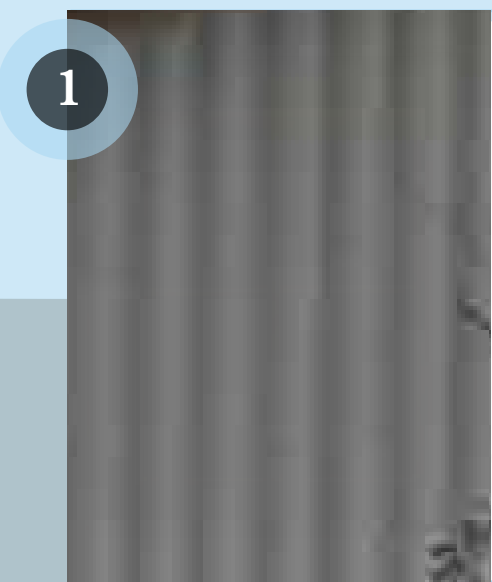


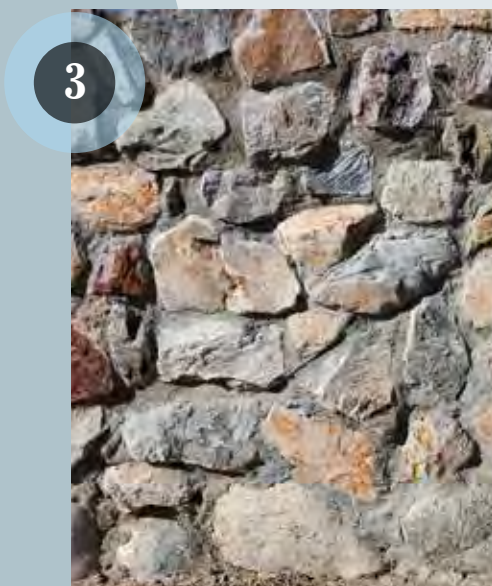
SW SIDE & DRIVEWAY APPEARANCE PROJECTION



**CORRUGATED
STEEL SIDING**



**NEW 30 X 60 "
WINDOWS**



NATURAL ROCK WALL



IRON GATE



GRANITE COBBLESTONE PAVERS

CURRENT STATE



SW SIDE & DRIVEWAY OVERVIEW



1

Add classic corrugated steel siding to side of house, only this side of the house would have steel. This allows us to cover up the stucco that was removed, cover windows and new construction areas below.

2

Add two new 30" x 60" black windows with colonial grids to the first story master bedroom. Original windows were in this location.

3

Add 30" high natural rock wall along driveway approx 26 feet long, add 30" high natural rock wall to porch fence area approx 11 feet long, add curved 20" high natural rock retaining wall by garage. Currently the area with wooden fence is not a secure barrier.

4

Replace white wooden entrance gate to downstairs with decorative iron gate similar to the proposed gate in slide.

5

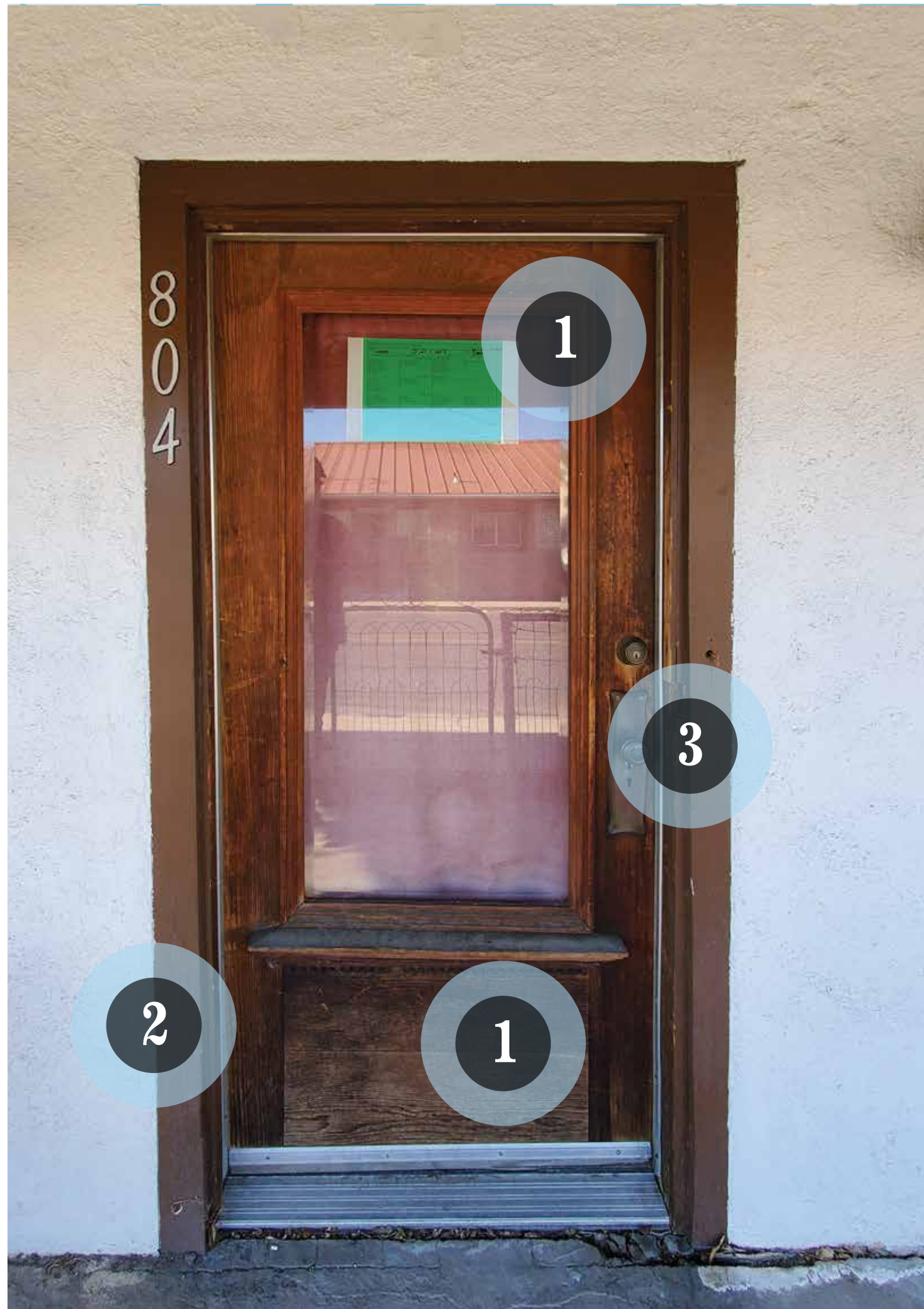
Install 10" x 7" x 4" natural granite cobblestone pavers in existing gravel driveway, pavers will run horizontal to house.



804

Hampshire Avenue,
Jerome, AZ

DOOR & TRIM



1

Refinish existing door and paint with Beacon Blue



2

Install wooden decorative surround like photo example



3

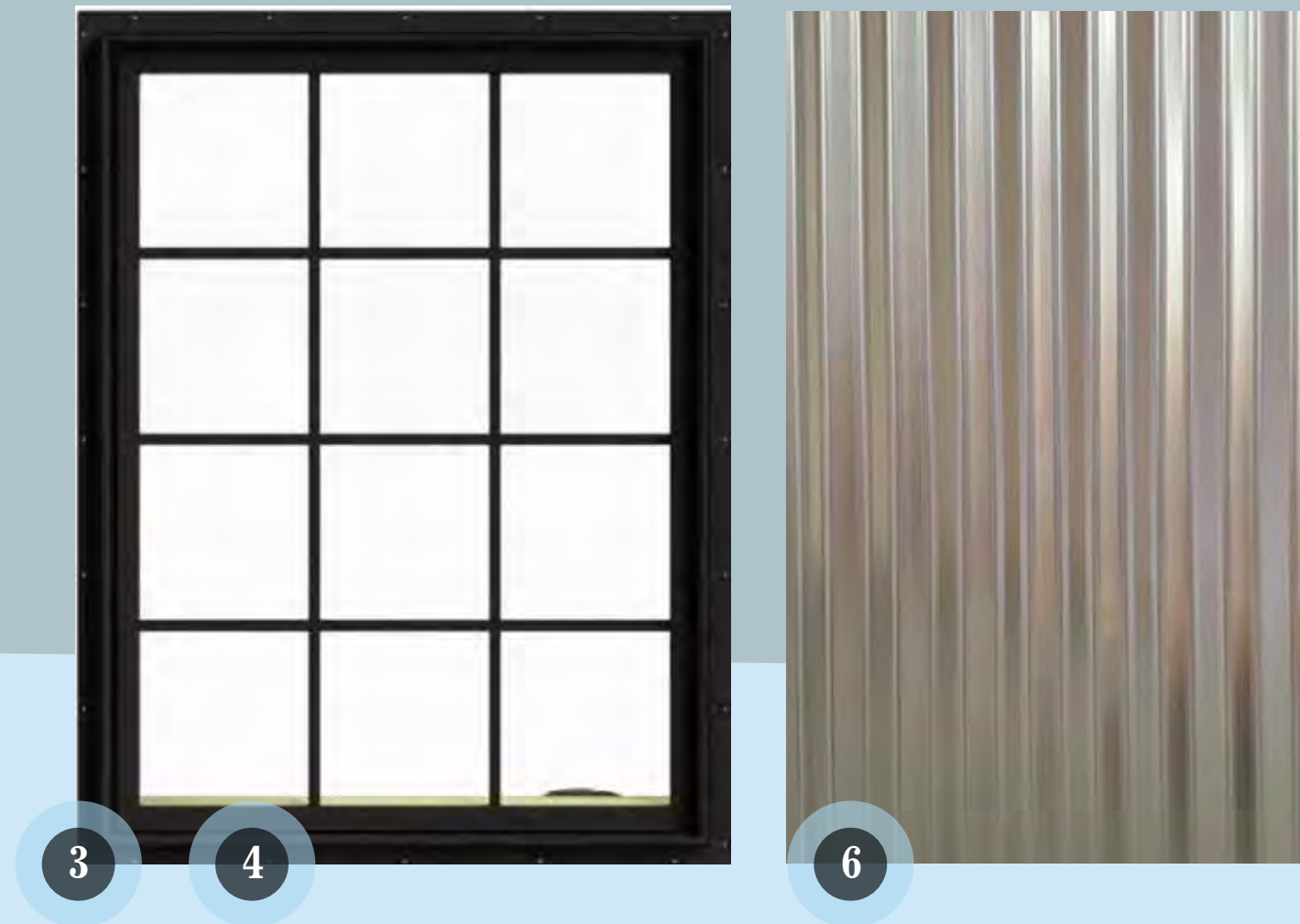
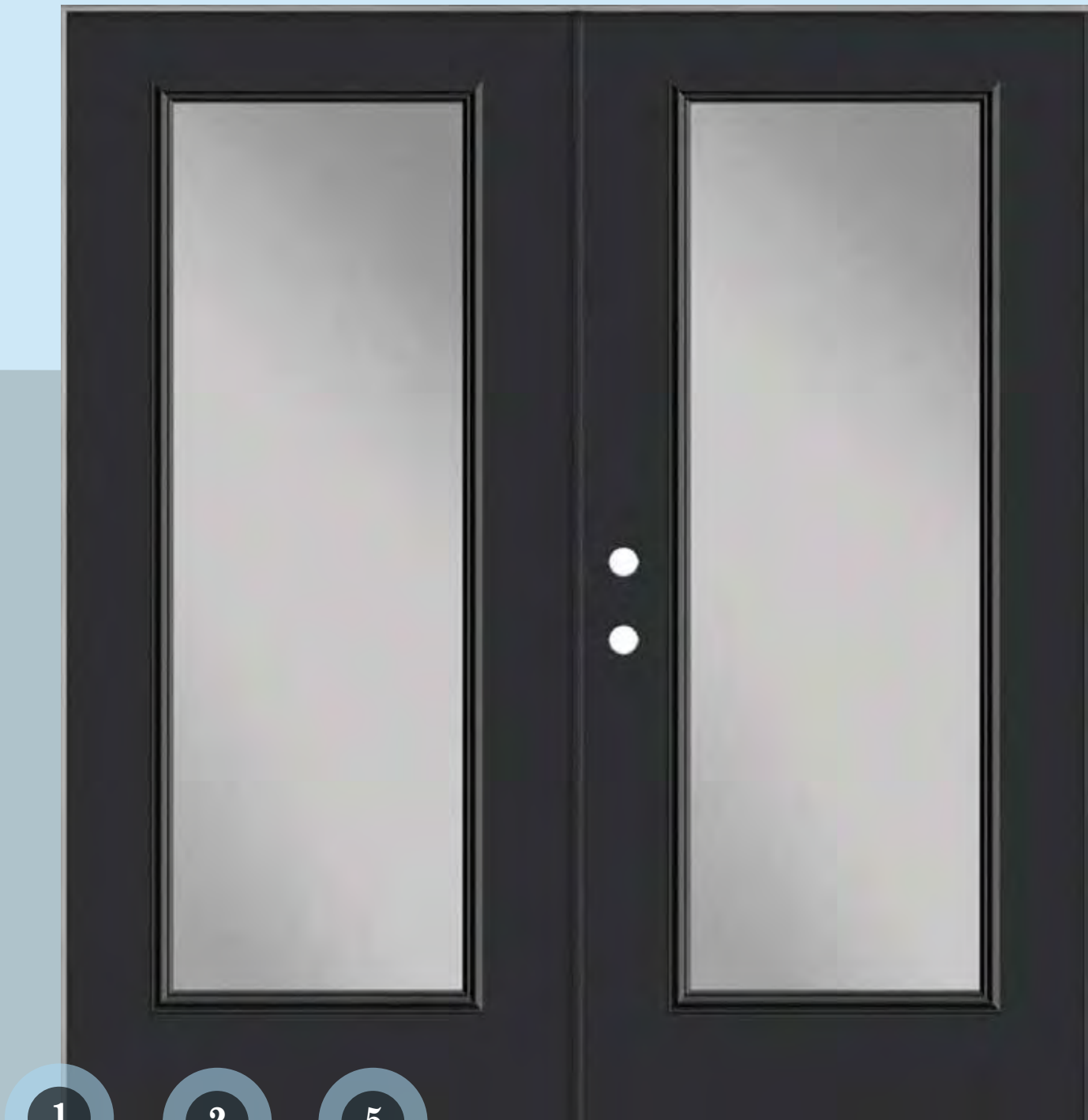
Door Trim and House trim to be black

SW SIDE & DRIVEWAY APPEARANCE PROJECTION



NW REAR FIRST & SECOND STORY
APPEARANCE PROJECTION

CURRENT STATE



NW REAR FIRST & SECOND STORY

OVERVIEW

1

Remove existing second story window from bedroom and install black trim french doors.

