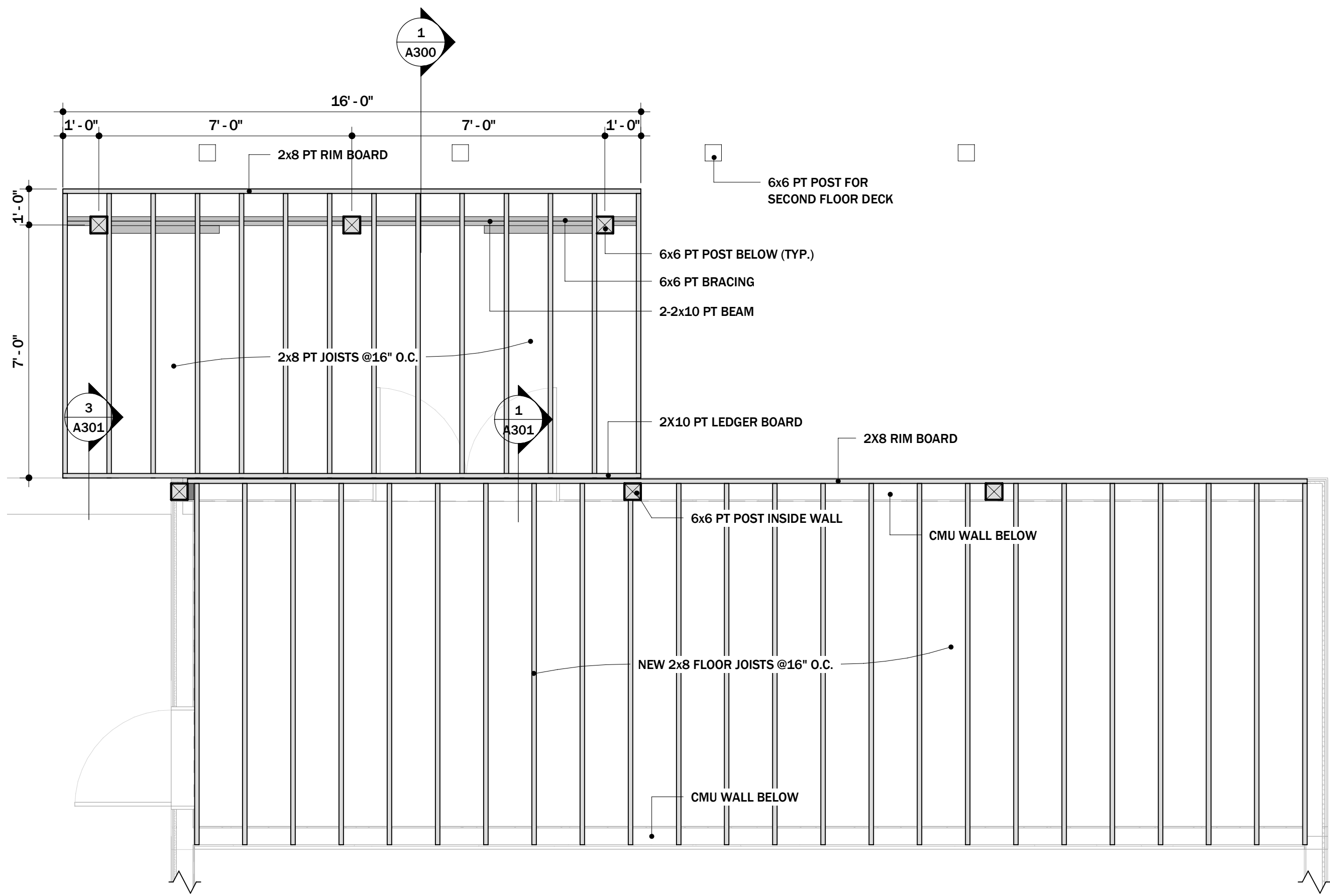
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2 PROPOSED SECOND FLOOR PLAN