2

Remove existing second story arcadia doors from living room and install black trim french doors.

3

Replace existing second story window with black frame window with colonial grids.

4

Replace existing first story windows with black frame windows with colonial grids.

5

Replace existing first story door with black trim french doors.

6

Install classic corrugated steel siding on second story.

7

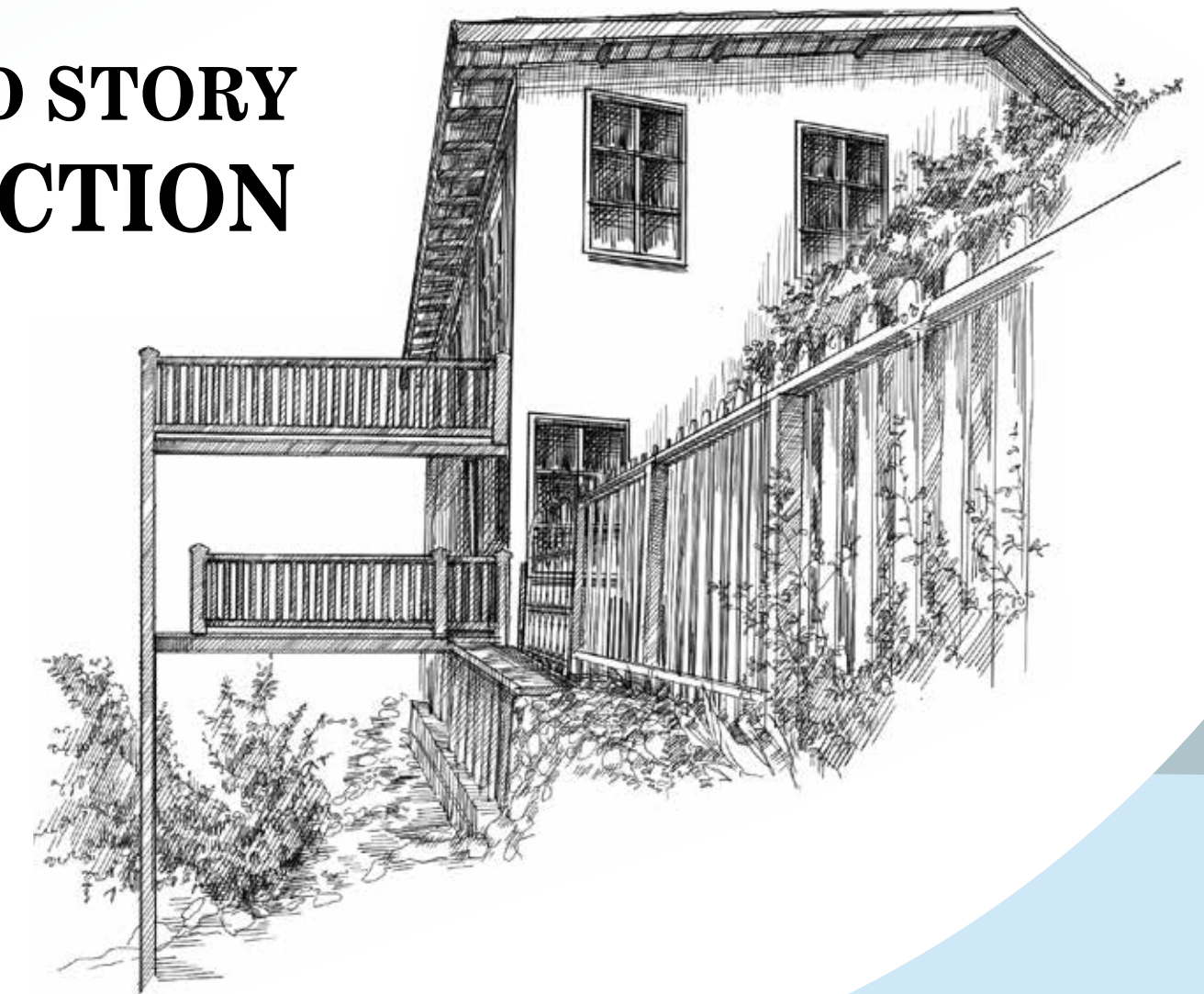
Build two story deck, see engineered plans.

PROPOSED TWO STORY DECK

CURRENT STATE



NW REAR FIRST & SECOND STORY APPEARANCE PROJECTION



SIDE AND REAR VIEW



GENERAL NOTES

1.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES. IF THE DRAWINGS AND/OR THE SPECIFICATIONS ARE AT VARIANCE THEREWITH, THE CONTRACTOR SHALL SO NOTIFY THE ENGINEER IMMEDIATELY.
2.
- DURING CONSTRUCTION, REPORT ALL DISCREPANCIES AND/OR CONFLICTS IN THE DRAWINGS TO THE ENGINEER IMMEDIATELY.
3.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND LABOR REQUIRED TO COMPLETE THE WORK. EXCLUSION OF AN ITEM OR ITEMS DOES NOT IMPLY OMISSION. THE CONTRACTOR'S RESPONSIBILITY IS TO NOTIFY THE ENGINEER & OWNER OF THESE OMISSIONS PRIOR TO THE SUBMISSION OF BIDS. THE CONTRACTOR SHALL COMPLY WITH THE SPIRIT AND INTENT OF THESE DOCUMENTS AND SHALL COMPLETE THE WORK SATISFACTORILY AND IN A MANNER ACCEPTABLE TO THE OWNER. THESE DOCUMENTS ILLUSTRATE THE MINIMUM STANDARDS OF CONSTRUCTION AND THE CONTRACTOR SHALL MEET OR EXCEED NORMAL CONSTRUCTION TECHNIQUES AND STANDARDS FOR A BUILDING OF THIS TYPE.
4.
- NEITHER THE ENGINEER OR THE OWNER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF THE CONTRACTOR; SAFETY PRECAUTIONS AND PROGRAMS OF CONTRACTOR; THE ACTS OR OMISSIONS OF THE CONTRACTOR; OR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS.
5.
- VERIFY DIMENSIONS, GRADES, ELEVATIONS AND CRITICAL LOCATIONS, SUCH AS STRUCTURAL SUPPORTS, BEFORE COMMENCING WORK AFFECTED BY THEM. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER.
6.
- THE CONTRACTOR SHALL THOROUGHLY REVIEW THE DRAWINGS AND EXISTING SITE CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES, ERRORS OR OMISSIONS PRIOR TO CONSTRUCTION.
7.
- MANUFACTURED MATERIALS, EQUIPMENT, ETC., SHALL BE INSTALLED PER MANUFACTURES RECOMMENDATIONS, INSTRUCTIONS AND APPLICABLE REPORTS UNLESS OTHERWISE NOTED OR INSTRUCTED.
8.
- SUBSTITUTIONS, REVISIONS OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE ENGINEER.
9.
- NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE AS A CONSEQUENCE OF THE ENGINEER FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT DOCUMENTS. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
10.
- IN THE EVENT CERTAIN FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE NOTES OR SPECIFICATIONS, THEN THE CONSTRUCTION SHALL BE SIMILAR AND OF THE SAME CHARACTER AS SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
11.
- THE CONTRACTOR SHALL DO ALL WORK IN ACCORDANCE WITH THE DRAWINGS APPROVED BY THE BUILDING OFFICIAL. THE APPROVED DRAWINGS SHALL NOT BE CHANGED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
12.
- ALL WORK AND MATERIAL SHALL BE NEW AND UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.

DESIGN CONSIDERATIONS

1.
- THESE DETAILS ARE BASED ON THE PRESCRIPTIVE REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE, INDUSTRY BEST-PRACTICES AND APPLICABLE REFERENCED STANDARDS SUCH AS THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
2.
- FRAMING MEMBERS IN THESE DETAILS ARE DESIGNED FOR A 40 PSF LIVE LOAD, 10 PSF DEAD LOAD, NORMAL LOADING DURATION, WET SERVICE CONDITIONS AND DEFLECTIONS OF $\ell/360$ FOR MAIN SPANS AND $\ell/180$ FOR OVERHANGS WITH A 220-POUND POINT LOAD.
3.
- DECKS CONSTRUCTED IN ACCORDANCE WITH THIS PROJECT ARE NOT APPROVED FOR PLANTERS, BUILT-IN SEATING OR HOT TUBS.
4.
- THE PROJECT DOES NOT APPLY TO DECKS WHICH WILL EXPERIENCE SNOW LOADS, SNOW DRIFT LOADS, OR SLIDING SNOW LOADS THAT EXCEED 40 PSF
5.
- DECKS SHALL NOT BE USED OR OCCUPIED UNTIL FINAL INSPECTION AND APPROVAL IS OBTAINED

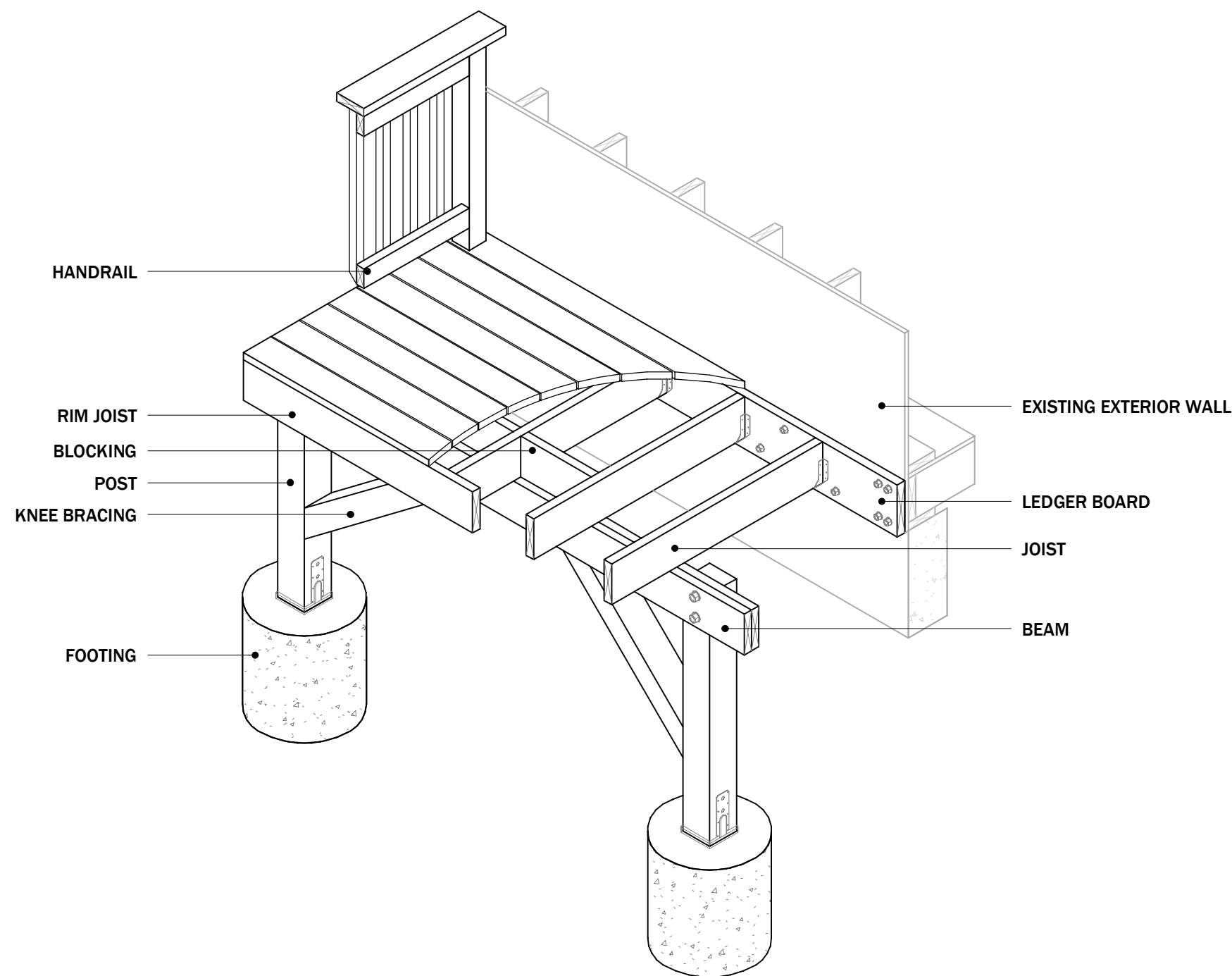
SHEET LIST	
#	NAME
A000	GENERAL NOTES
A100	DEMOLITION PLANS
A101	PROPOSED PLANS
A102	STRUCTURAL PLANS
A200	ELEVATIONS
A201	SECTION
A300	DETAILS
A301	DETAILS

MATERIAL SPECIFICATIONS

1.
- LUMBER SHALL BE PRESERVATIVE-TREATED, SOUTHERN PINE, GRADE #2 OR BETTER. LUMBER NOT NATIVE TO NORTH AMERICA, SUCH AS IPE, MAY BE USED AS DECKING ONLY; ITS USE IN GUARDS IS PROHIBITED.
2.
- LUMBER IN CONTACT WITH THE GROUND SHALL BE RATED AS "GROUND-CONTACT." NOT ALL TREATED LUMBER IS RATED FOR GROUND CONTACT.
3.
- CONCRETE IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
4.
- FOOTINGS SHALL BEAR ON SOLID GROUND BELOW FROST LINE; FOOTINGS SHALL BE DEEPER IF SOLID GROUND IS NOT FOUND. BEARING CONDITIONS MUST BE VERIFIED BY COUNTY INSPECTORS PRIOR TO PLACEMENT OF CONCRETE.
5.
- DO NOT CONSTRUCT FOOTINGS OVER UTILITY LINES OR SERVICE PIPE. CALL MISS UTILITY AT 811 BEFORE YOU DIG.
6.
- WHEN THE EDGE OF A DECK FOOTING IS CLOSER THAN 5 FEET TO AN EXISTING EXTERIOR HOUSE WALL, THE FOOTING MUST BEAR AT THE SAME ELEVATION AS THE EXISTING HOUSE FOOTINGS
7.
- NAILS SHALL BE THREADED, RING-SHANKED OR ANNULAR GROOVED. A 1/8" PILOT HOLE SHALL BE USED AT TOE-NAILING LOCATIONS.
8.
- CARRIAGE-BOLTS MAY BE SUBSTITUTED WHERE THROUGH-BOLTS ARE SPECIFIED PROVIDED CARRIAGE-BOLT WASHERS (WITH SQUARE HOLES) ARE INSTALLED AT THE BOLT HEAD.
9.
- FASTENERS SHALL BE HOT-DIPPED GALVANIZED, STAINLESS STEEL OR APPROVED FOR USE WITH PRESERVATIVE-TREATED LUMBER.
10.
- FASTENERS AND CONNECTORS EXPOSED TO SALT WATER OR LOCATED WITHIN 300 FEET OF A SALT WATER SHORELINE SHALL BE STAINLESS STEEL GRADE 304 OR 316.
11.
- HARDWARE AND MECHANICAL CONNECTORS, E.G., JOIST HANGERS OR POST ANCHORS, SHALL BE STAINLESS STEEL OR GALVANIZED WITH 1.85 OUNCES OF ZINC PER SQUARE FOOT (G-185 COATING). LOOK FOR PRODUCT LINES SUCH AS "ZMAX," "TRIPLE ZINC" OR "GOLD COAT."
12.
- FLASHING AT LEDGER BOARD CONNECTIONS SHALL BE COPPER (WITH COPPER NAILS ONLY), STAINLESS STEEL, UV RESISTANT PLASTIC OR GALVANIZED STEEL WITH A G-185 COATING.
13.
- PLASTIC COMPOSITES ARE MATERIALS COMPOSED OF BOUND WOOD AND PLASTIC FIBERS. PERMISSIBLE AS NOTED IN THIS DOCUMENT, PLASTIC COMPOSITES MUST BEAR A LABEL INDICATING ITS COMPLIANCE WITH ASTM D 7032. PLASTIC COMPOSITES LABEL AND INSTALLATION INSTRUCTIONS MUST BE AVAILABLE TO THE INSPECTOR.
14.
- WHEN USING PLASTIC COMPOSITES, EXERCISE CAUTION AS SOME MEMBERS DO NOT HAVE THE SAME CAPACITY AS THEIR WOOD EQUIVALENTS.
15.
- PVC DECKING AND GUARDS ARE PERMITTED PROVIDED THEY HAVE A VALID EVALUATION REPORT FROM AN ACCREDITED LISTING AGENCY SUCH AS THE INTERNATIONAL CODE COUNCIL - EVALUATION SERVICE. INSTALLATION SHALL BE IN CONFORMANCE WITH THE REPORT AND THE MANUFACTURER'S INSTRUCTIONS WHICH MUST BE AVAILABLE TO THE INSPECTOR.
16.
- THE USE OF OTHER MATERIALS AND PRODUCTS, OTHER THAN THOSE PERMITTED HEREIN, SHALL BE APPROVED BY THE CITY/COUNTY PRIOR TO INSTALLATION.

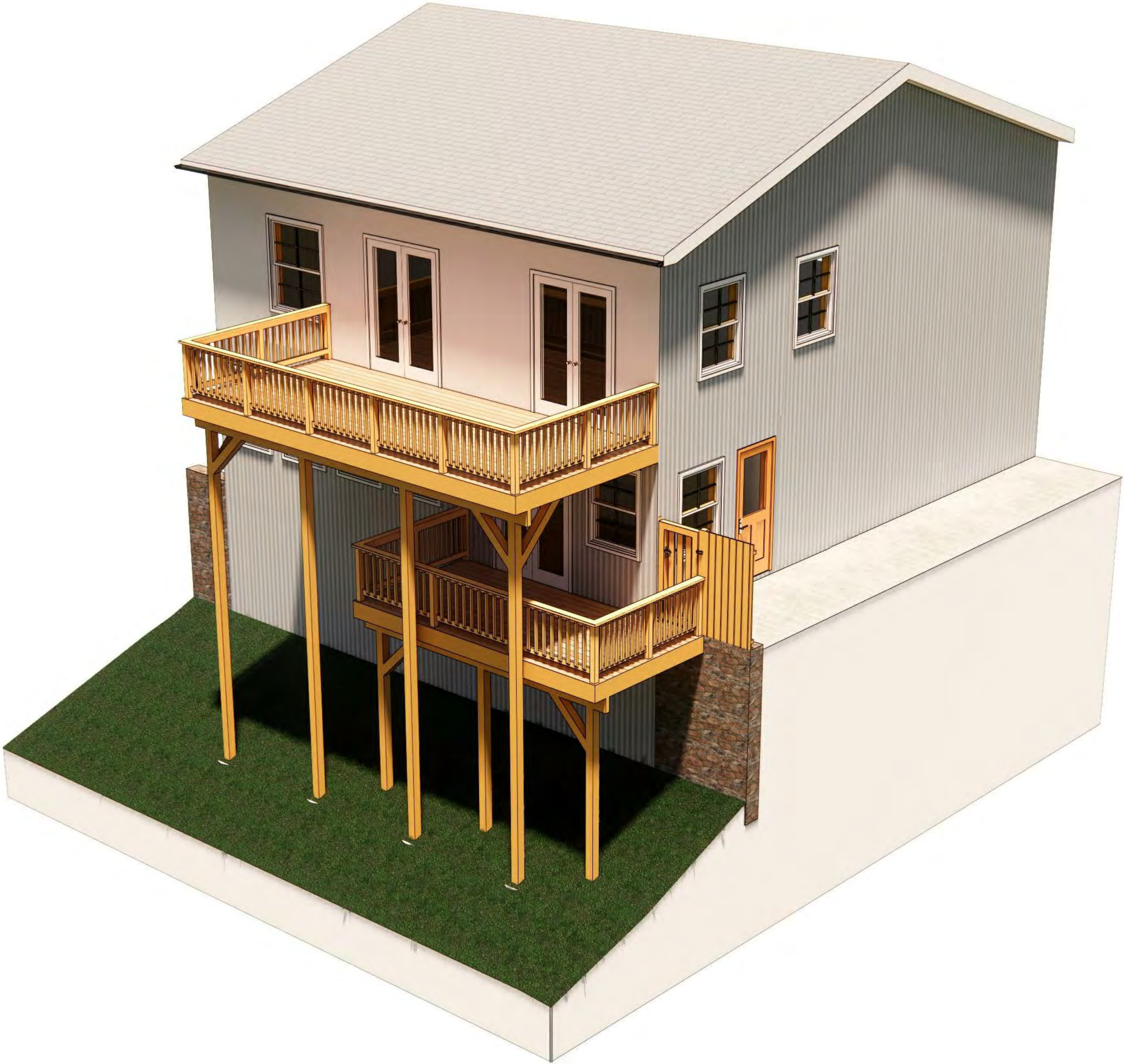
ELECTRICAL NOTES

1.
- DECKS SHALL HAVE A MINIMUM OF ONE ELECTRICAL OUTLET ALONG THE PERIMETER OF THE DECK AND WITHIN 6.5 FEET OF THE FLOOR.
2.
- RECEPTACLES INSTALLED OUTDOOR SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL
3.
- STAIRWAY SHALL HAVE A LIGHT SOURCE THAT ILLUMINATES ALL STAIRS. LIGHTS SHALL BE OPERATED FROM INTERIOR SWITCHES, MOTION DETECTORS OR TIMED SWITCHES. LOW VOLTAGE LIGHTING AT EACH STAIR TREAD IS PERMISSIBLE.

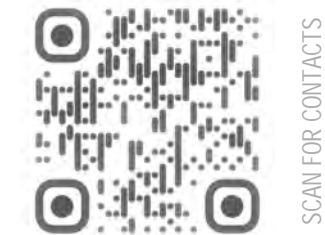


ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AG	ABOVE GRADE
ALT.	ALTERNATE
B.O.	BOTTOM OF
BTM.	BOTTOM
CL	CENTER LINE
CL	CLOSET
CLG	CEILING
CONT.	CONTINUOUS
CONC.	CONCRETE
D.J.	DOUBLE JOIST
D.S.	DOWN SPOUT
D/W	DISHWASHER
DBL	DOUBLE
DEMO.	DEMOLITION
DIA.	DIAMETER
DIM.	DIMENSION
D.L.	DEAD LOAD
DN.	DOWN
EA.	EACH
E.J.	EXPANSION JOINT
EQ	EQUAL
EQUIP.	EQUIPMENT
E.W.	EACH WAY
EX.	EXISTING
GA.	GAUGE
GALV.	GALVANIZED
G.C.	GENERAL CONTRACTOR
GFCI.	GROUND FAULT CIRCUIT INTERRUPT
GYP.	GYPSUM
HB	HOSE BIB
HOR	HORIZONTAL
HR	HOOR
HVAC	HEATING, VENTING AND AIR CONDITIONING
LF	LINEAR FEET
MAX	MAXIMUM
MECH	MECHANICAL
MFG	MANUFACTURING
MIN	MINIMUM
N.T.S.	NOT TO SCALE
N.F.C.	NOT FOR CONSTRUCTION
O.C.	ON CENTER
PL	PROPERTY LINE
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
QTY.	QUANTITY
R.O.W.	RIGHT OF WAY
REV.	REVISION
SIM.	SIMILAR
SQ.FT.	SQUARE FEET
SQ. IN.	SQUARE INCHES
T&G	TONGUE AND GROOVE
T.O.	TOP OF
TYP.	TYPICAL
V.I.F.	VERIFY IN FIELD
WD.	WOOD



RIGHT
ENGINEERING



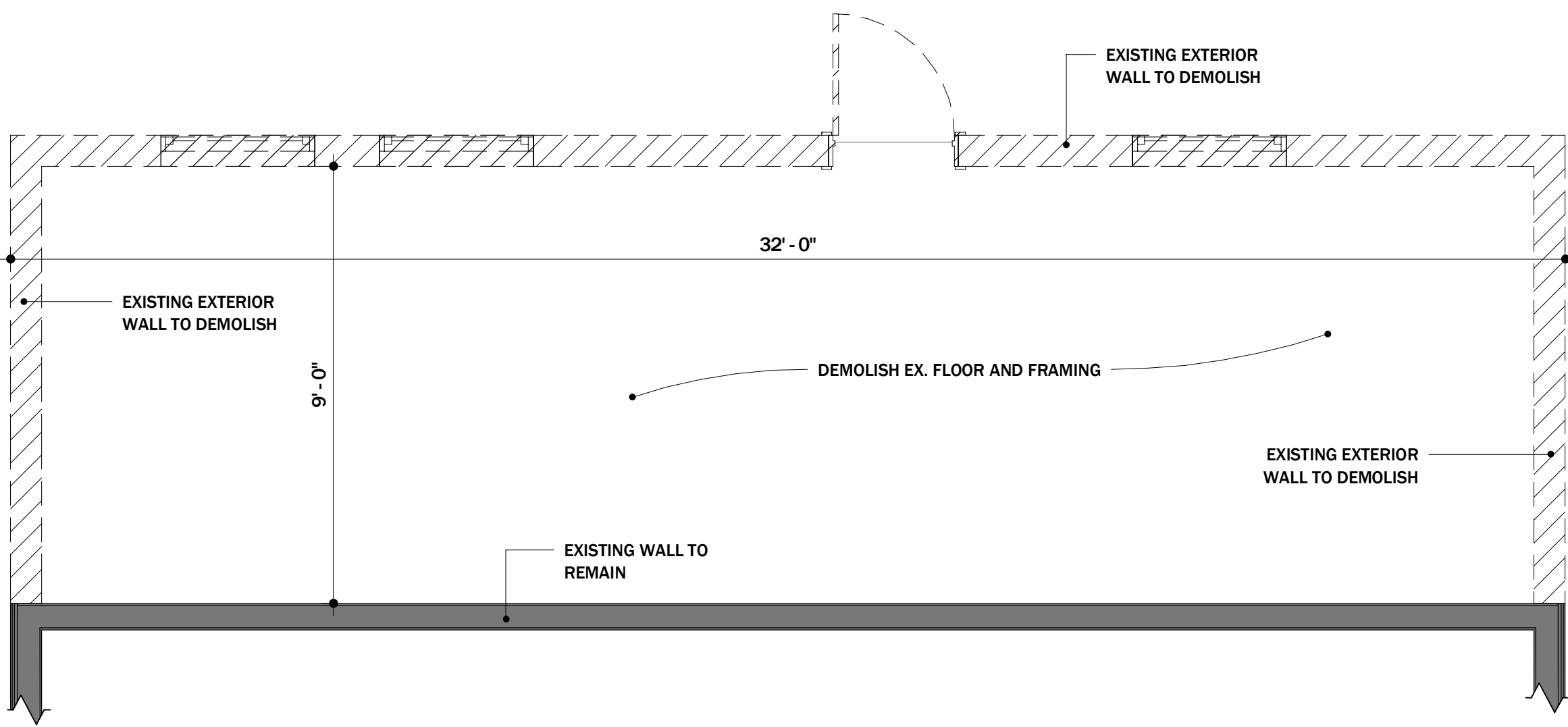
PROJECT:	
DECK ADDITION	
804 Hampshire Ave, Jerome, AZ 86331	
REVISION	DATE
ISSUE DATE:	11/13/21

GENERAL
NOTES

SCALE: As indicated

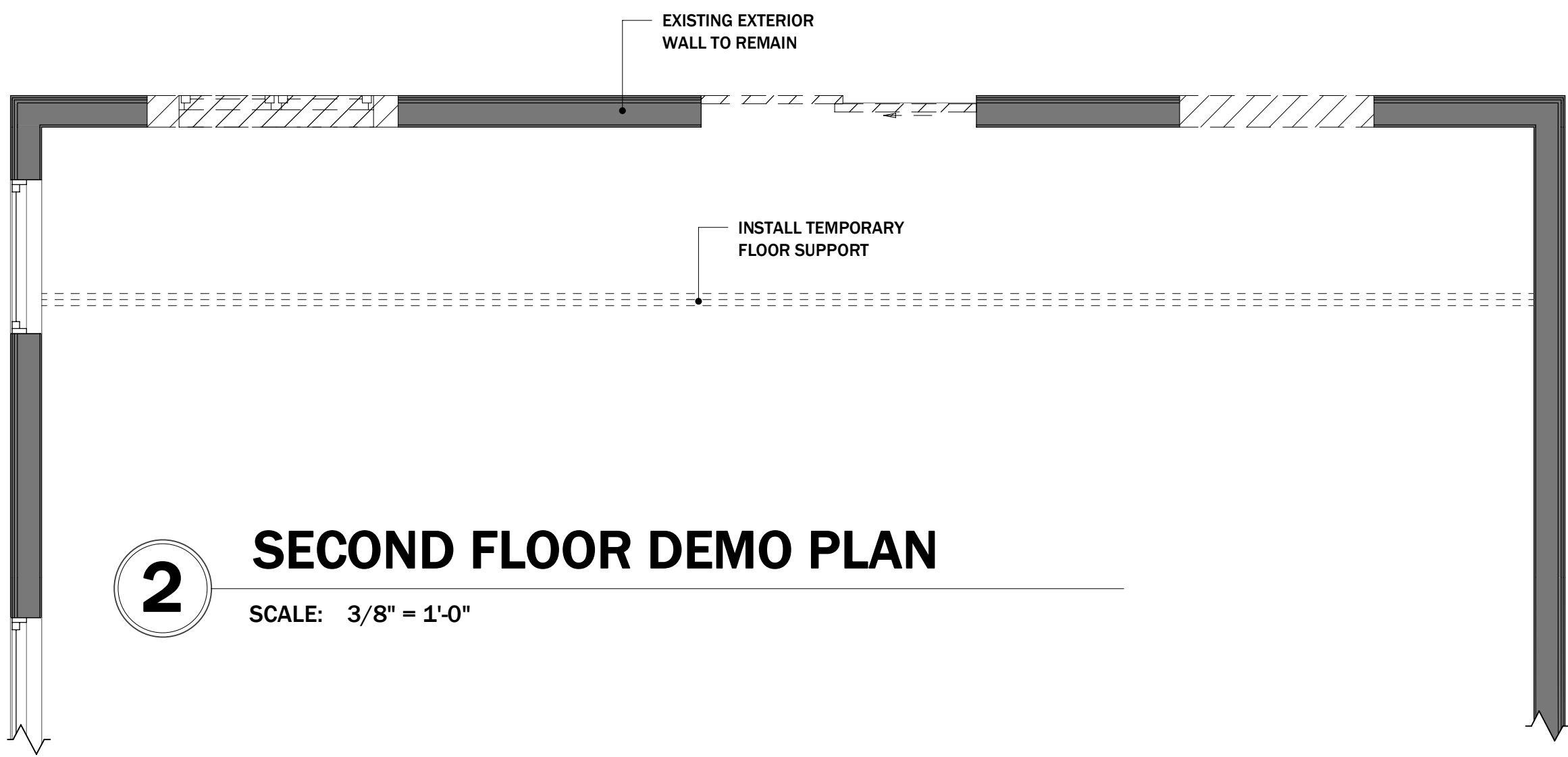
A000

SHEET SIZE 36" X 24"