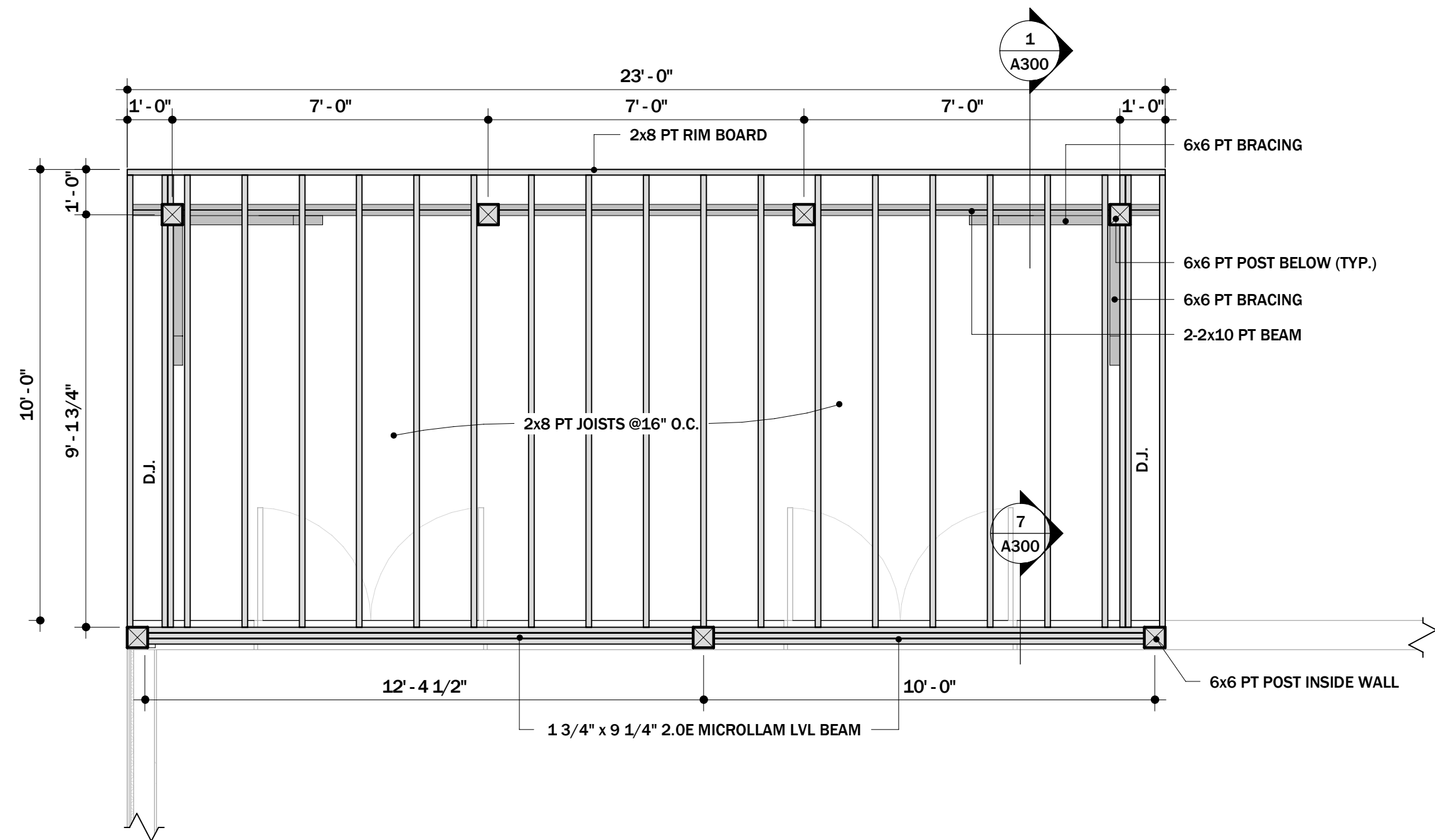
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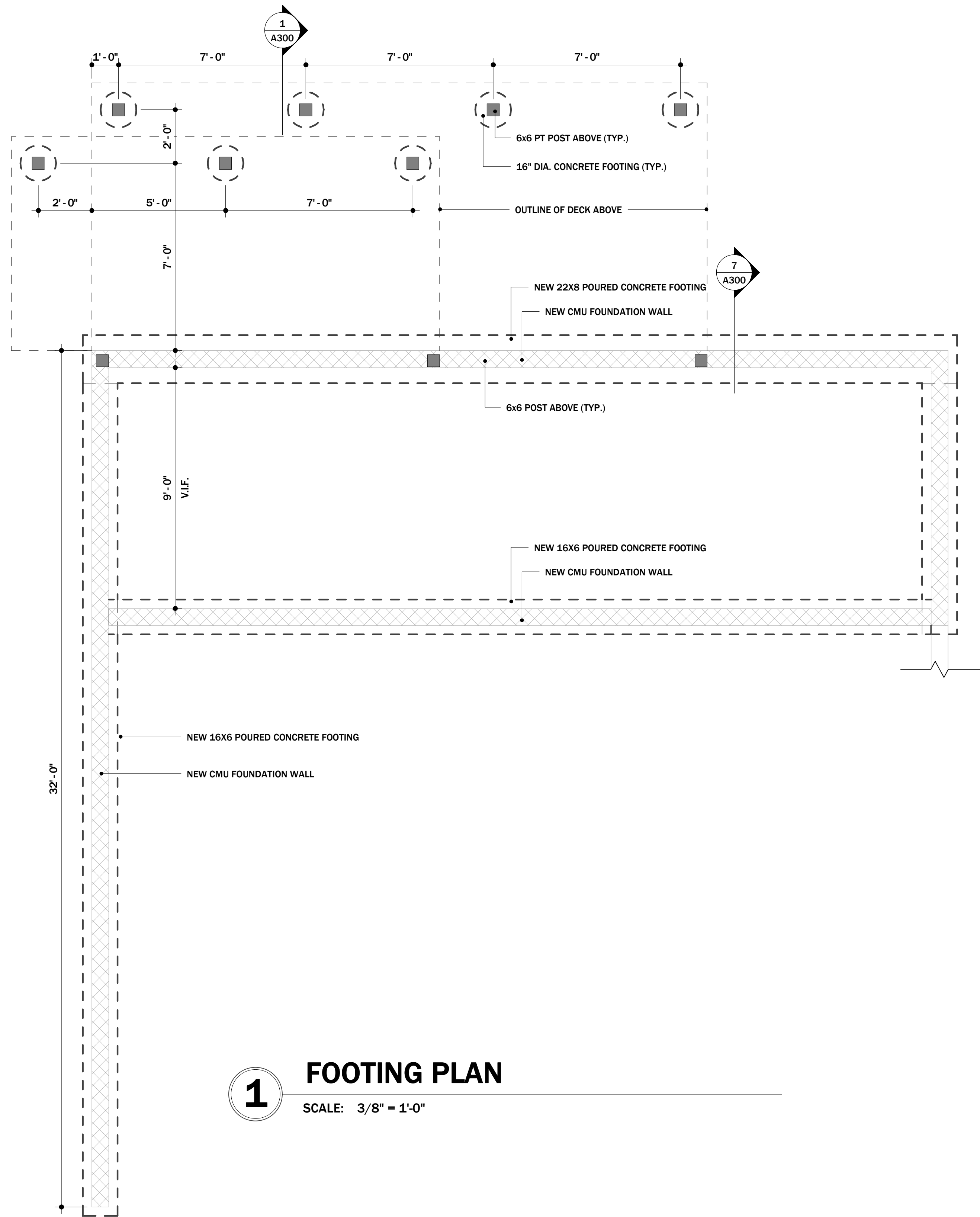
2 FIRST FLOOR FRAMING PLAN

SCALE: 3/8" = 1'-0"



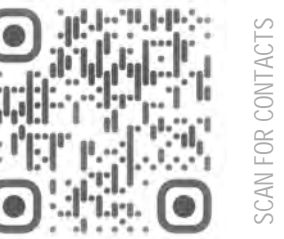
3 SECOND FLOOR FRAMING PLAN

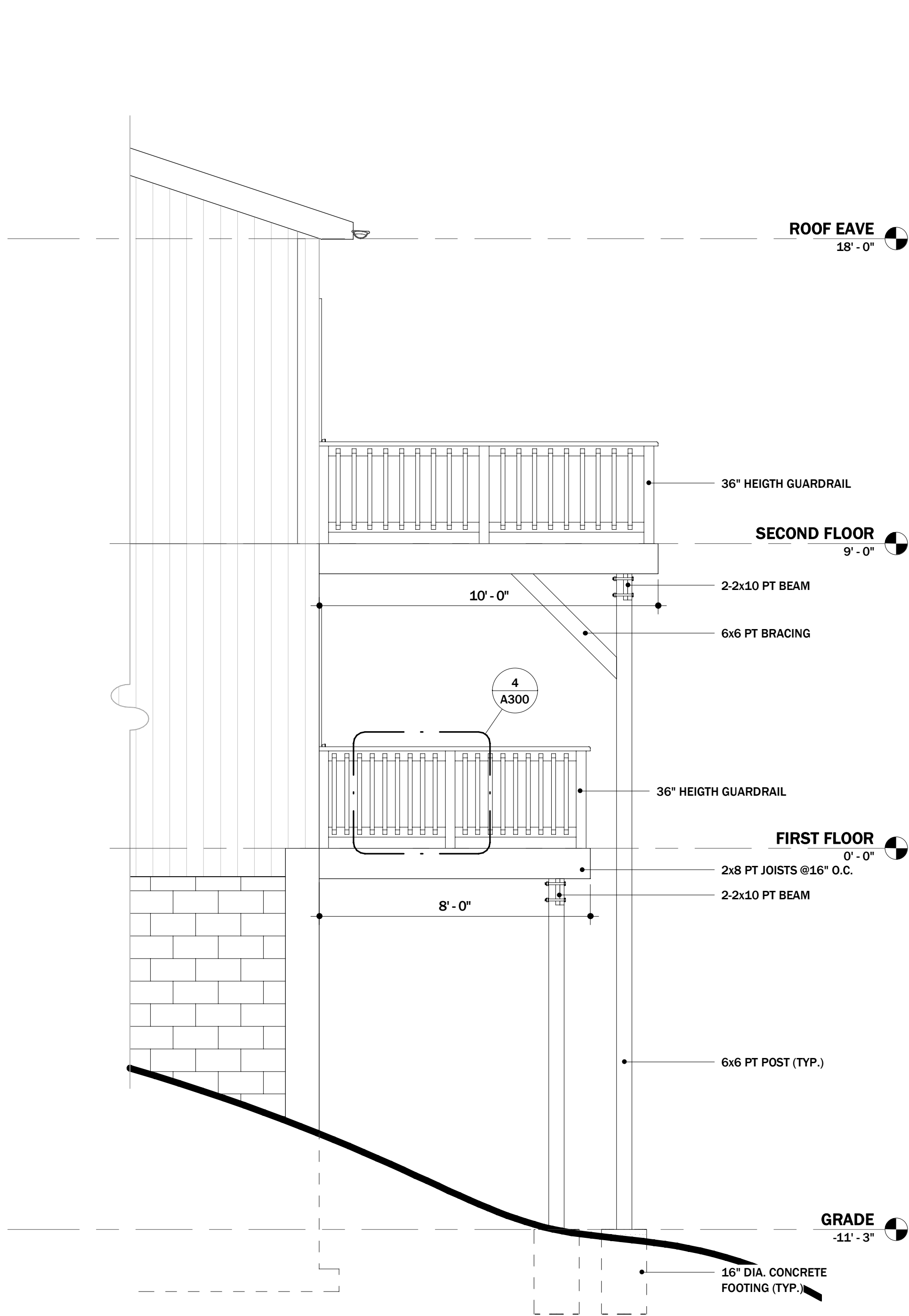
SCALE: 3/8" = 1'-0"