1 FIRST FLOOR DEMO PLAN

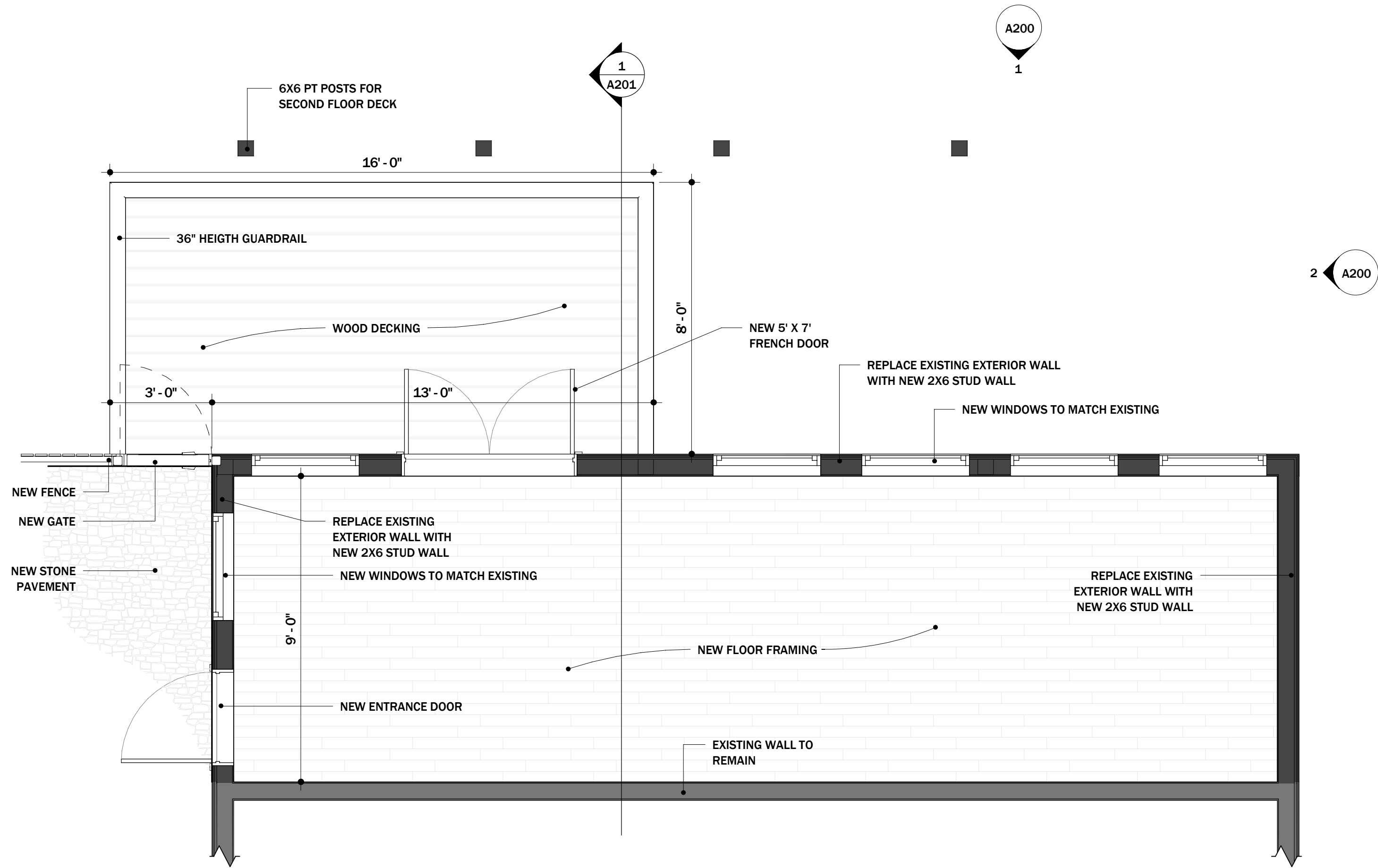
SCALE: 3/8" = 1'-0"



2 SECOND FLOOR DEMO PLAN

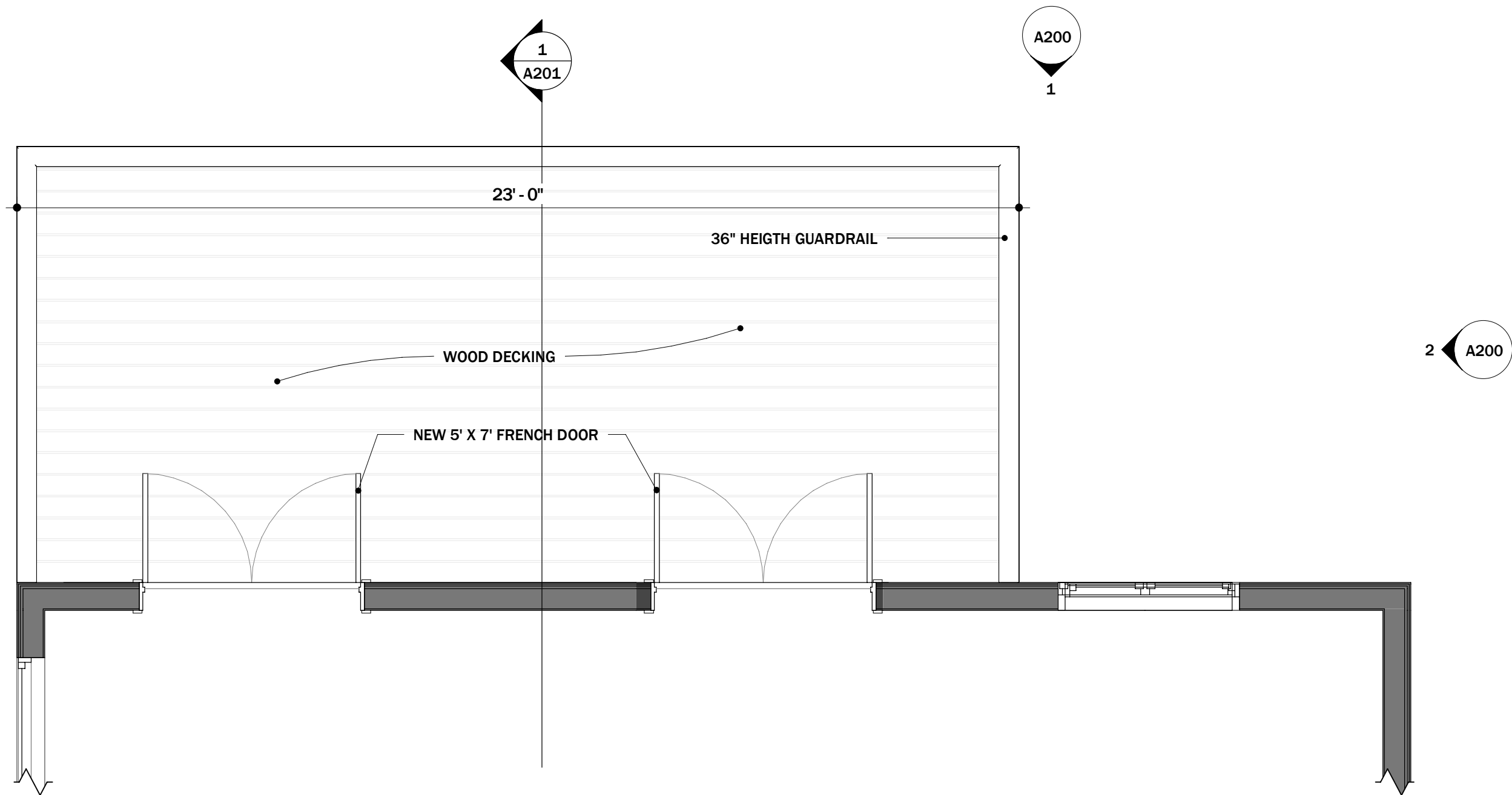
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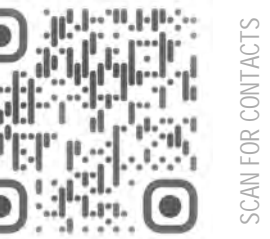
1 PROPOSED FIRST FLOOR PLAN

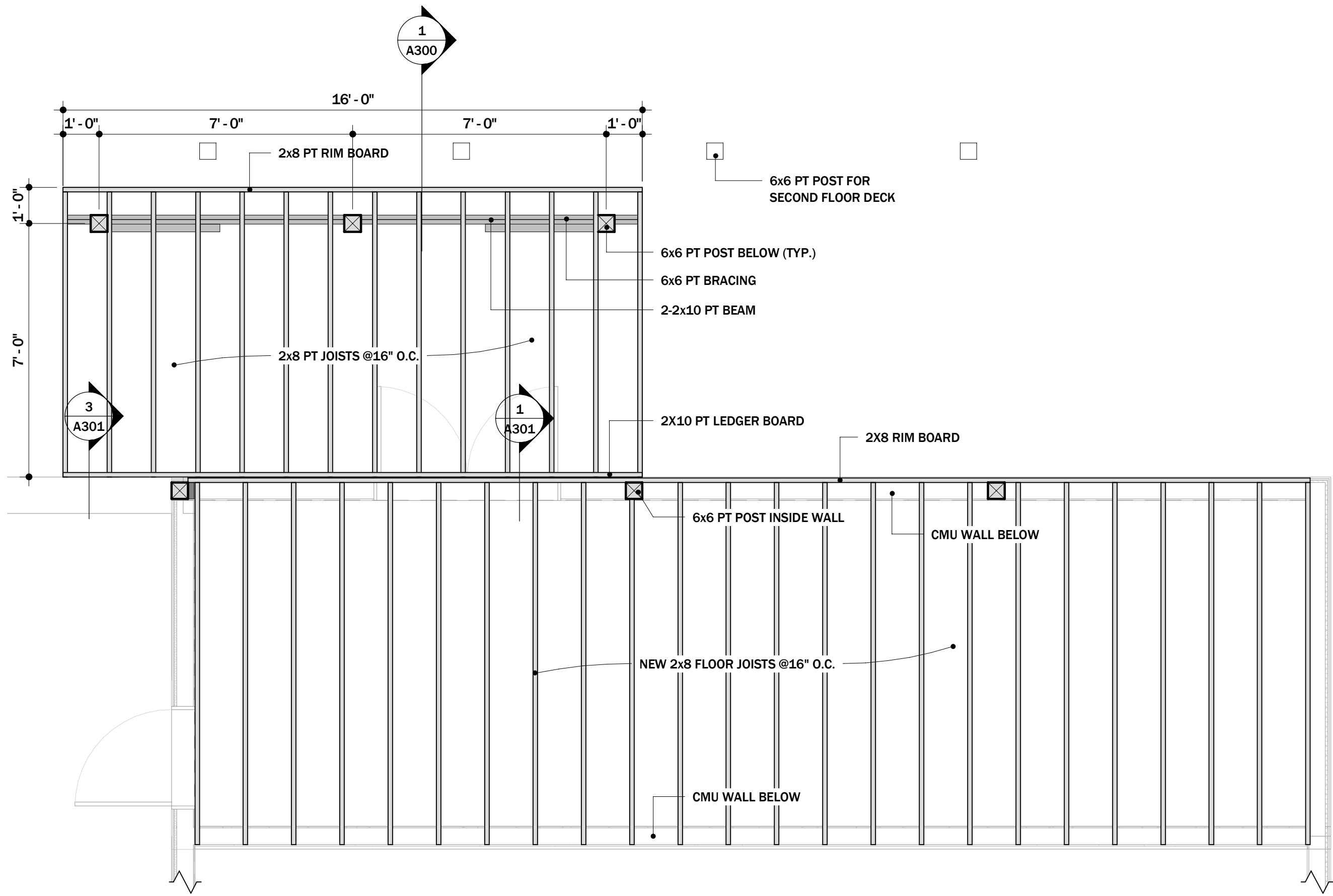
SCALE: 3/8" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN

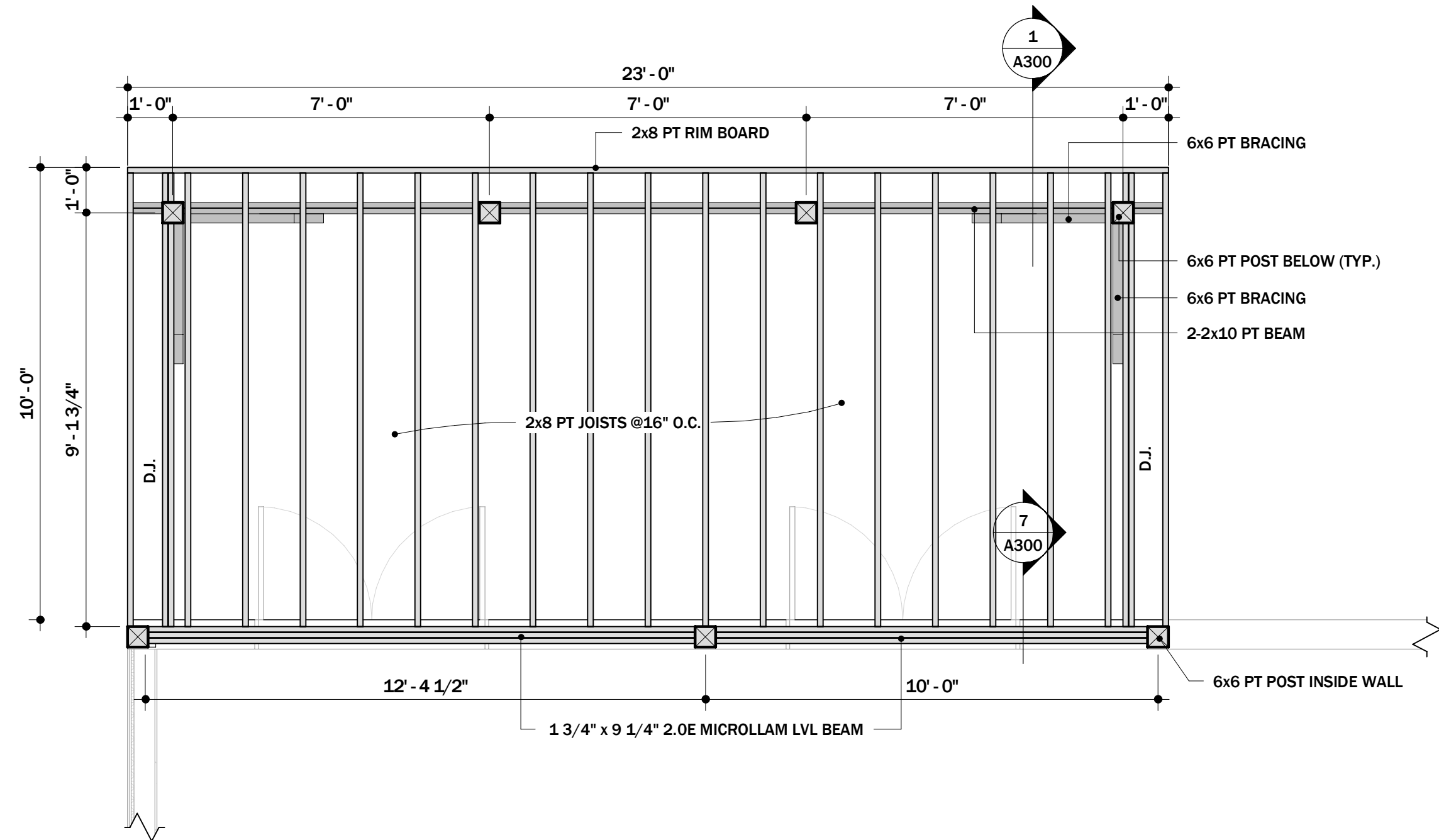
SCALE: 3/8" = 1'-0"





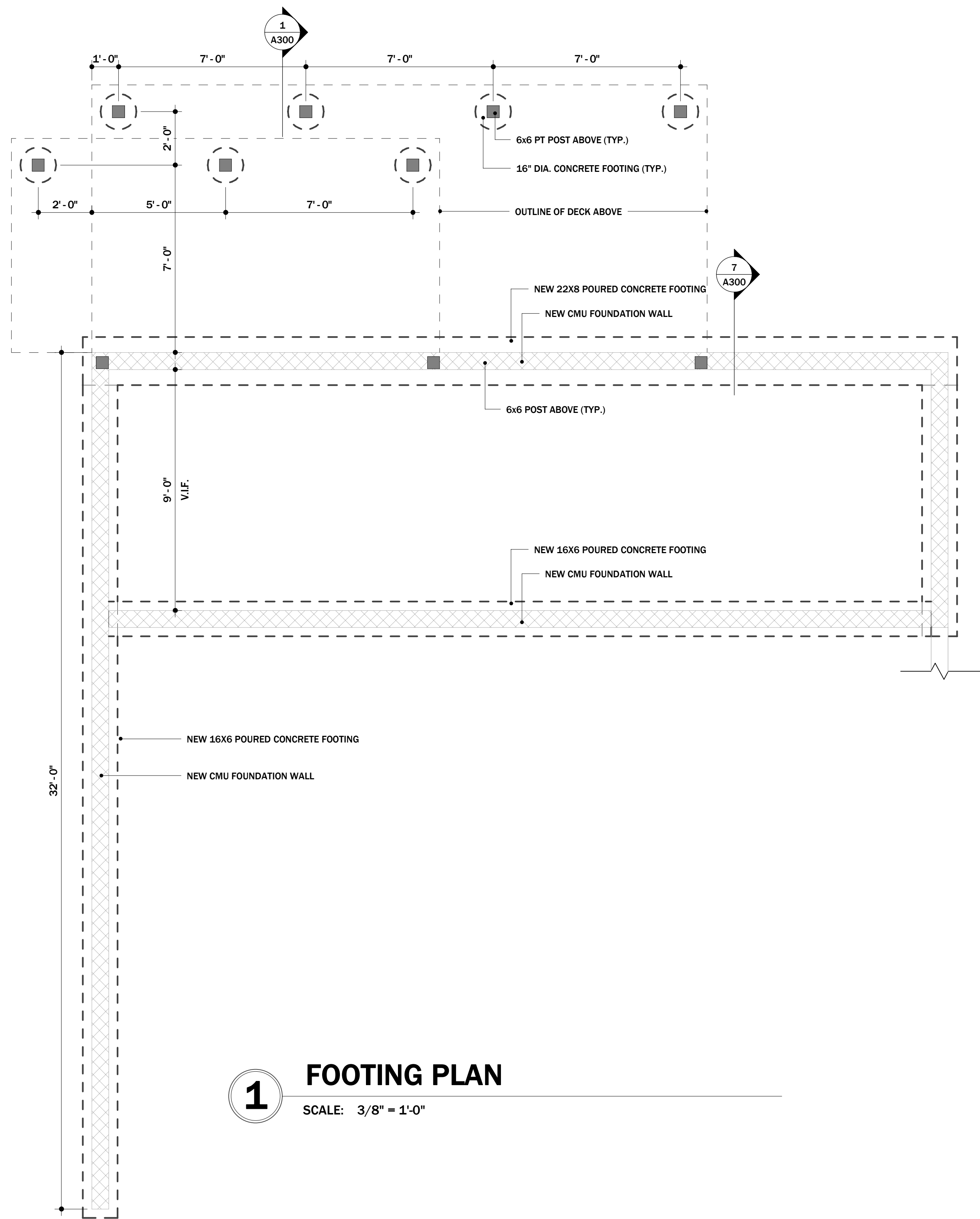
2 FIRST FLOOR FRAMING PLAN

SCALE: 3/8" = 1'-0"



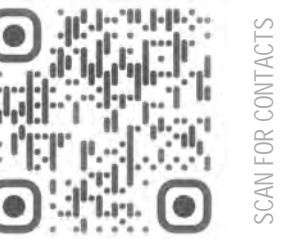
3 SECOND FLOOR FRAMING PLAN

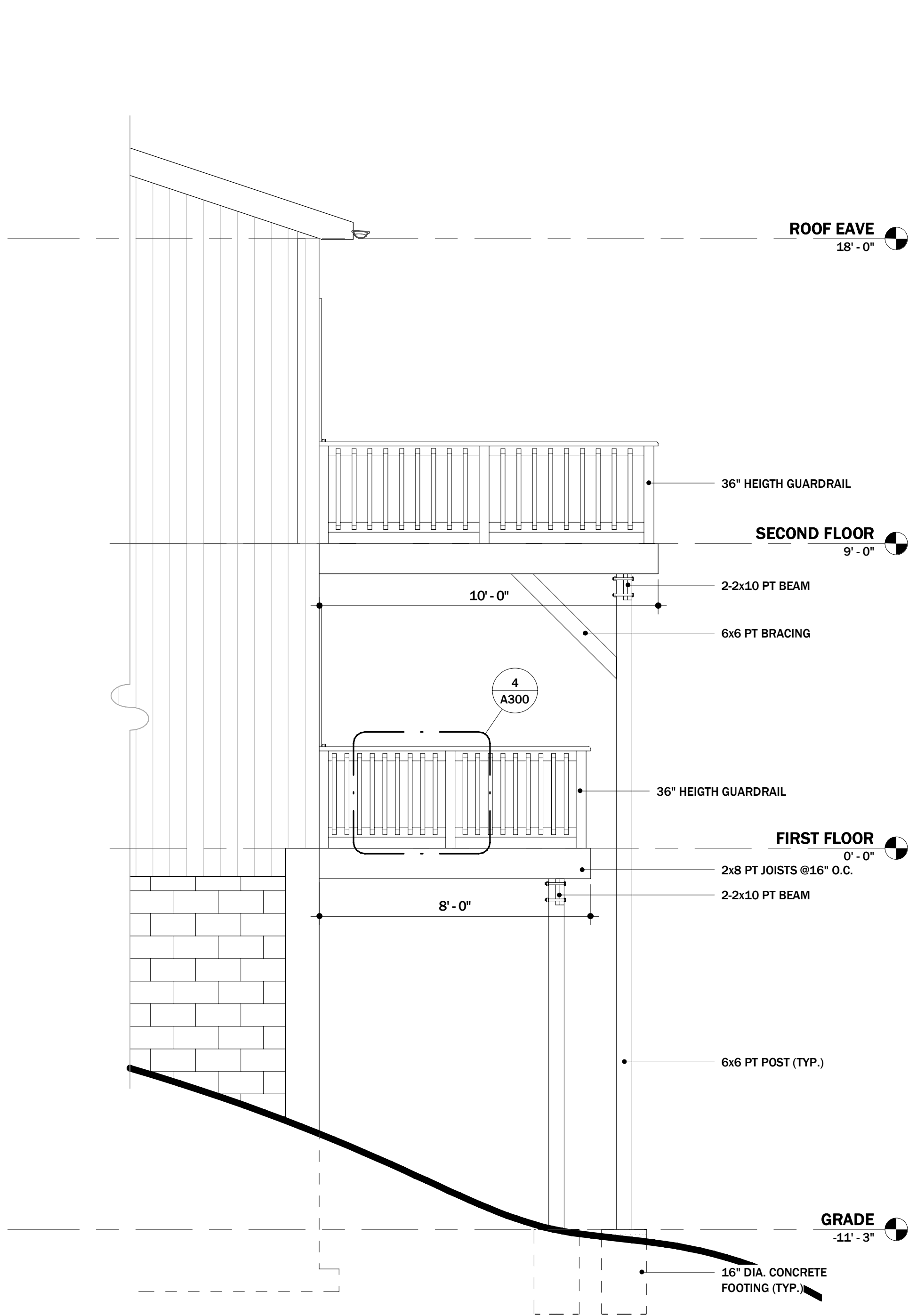
SCALE: 3/8" = 1'-0"



1 FOOTING PLAN

SCALE: 3/8" = 1'-0"





2 **SIDE ELEVATION**
SCALE: 3/8" = 1'-0"



1 **REAR ELEVATION**
SCALE: 3/8" = 1'-0"

RIGHT
ENGINEERING

(332) 209-3943
RIGHT-ENGINEERING.COM



SCAN FOR CONTACTS

PROJECT:
DECK ADDITION

804 Hampshire Ave,
Jerome, AZ 86331

REVISION DATE

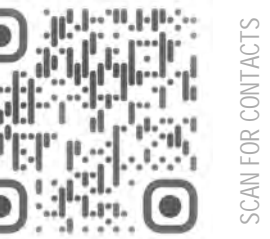
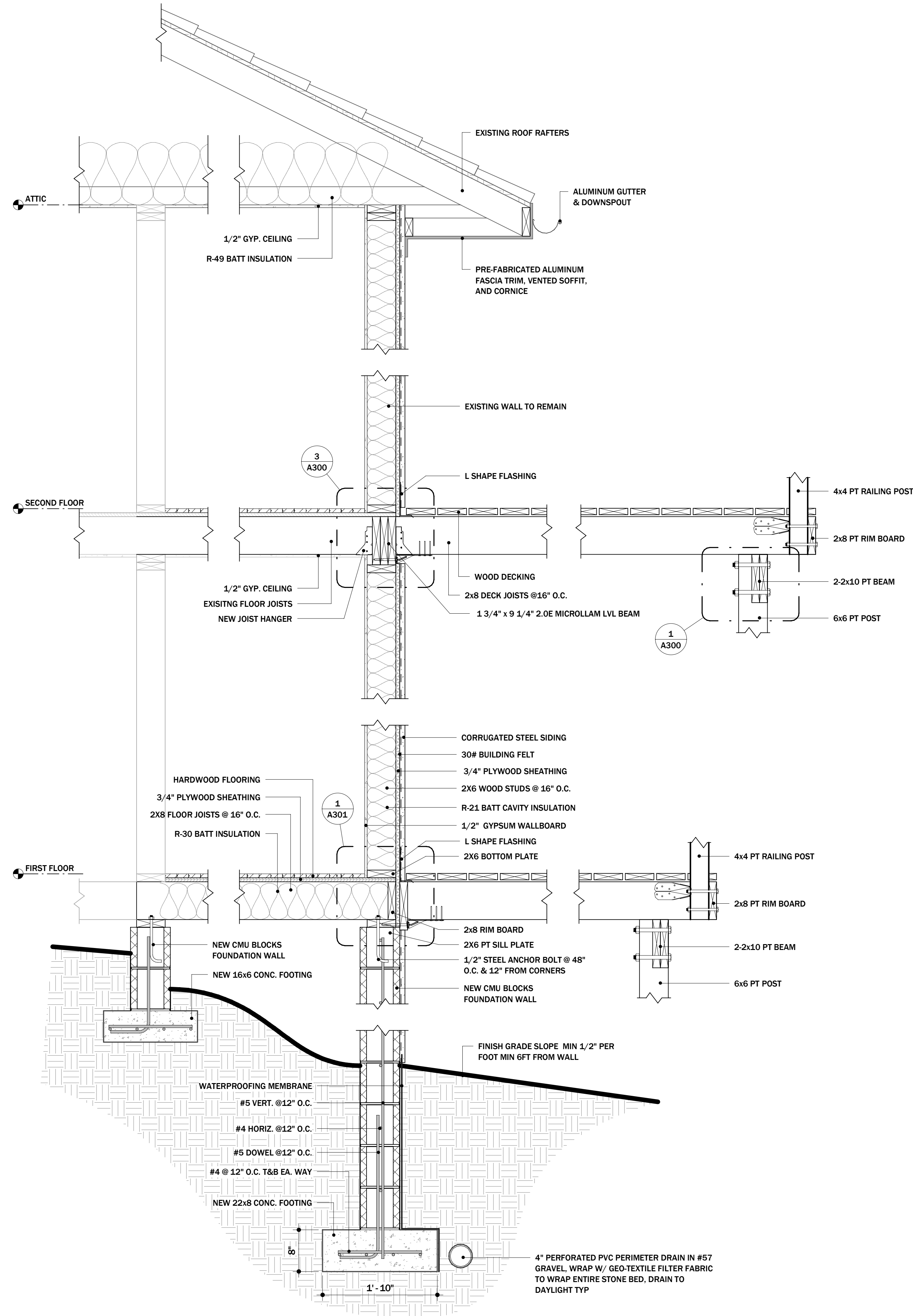
ISSUE DATE: 11/13/21