1 FOOTING PLAN

SCALE: 3/8" = 1'-0"





2 **SIDE ELEVATION**
SCALE: 3/8" = 1'-0"



1 **REAR ELEVATION**
SCALE: 3/8" = 1'-0"

RIGHT
ENGINEERING

(332) 209-3943
RIGHT-ENGINEERING.COM



SCAN FOR CONTACTS

PROJECT:
DECK ADDITION

804 Hampshire Ave,
Jerome, AZ 86331

REVISION DATE

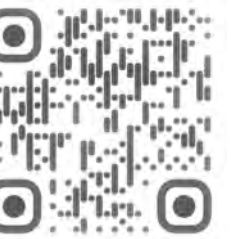
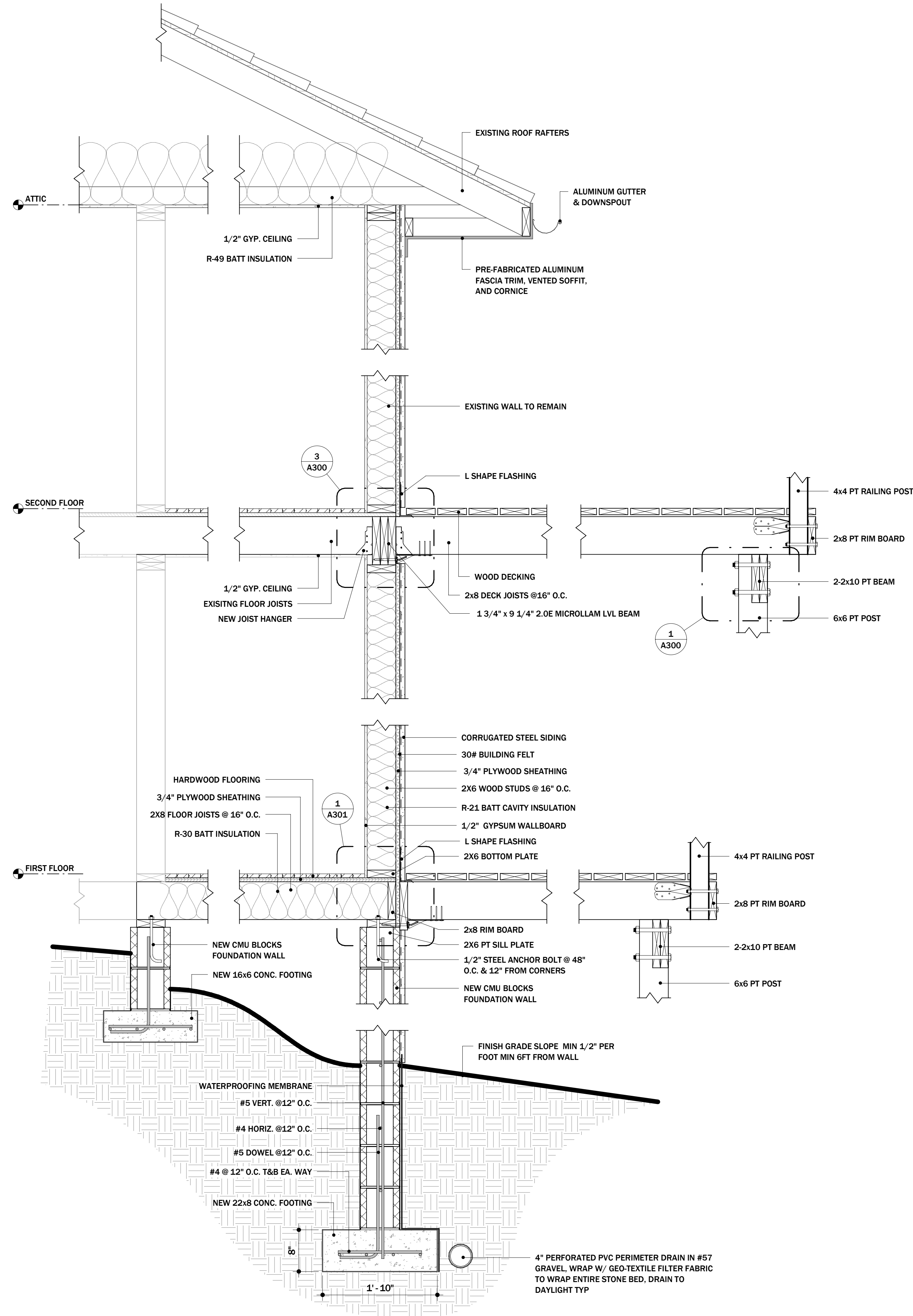
ISSUE DATE: 11/13/21

ELEVATIONS

SCALE: 3/8" = 1'-0"

A200

SHEET SIZE 36" X 24"