ELEVATIONS

SCALE: 3/8" = 1'-0"

A200

SHEET SIZE 36" X 24"



PROJECT:
**DECK
ADDITION**

804 Hampshire Ave,
Jerome, AZ 86331

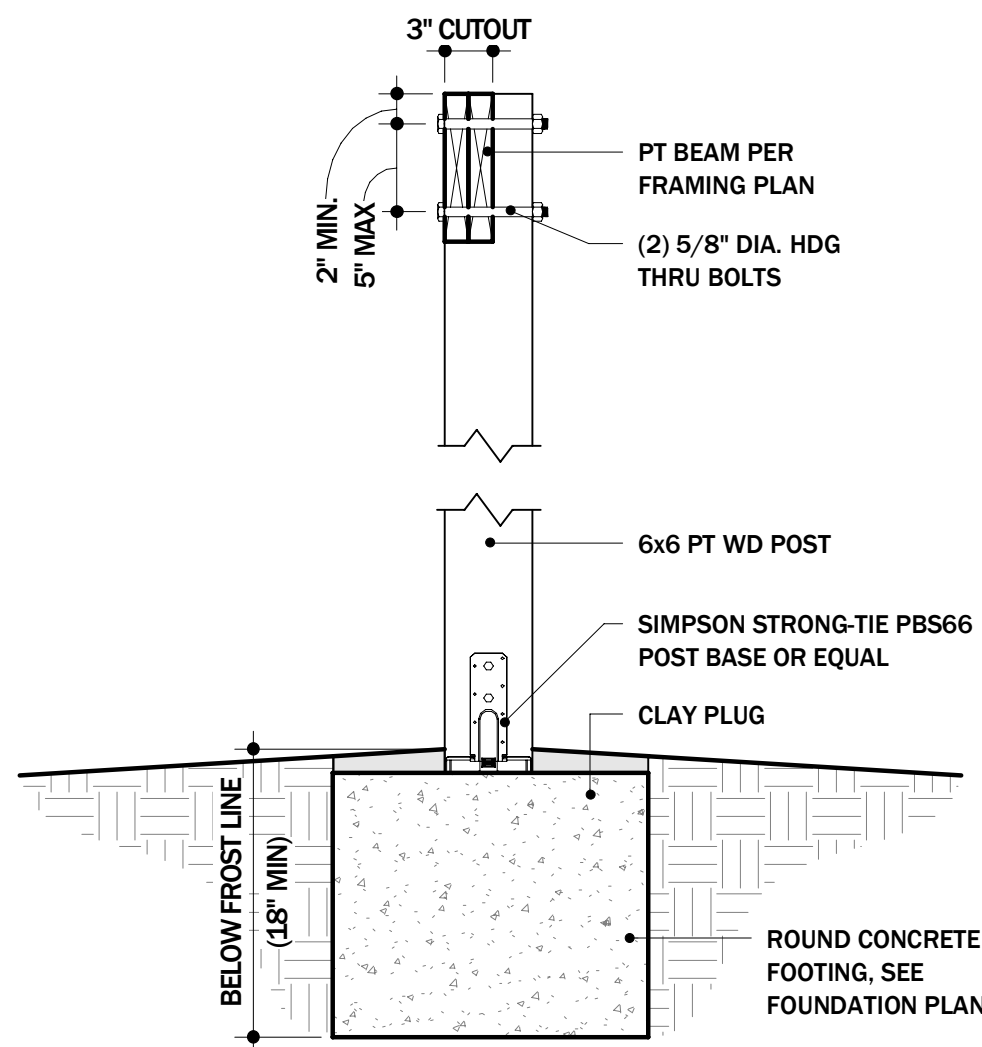
REVISION DATE

ISSUE DATE: **11/13/21**

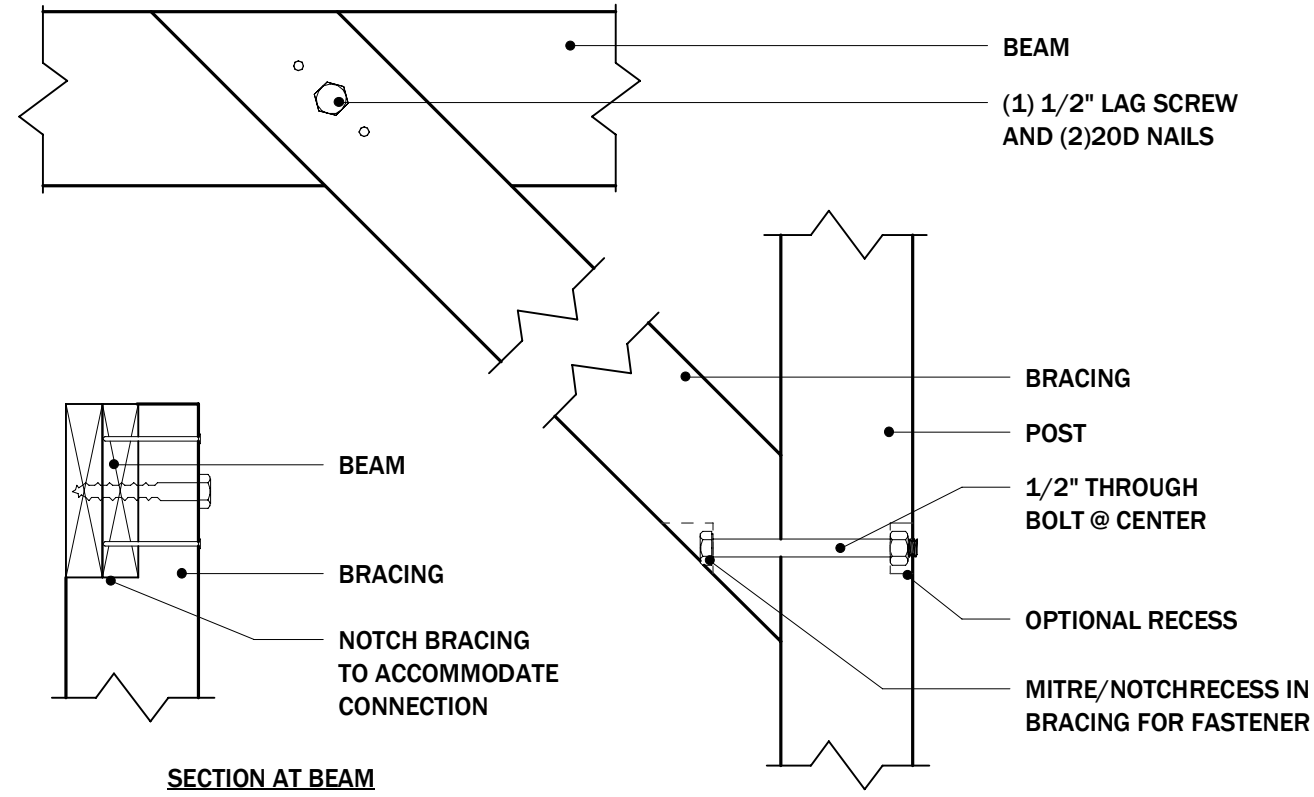
SECTION

SCALE: **1" = 1'-0"**

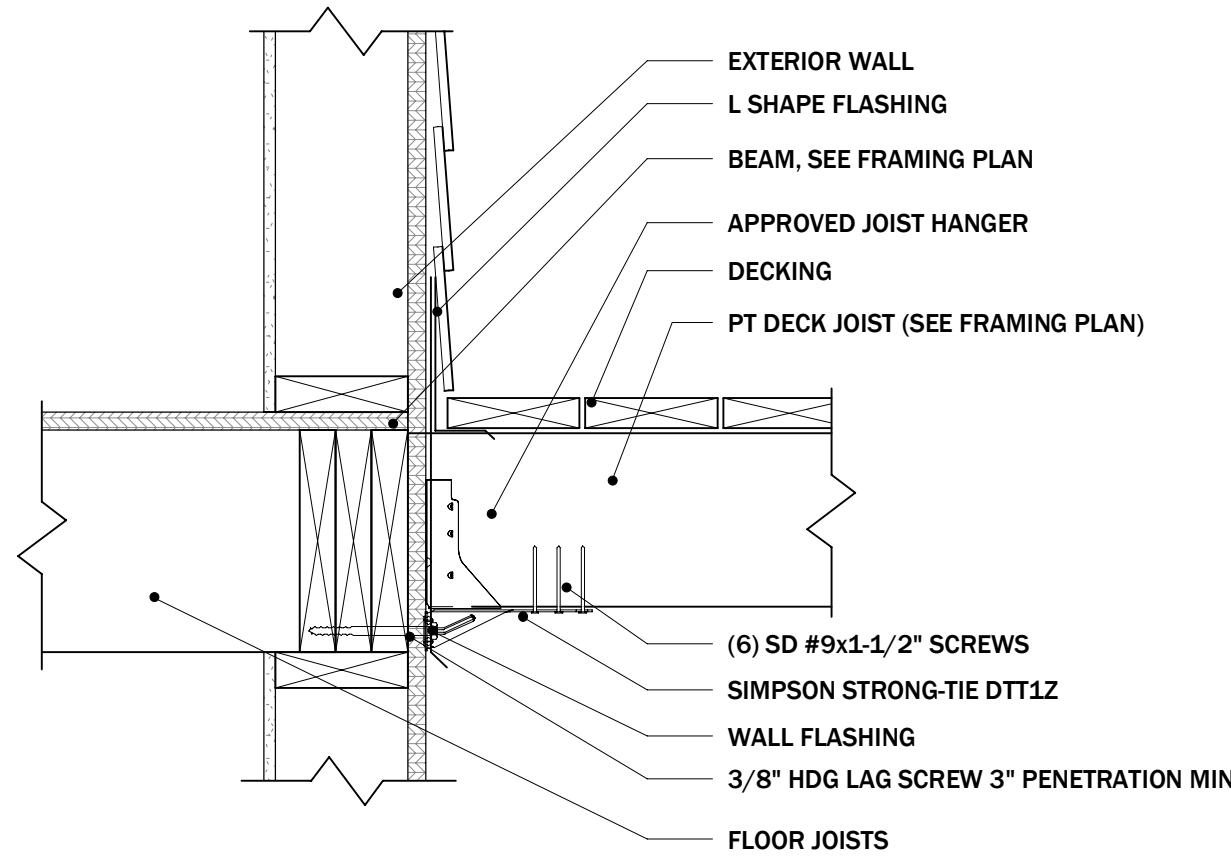
A201



1 POST CONNECTION DETAIL
SCALE: NTS

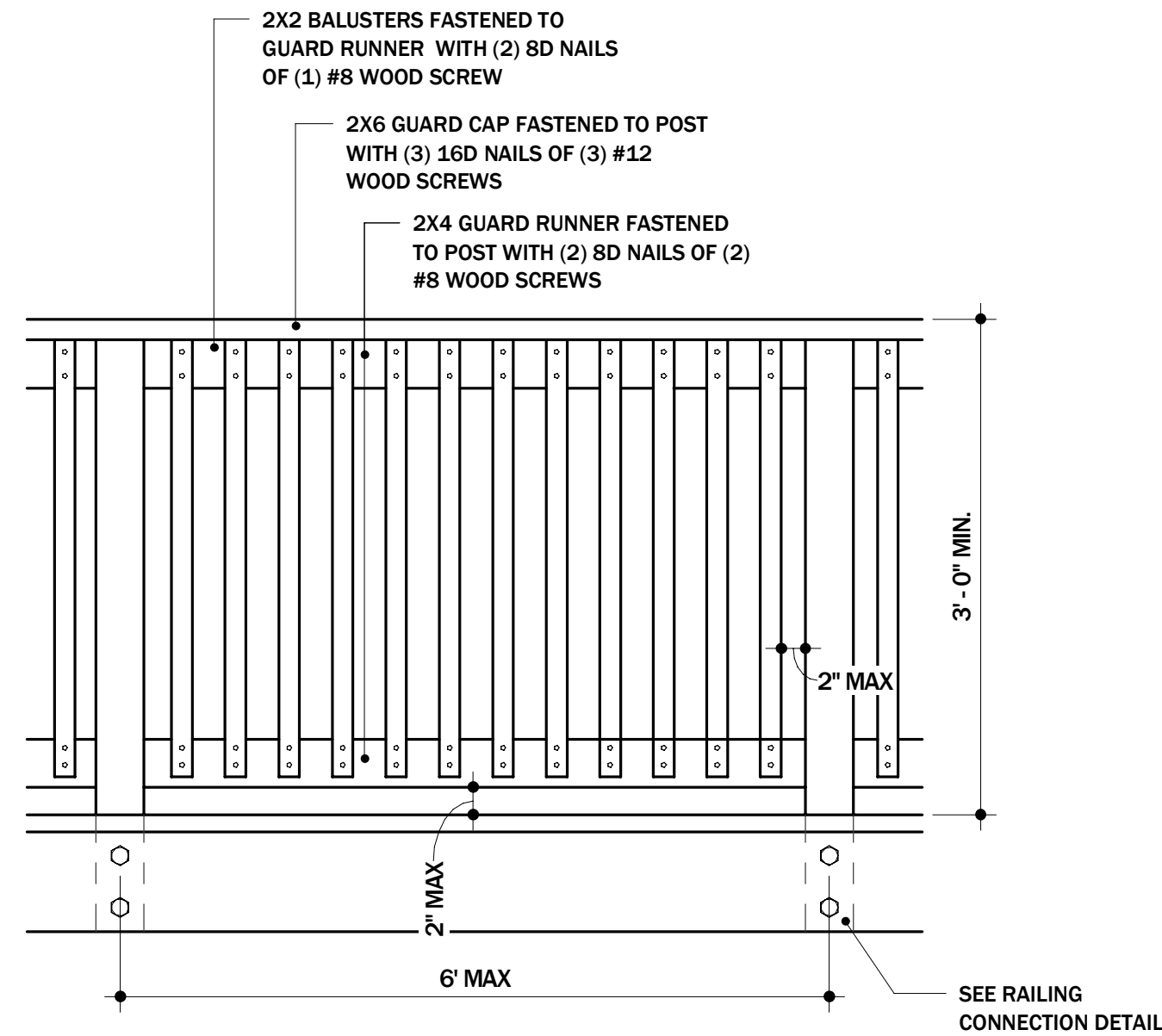


2 KNEE BRACING CONNECTION
SCALE: NTS

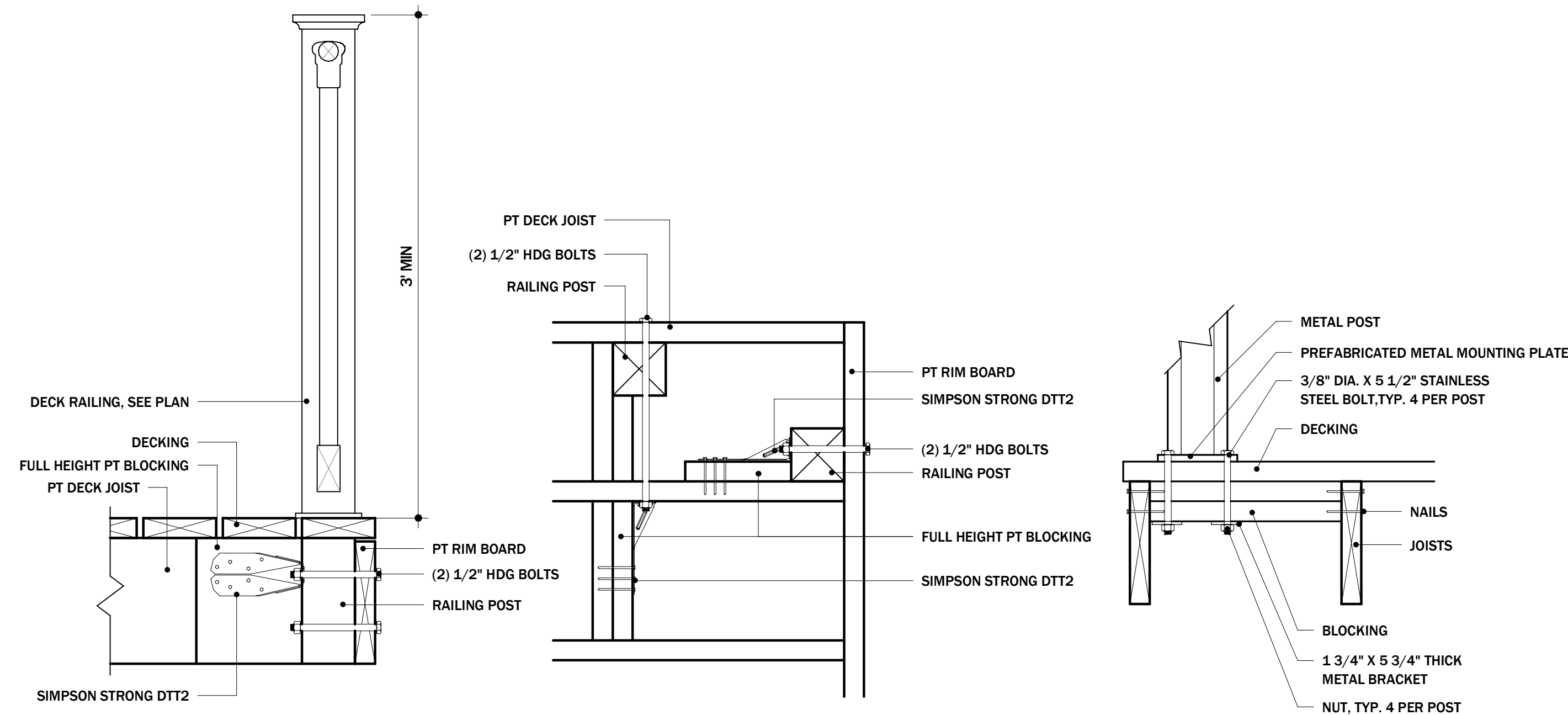


- NOTES:
1. HOLD DOWN DEVICES DTT1Z SHALL BE INSTALLED AT 4 LOCATIONS, EVENLY DISTRIBUTED ALONG DECK AND ONE WITHIN 24" OF EACH END OF THE DECK.
2. ATTACHMENTS TO EXTERIOR VENEERS, HOLLOW MASONRY, AND TO CANTILEVERED FLOOR OVERHANGS OR BAY WINDOWS ARE PROHIBITED. IN SUCH CASES, FREE-STANDING DECK OR ENGINEERING DESIGN IS REQUIRED.

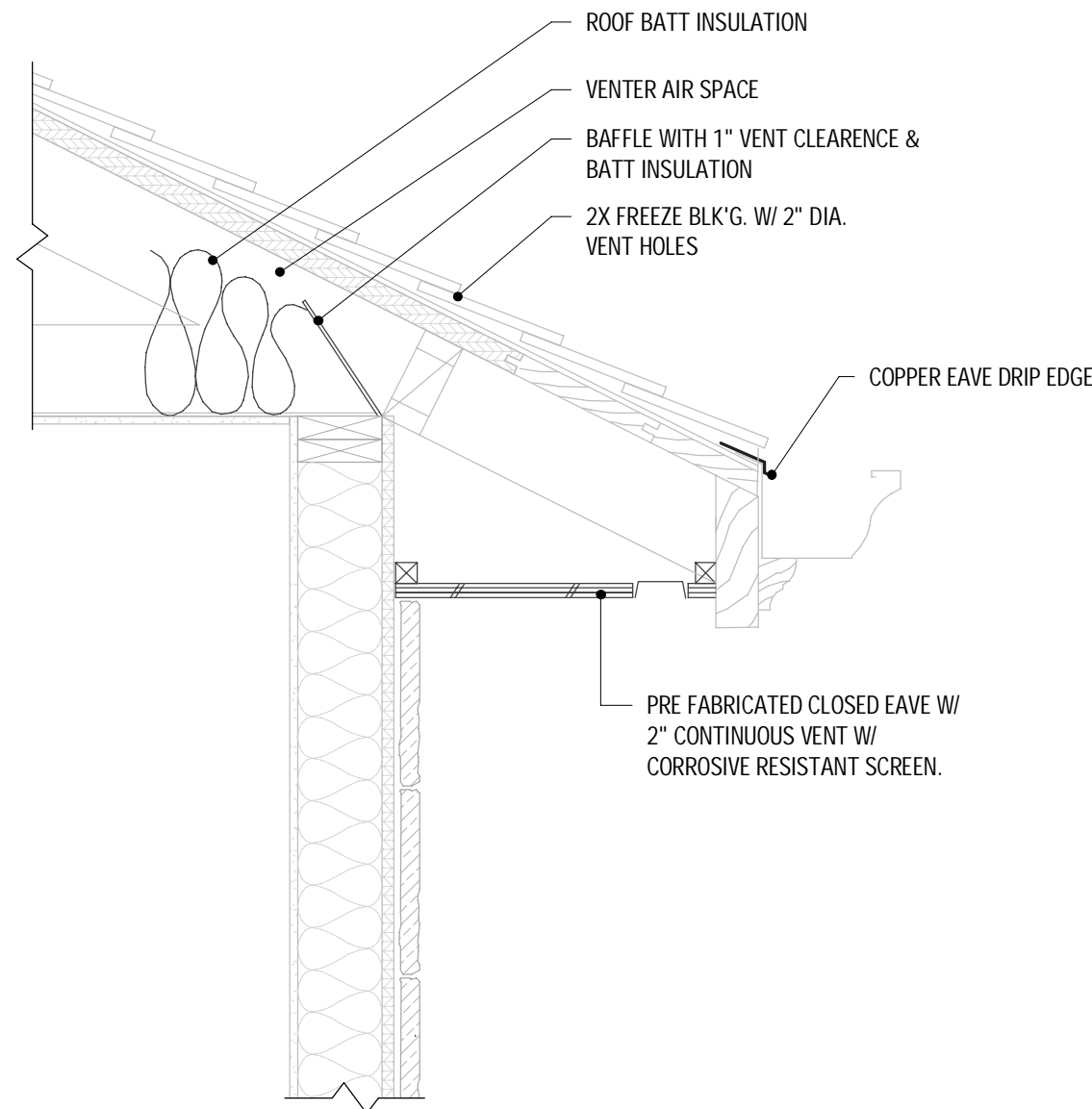
3 DECK CONNECTION
SCALE: NTS



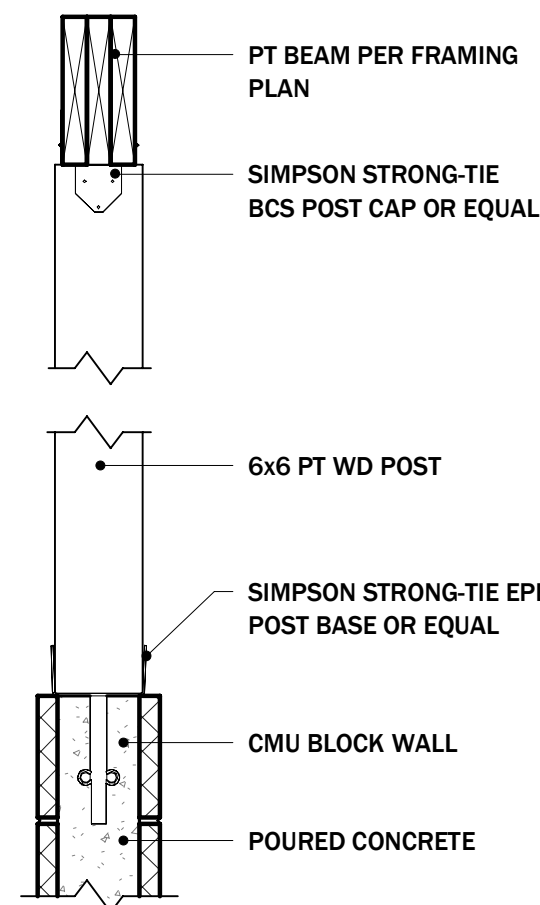
4 TYPICAL WOOD RAILING
SCALE: NTS



5 RAILING CONNECTION DETAIL
SCALE: NTS

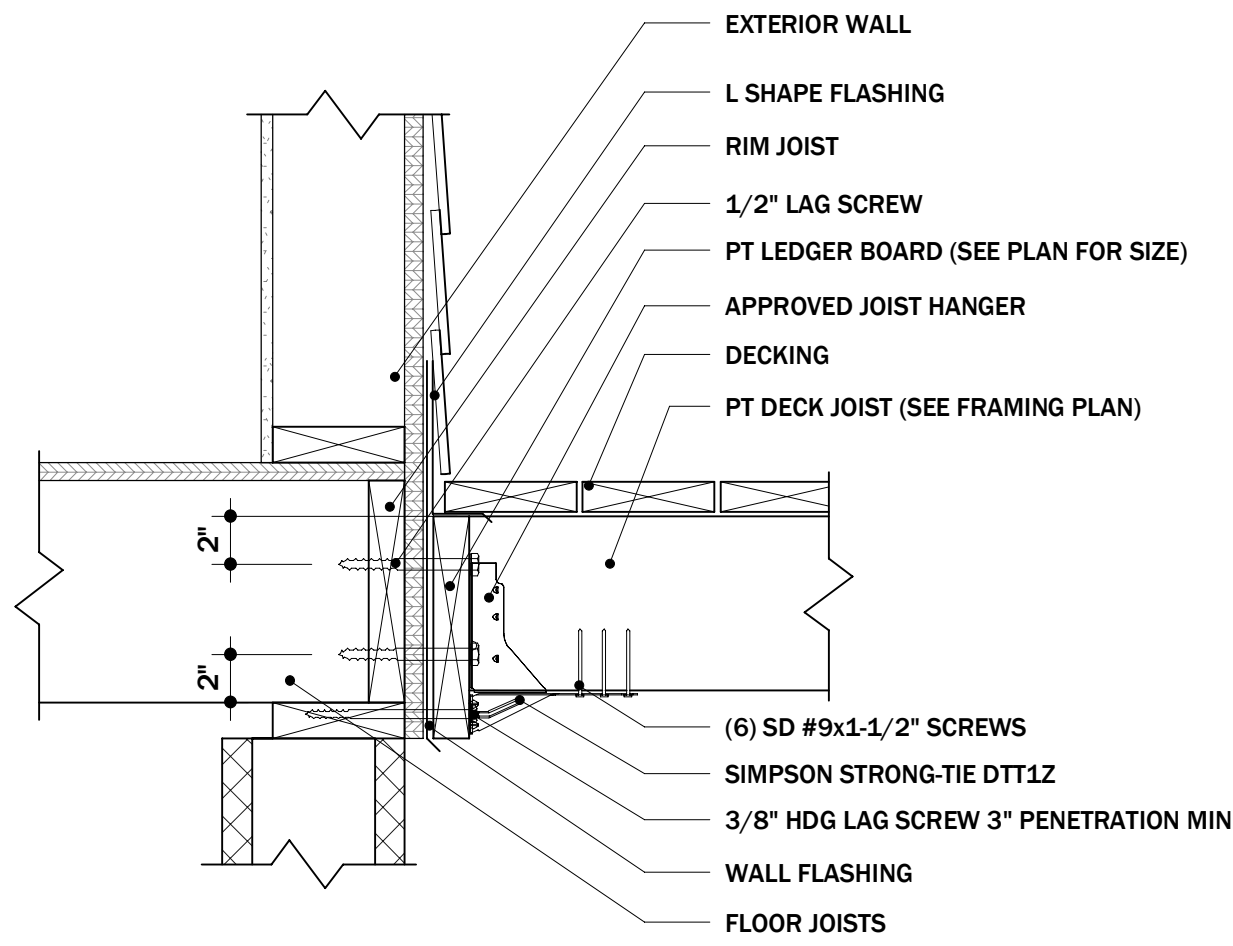


6 EAVE DETAIL
SCALE: NTS



7 POST CONNECTION DETAIL
SCALE: NTS

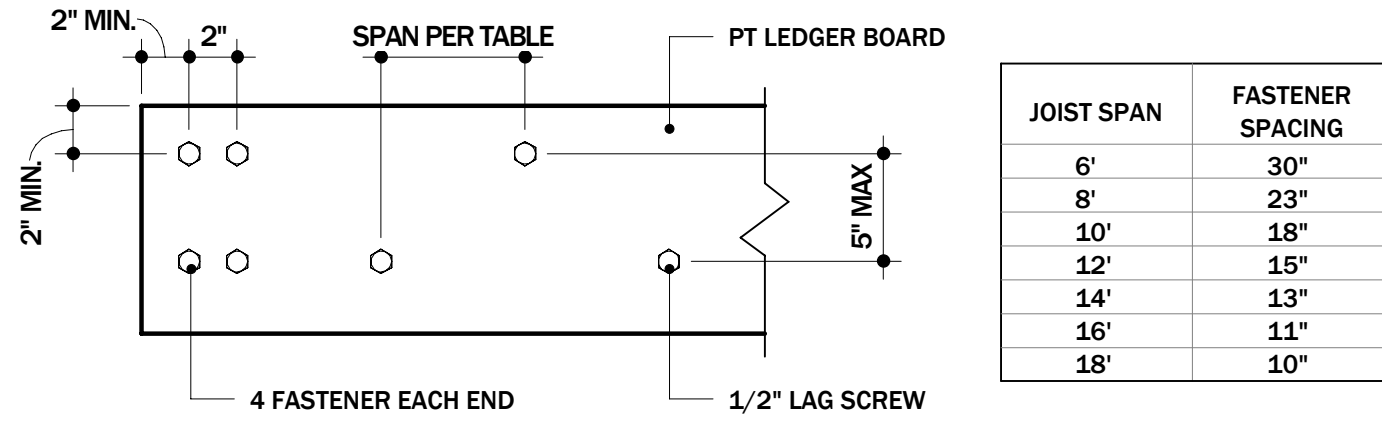




- NOTES:
- HOLD DOWN DEVICES DTT1Z SHALL BE INSTALLED AT 4 LOCATIONS, EVENLY DISTRIBUTED ALONG DECK AND ONE WITHIN 24" OF EACH END OF THE LEDGER.
 - ATTACHMENTS TO EXTERIOR VENEERS, HOLLOW MASONRY, AND TO CANTILEVERED FLOOR OVERHANGS OR BAY WINDOWS ARE PROHIBITED. IN SUCH CASES, FREE-STANDING DECK OR ENGINEERING DESIGN IS REQUIRED.