PROJECT:
**DECK
ADDITION**

804 Hampshire Ave,
Jerome, AZ 86331

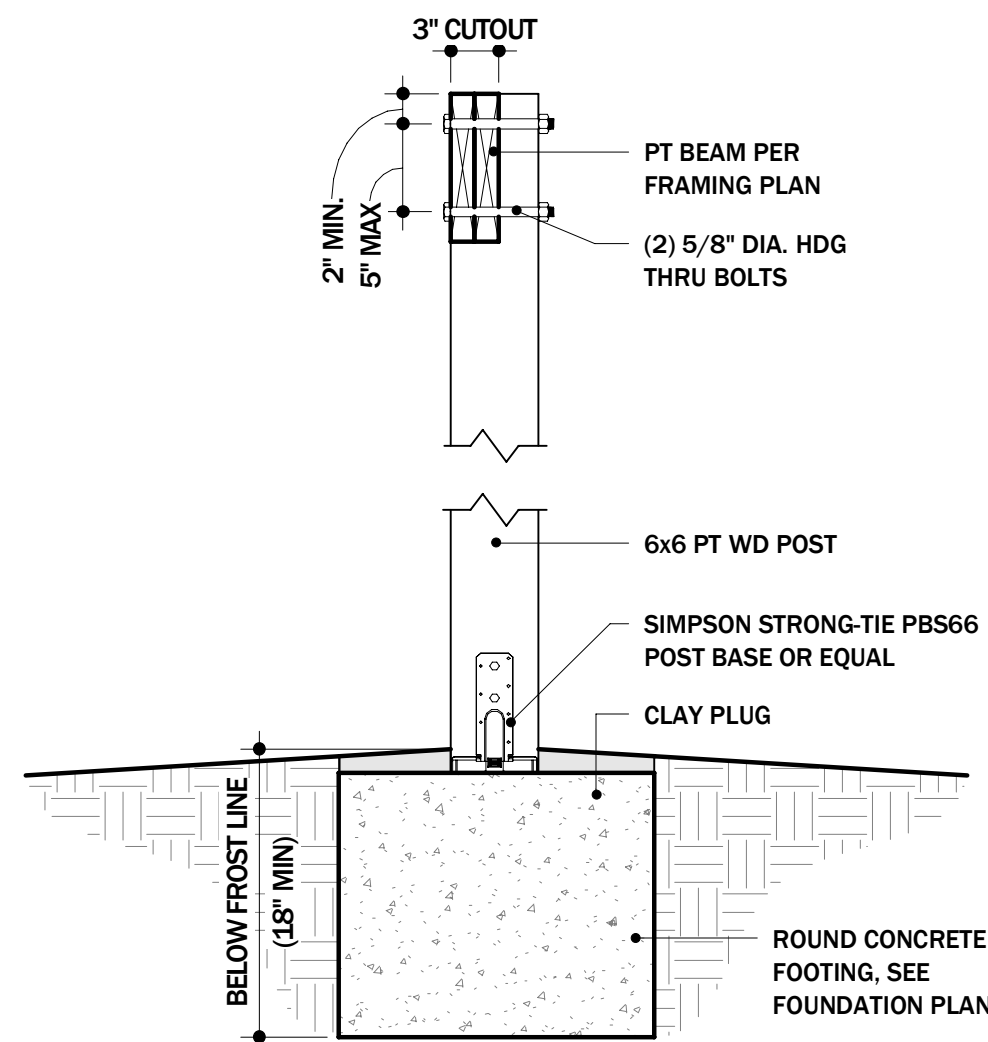
REVISION DATE

ISSUE DATE: **11/13/21**

SECTION

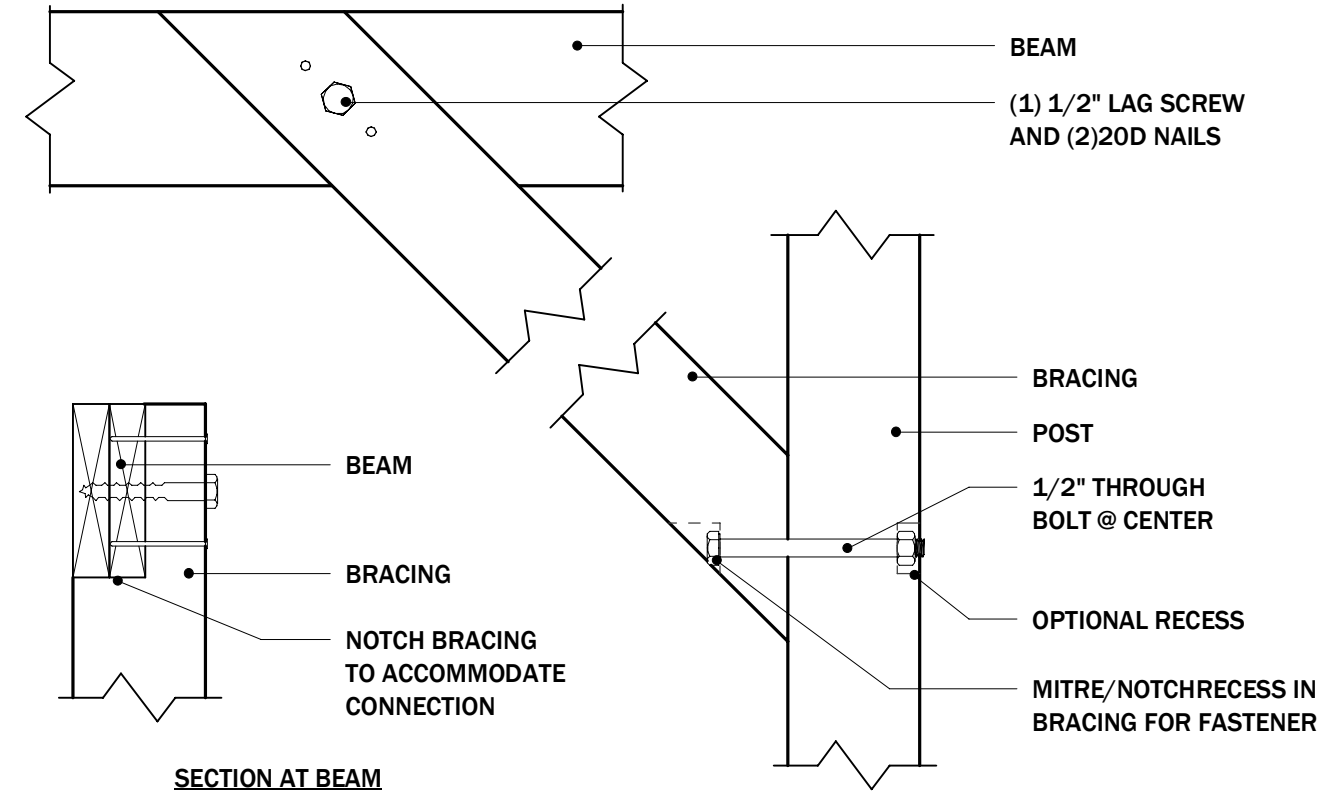
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A201



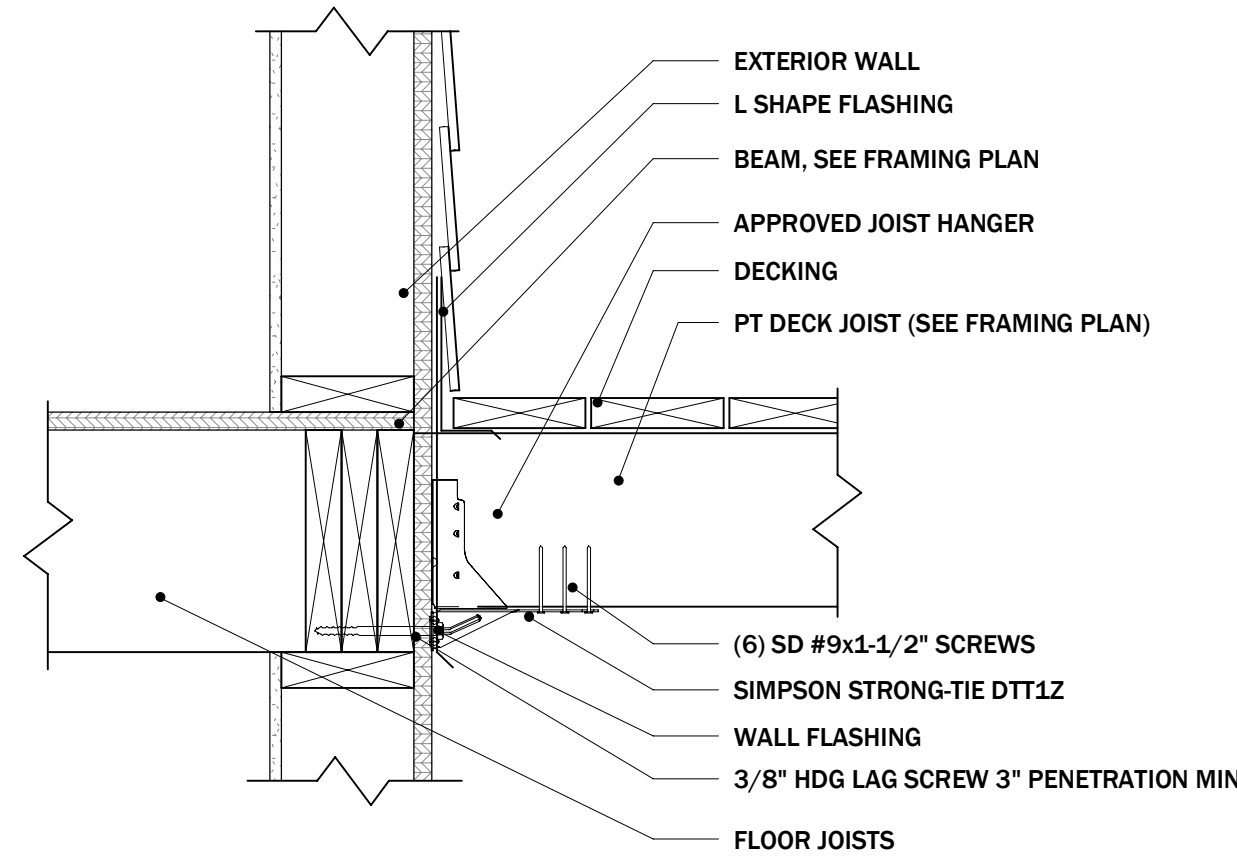
1 POST CONNECTION DETAIL

SCALE: NTS



2 KNEE BRACING CONNECTION

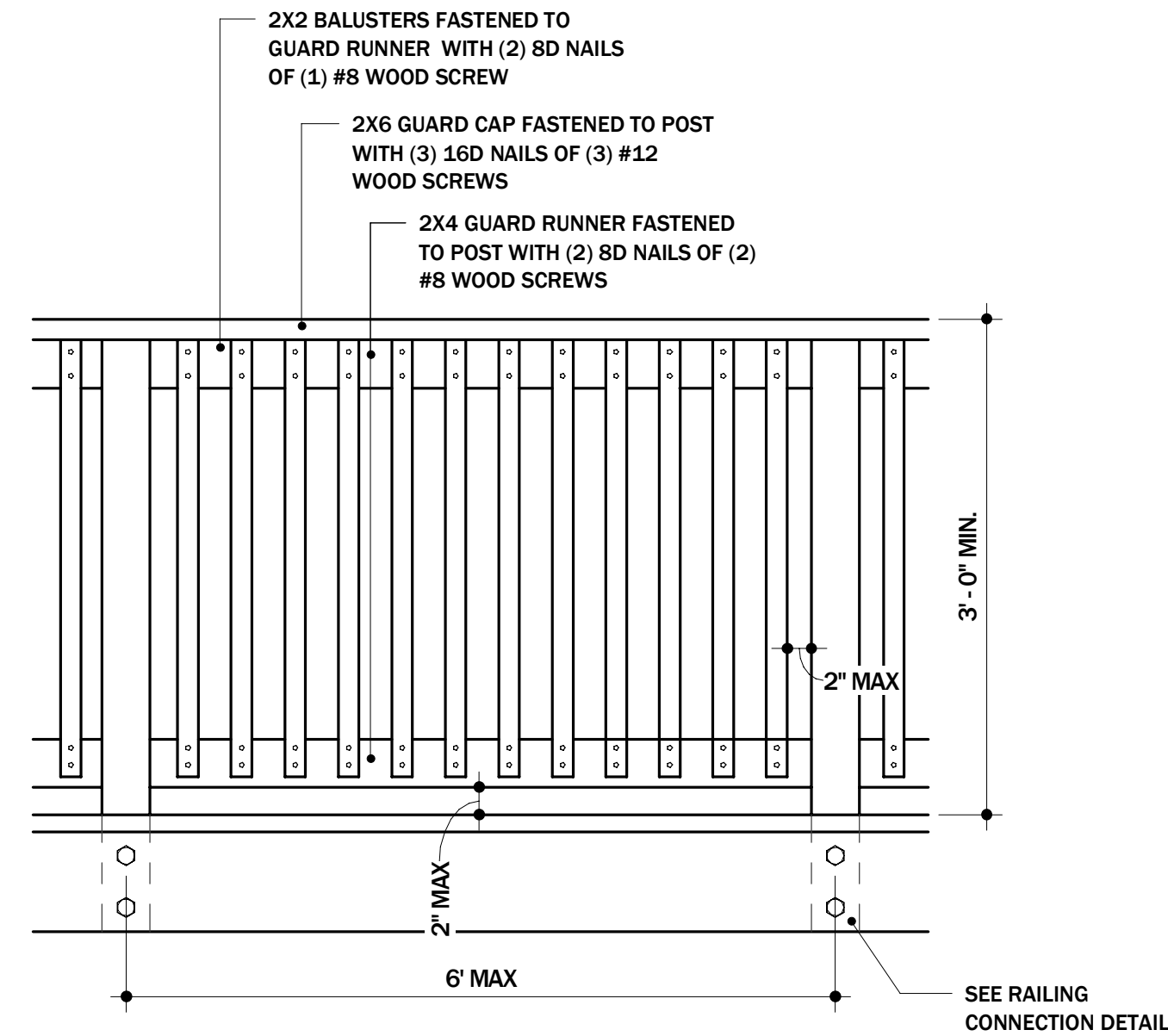
SCALE: NTS



- NOTES:
- HOLD DOWN DEVICES DTT1Z SHALL BE INSTALLED AT 4 LOCATIONS, EVENLY DISTRIBUTED ALONG DECK AND ONE WITHIN 24" OF EACH END OF THE DECK. ATTACHMENTS TO EXTERIOR VENEERS, HOLLOW MASONRY, AND TO CANTILEVERED FLOOR OVERHANGS OR BAY WINDOWS ARE PROHIBITED. IN SUCH CASES, FREE-STANDING DECK OR ENGINEERING DESIGN IS REQUIRED.
 -