1 LEDGER BOARD CONNECTION

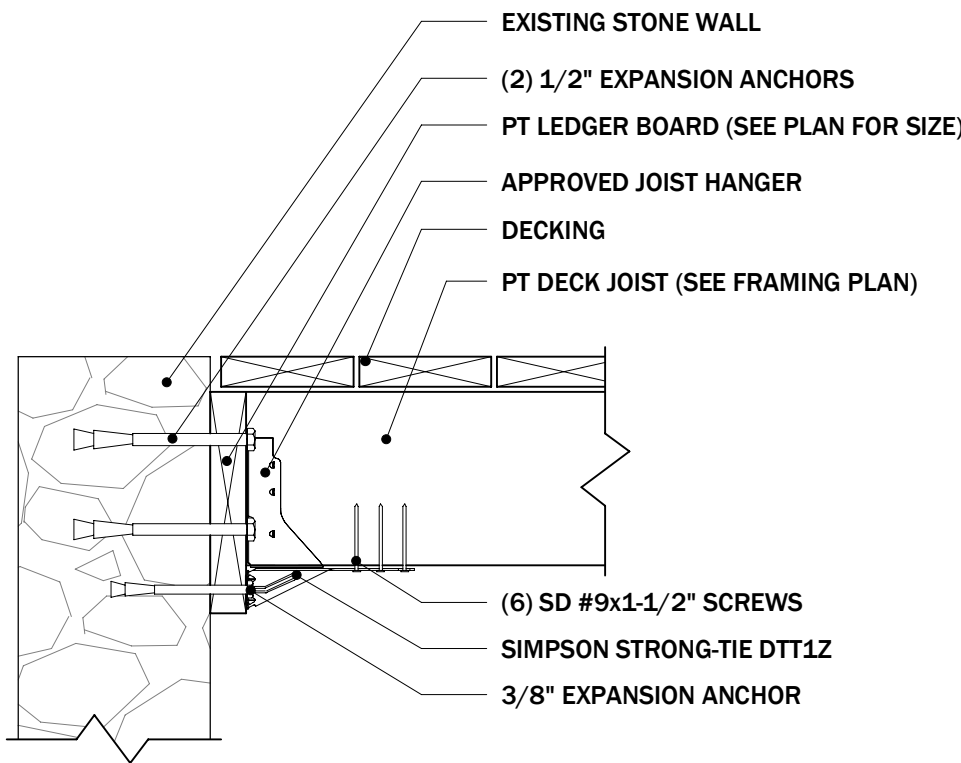
SCALE: NTS



JOIST SPAN	FASTENER SPACING
6'	30"
8'	23"
10'	18"
12'	15"
14'	13"
16'	11"
18'	10"

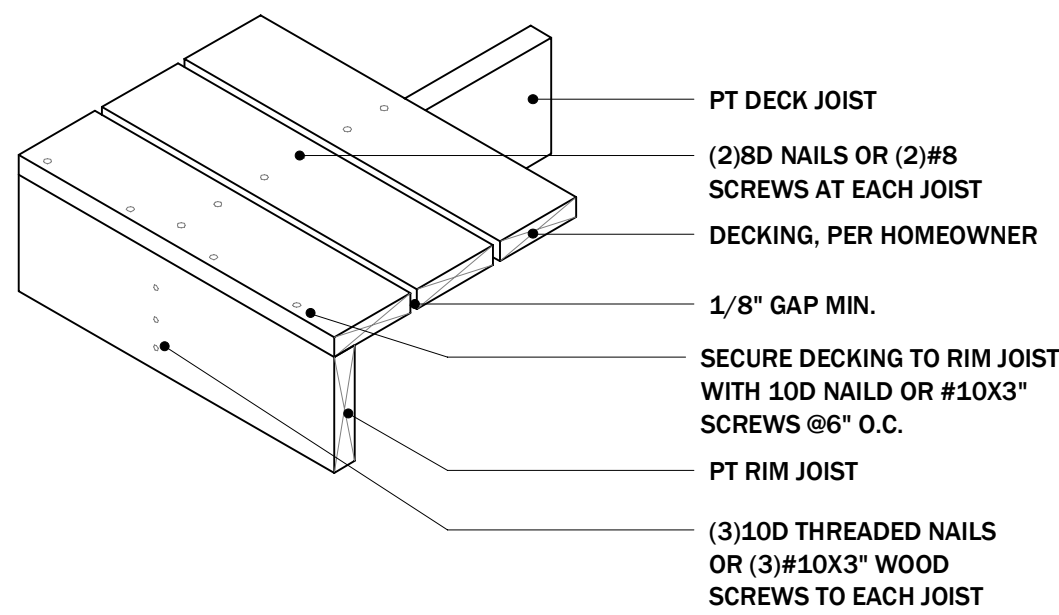
2 LEDGER BOARD FASTENERS

SCALE: NTS



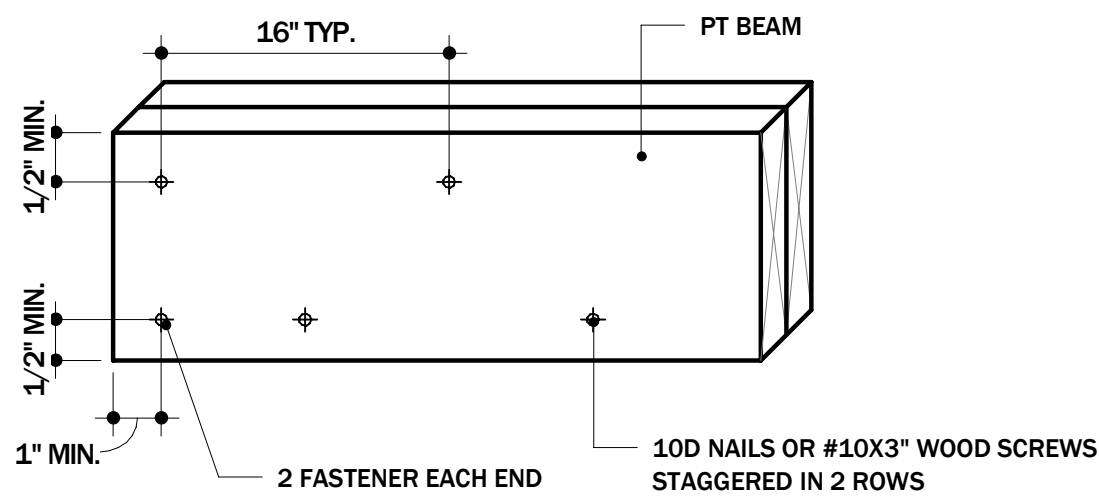
3 LEDGER BOARD CONNECTION

SCALE: NTS



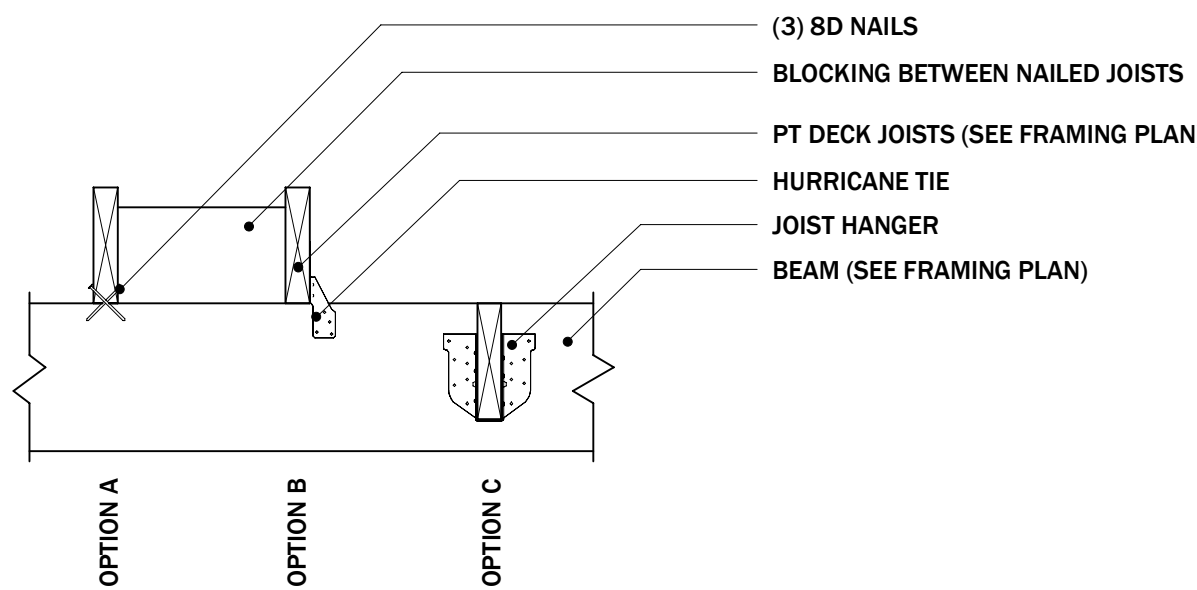
4 DECKING FASTENERS

SCALE: NTS



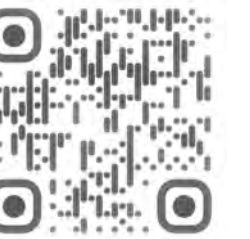
5 BEAM PLY FASTENING

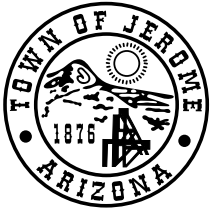
SCALE: NTS



6 JOIST TO BEAM CONNECTION

SCALE: NTS





TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331
(928) 634-7943

DRB RESOLUTION NO. 2021-25 APPROVING DESIGN REVIEW FOR VARIOUS IMPROVEMENTS AT 804 HAMPSHIRE AVENUE

WHEREAS, the Town of Jerome has received an application from Thomas Lopez for Design Review and approval to make various improvements at 804 Hampshire Avenue (APN 401-07-128A and 401-07-127A) to include trim and front door color changes; deleting existing windows and adding new windows; granite cobblestone pavers; natural rock walls; iron gate; corrugated siding; a two-story deck, CMU block foundation, and rebuilding three walls on the first story; and

WHEREAS, the property is in the R1-5 zoning district; and

WHEREAS, the Design Review process is intended to promote and preserve Jerome's economic and environmental well-being and preserve its distinctive character, natural attractiveness, and overall architectural quality, all of which contribute substantially to its viability as a recreational and tourist center and its designation as a National Historic Landmark, and

WHEREAS, the Design Review Board has carefully reviewed the applicant's proposal in light of the criteria established in Section 304.H.1. and 2. of the Jerome Zoning Ordinance:

- **PATTERN** – The relationship of solids to voids in the facade of a building or structure shall be visually compatible with buildings, structures and places to which it is visually related.
- **ENTRANCES, PORCHES, DECKS AND PROJECTIONS** – The height, projection, supports, and relationship to streets and sidewalks, of entrances, porches, decks, awnings, canopies, and balconies of a building shall be visually compatible to the buildings, structures, and places to which it is visually related
- **MATERIALS, TEXTURE AND COLOR** – The materials, texture and color of the facade of a building or structure, shall be visually compatible with the predominant materials, textures, and color used in the building and structures to which it is visually related.
- **ARCHITECTURAL DETAILS** – Doors, windows, eaves, cornices, and other architectural details of a building or structure shall be visually compatible with buildings and structures to which it is visually related.
- **ACCESSORY FEATURES** – Fences, walkways, decks, stairways, lighting, antennae, and other manmade structures shall be visually compatible with buildings, structures, and places to which they are visually related.
- **LANDSCAPING** – Landscaping shall be visually compatible with the landscaping around the buildings, structures, and places to which it is visually related.
- **ARCHITECTURAL FEATURES AND DETAILS** – Original porches, decks, balconies, canopies, doors, windows, walls, fences, stairways, eaves, cornices, and other architectural features and details shall be preserved and retained where feasible. Necessary replacement of these features should be as near as possible to the original feature in design and material.
- **COLOR** – Exterior colors should be as near as possible to the original colors appropriate to the years during which the particular building or structure was built.

DRB RESOLUTION NO. 2020-10

- **MATERIALS AND TEXTURE** – The original exterior materials and texture shall be preserved and retained where feasible. Where contemporary materials are used, they should be as, near as possible to the original material and texture.

NOW, THEREFORE, BE IT RESOLVED by the Design Review Board of the Town of Jerome, Arizona, that the design for various improvements at 804 Hampshire Avenue, to include to include trim and front door color changes, deleting existing windows and adding new windows, granite cobblestone pavers, natural rock walls, iron gate, corrugated siding, a two-story deck, CMU block foundation, and rebuilding three walls on the first story is hereby approved, subject to the following conditions:

1. **Expiration of Approval** – This approval shall become null and void if a building permit is not issued within six (6) months of final Design Review Board approval of this application. If necessary, the applicant may request an extension by the approval body, if the extension is submitted prior to approval expiration.
2. **Appeal** – Any applicant who is aggrieved by the Design Review Board decision may petition the Mayor or Council for a review within thirty (30) days of the decision. Questions of aesthetics or design standards are not appealable to the Mayor and Council but may be presented to a Court of Record within thirty (30) days of the decision. Additionally, if in the opinion of the Zoning Administrator a decision is not in conformance with the Zoning Code or Comprehensive plan, the Zoning Administrator may request a review by the Mayor and Council within thirty (30) days. By specific motion during an official meeting, the Mayor and Council may refuse to consider a request for review brought by the Zoning Administrator. Finally, the Mayor and Council shall maintain the right to review any and all decisions of the Design Review Board.

ADOPTED AND APPROVED by a majority vote of the Design Review Board on the 6th day of December 2021.

ATTEST:

APPROVED:

Rosa Cays, Deputy Town Clerk

Chairman Tyler Christensen