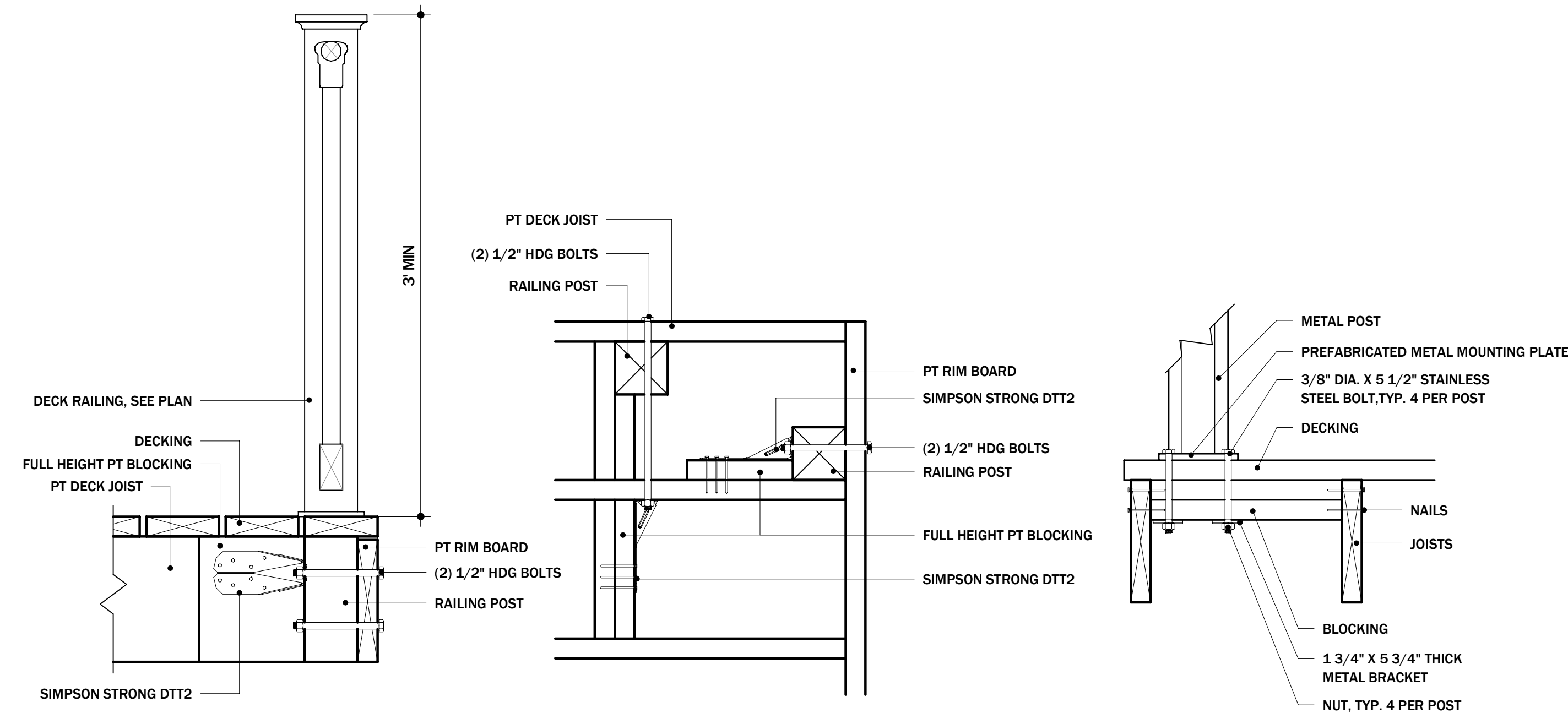
3 DECK CONNECTION

SCALE: NTS



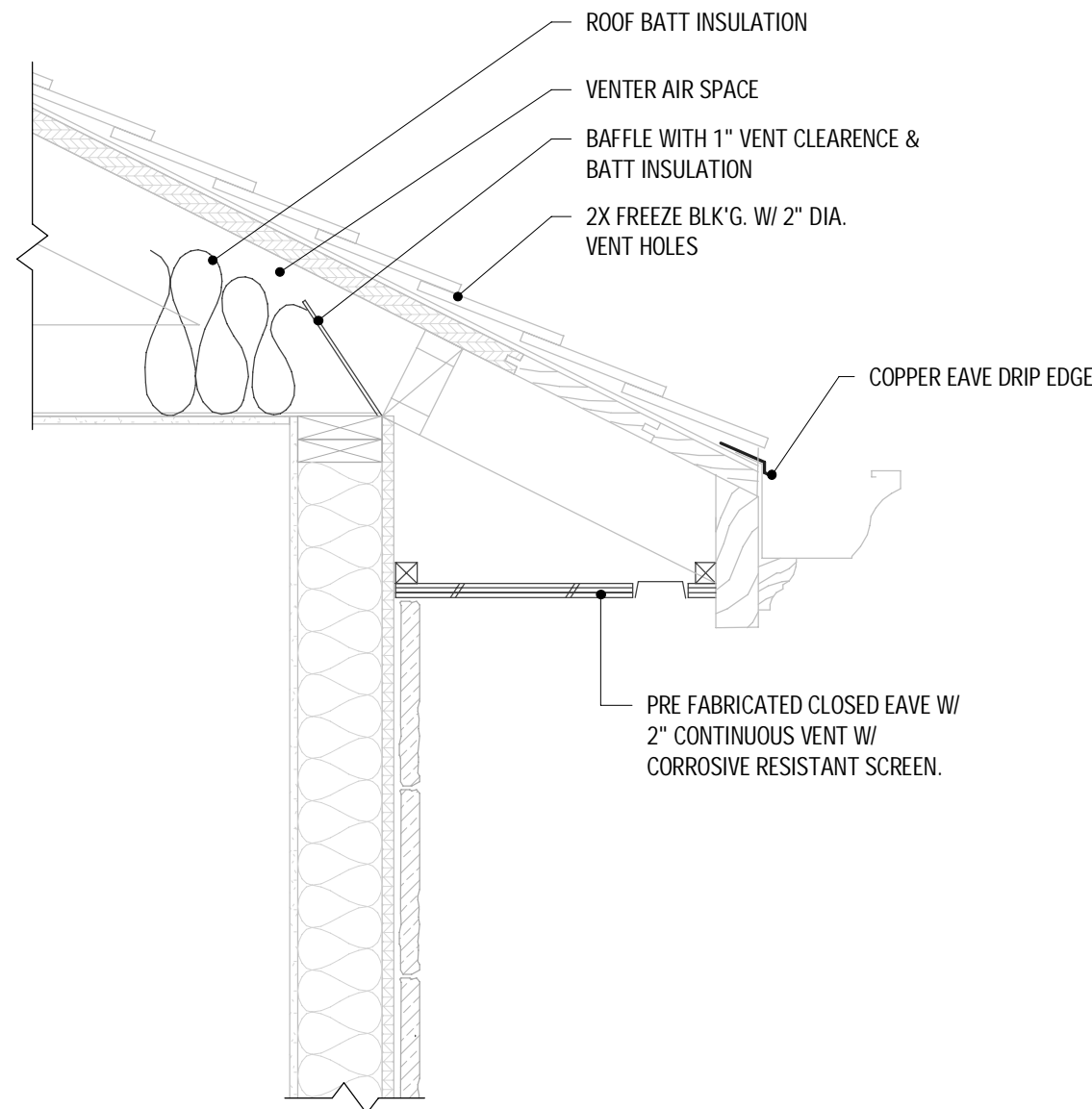
4 TYPICAL WOOD RAILING

SCALE: NTS



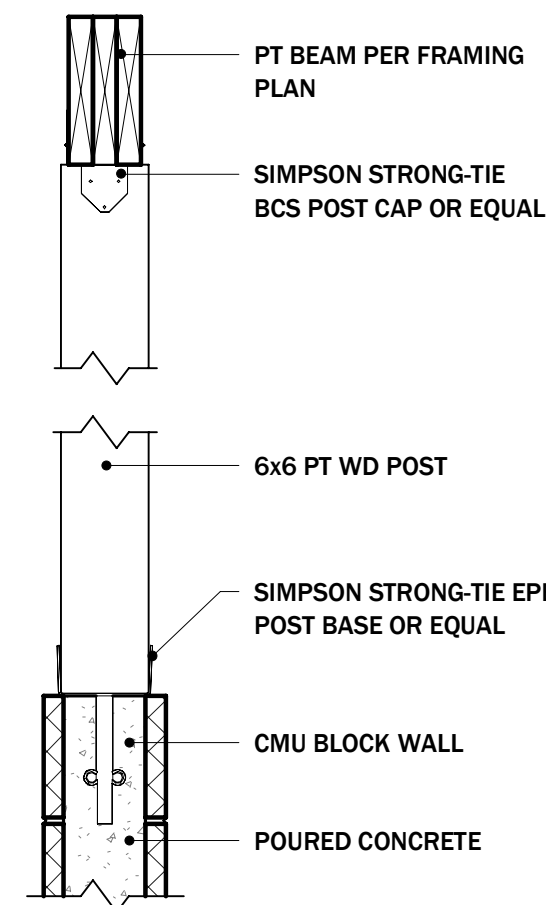
5 RAILING CONNECTION DETAIL

SCALE: NTS



6 EAVE DETAIL

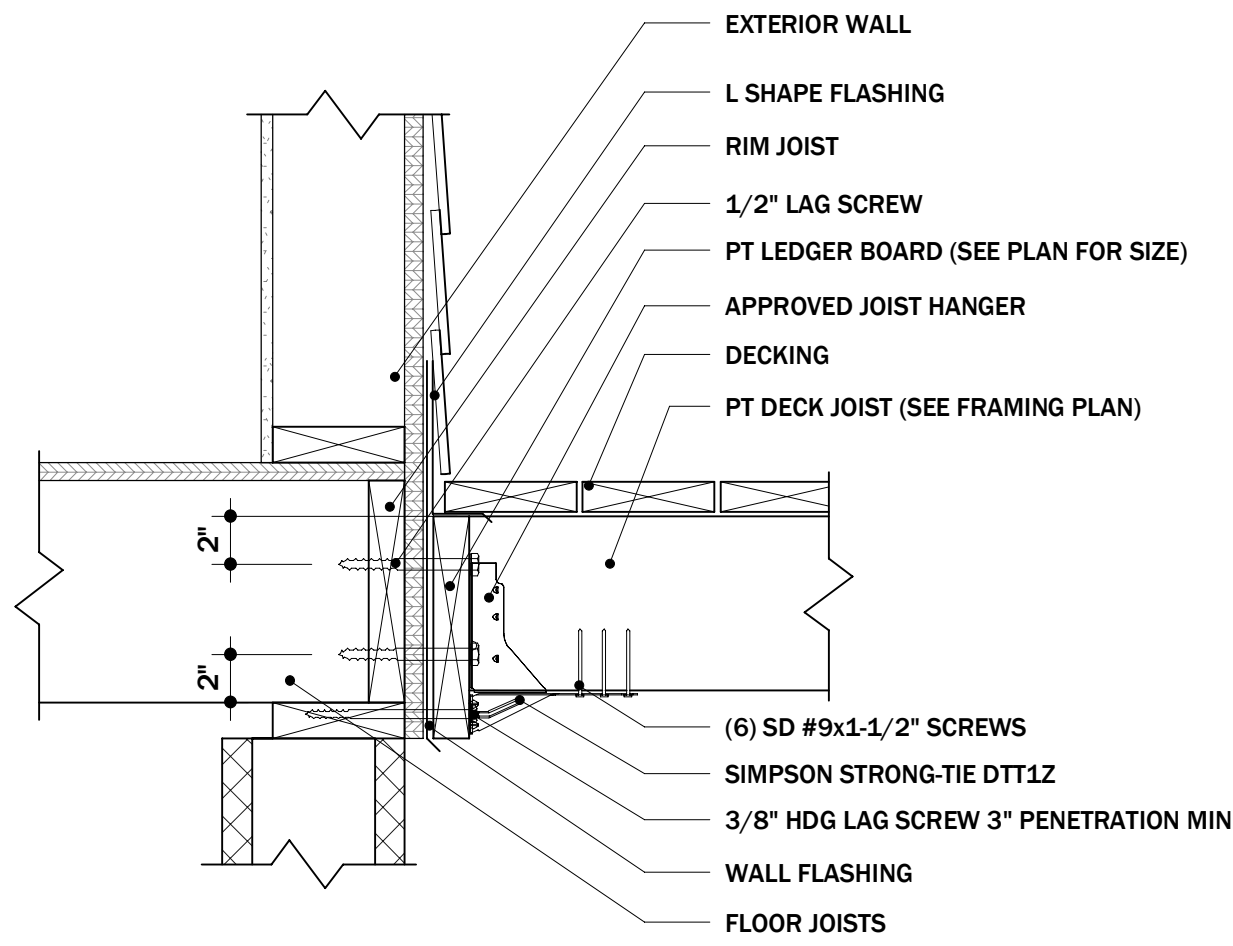
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7 POST CONNECTION DETAIL

SCALE: NTS

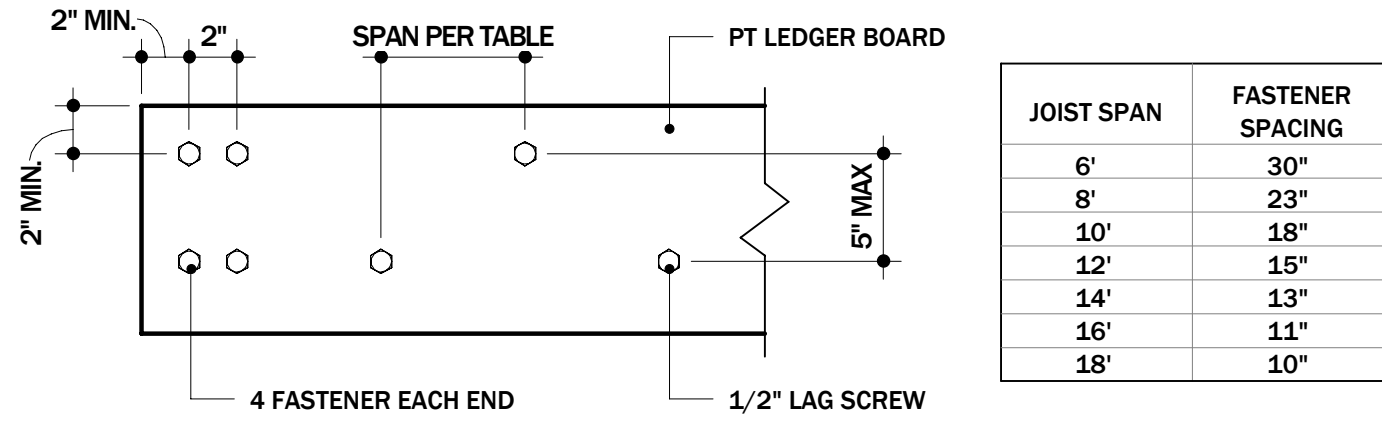




- NOTES:
1. HOLD DOWN DEVICES DTT1Z SHALL BE INSTALLED AT 4 LOCATIONS, EVENLY DISTRIBUTED ALONG DECK AND ONE WITHIN 24" OF EACH END OF THE LEDGER.
 2. ATTACHMENTS TO EXTERIOR VENEERS, HOLLOW MASONRY, AND TO CANTILEVERED FLOOR OVERHANGS OR BAY WINDOWS ARE PROHIBITED. IN SUCH CASES, FREE-STANDING DECK OR ENGINEERING DESIGN IS REQUIRED.

1 LEDGER BOARD CONNECTION

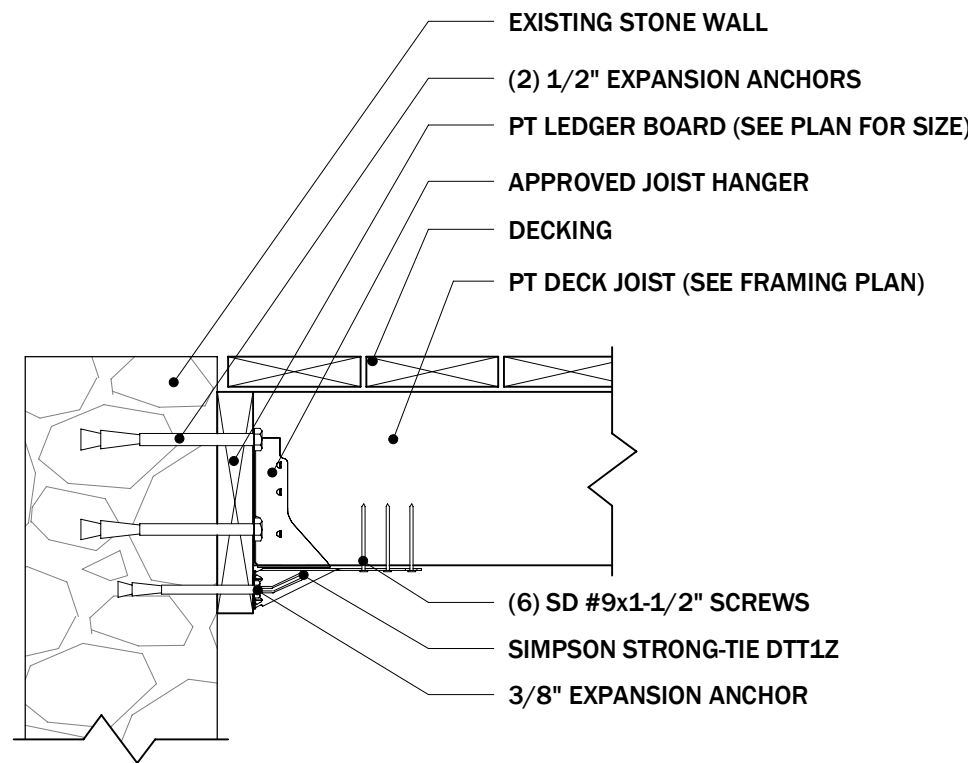
SCALE: NTS



JOIST SPAN	FASTENER SPACING
6'	30"
8'	23"
10'	18"
12'	15"
14'	13"
16'	11"
18'	10"

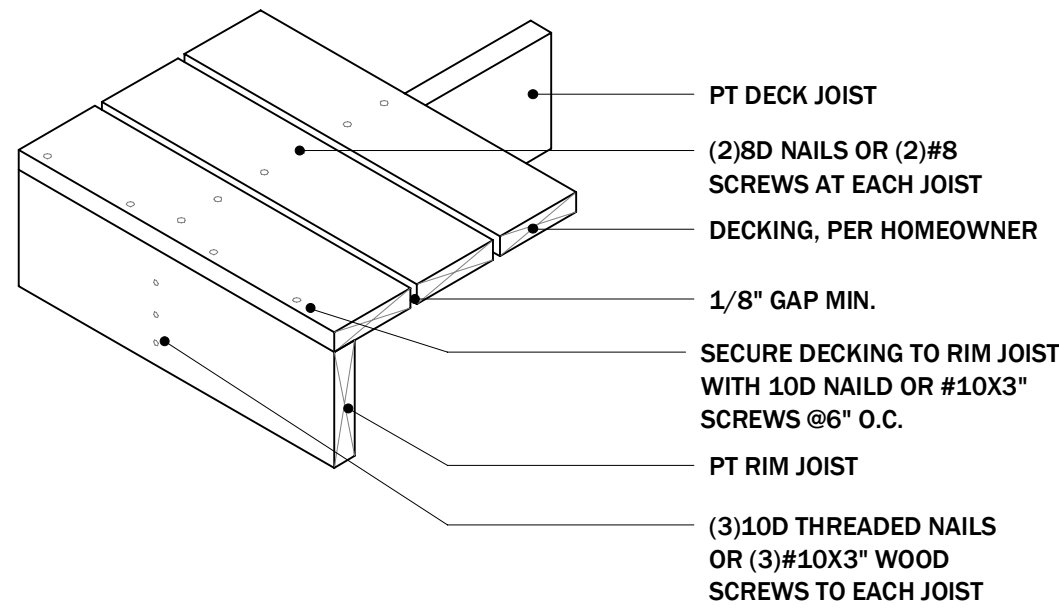
2 LEDGER BOARD FASTENERS

SCALE: NTS



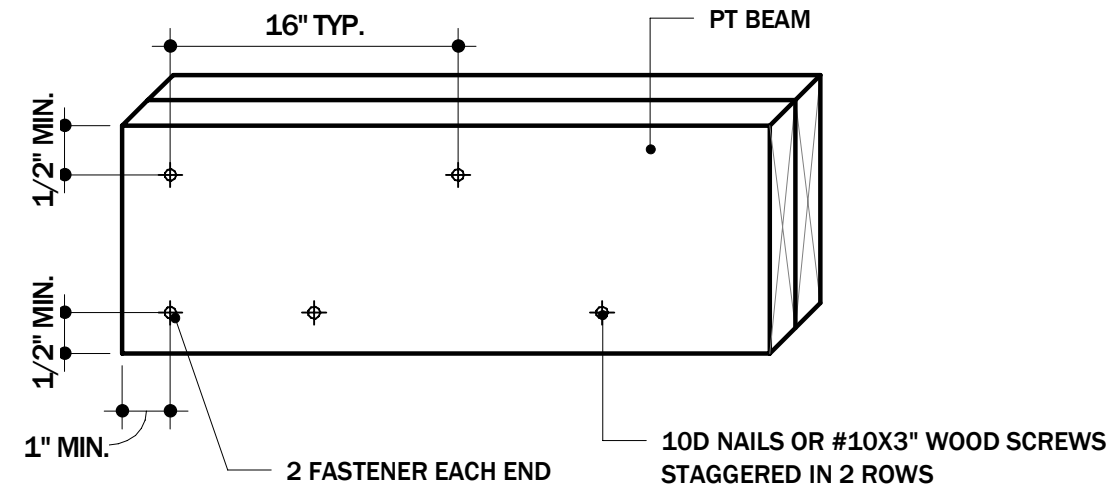
3 LEDGER BOARD CONNECTION

SCALE: NTS



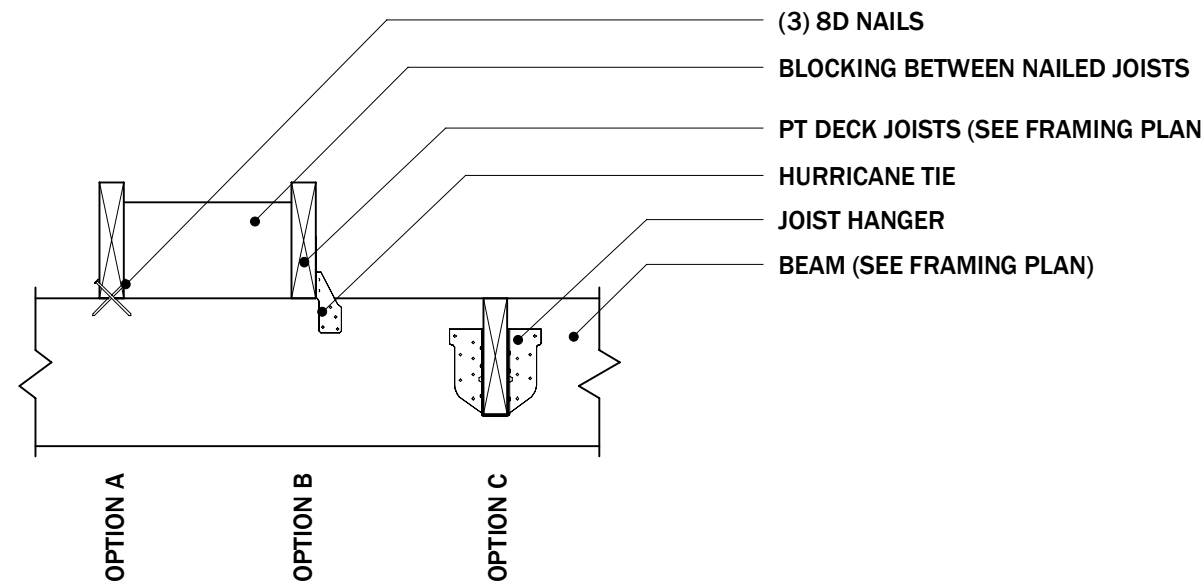
4 DECKING FASTENERS

SCALE: NTS



5 BEAM PLY FASTENING

SCALE: NTS



6 JOIST TO BEAM CONNECTION

SCALE: NTS

