



TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA (928) 634-7943

Regular Meeting of the Town of Jerome

DESIGN REVIEW BOARD

Tuesday, July 6, 2021, 6:00 pm

Jerome Civic Center, 600 Clark Street, Jerome, AZ 86331

Pursuant to A.R.S. 38-431.02, notice is hereby given to the members of the Design Review Board and to the public that the Design Review Board will hold the above meeting in Council Chambers at Jerome Town Hall. Members of the Design Review Board will attend either in person or by telephone, video, or internet conferencing. The Design Review Board may recess the public meeting and convene in Executive Session for the purpose of discussion or consultation for legal advice with the Town Attorney, who may participate telephonically, regarding any item listed on this agenda pursuant to A.R.S. § 38-431.03 (A)(3).

Item 1: Call to order

Item 2: Petitions from the public – Pursuant to A.R.S. § 38-431.01(H), public comment is permitted on matters not listed on the agenda, but the subject matter must be within the jurisdiction of the board. All comments are subject to reasonable time, place, and manner restrictions. All petitioners must fill out a request form with their name and subject matter. When recognized by the chair, please speak into the microphone, state your name, and please observe the three (3)-minute time limit. No petitioners will be recognized without a request. The board's response to public comments is limited to asking staff to review a matter commented upon, asking that a matter be put on a future agenda, or responding to criticism.

Possible Direction to Staff

Item 3: Approval of Minutes: Minutes of the regular meeting of June 7, 2021

Discussion/Possible Action

Continued Items/Old Business:

Item 4: Preliminary and Final Design Review for a new house (Lazaro) – continued from June 7, 2021

Applicant: Keith Lazaro

Address: 224 Fourth Street

Zone: R1-5

Owner of record: Keith Lazaro

APN: 401-07-022

Applicant is seeking preliminary and final design review to construct an approximately 1,400-square-foot house on an existing lot.

Discussion/Possible Action – DRB Reso. 2021-14

Item 5: Work session on commercial signs – discussed on May 3, 2021

Applicant: Town of Jerome

Work session regarding commercial signs and possible amendments to the sign ordinance.

Discussion/Possible Direction

New Business:

Item 6: Preliminary and Final Design Review for paint colors

Applicant: Danielle Vorves

Address: 668 Verde Avenue

Zone: R1-5

Owner of record: Danielle Vorves

APN: 401-07-068

Applicant is seeking preliminary and final design review for house paint colors.

Discussion/Possible Action – DRB Reso. 2021-19

Item 7: Preliminary and Final Design Review for new signage for Jerome Ghost Tours

Applicant: Aeron Bailey

Address: 403 Clark Street, B-7

Zone: C-1

Owner of record: 1299 Properties

APN: 401-06-152H

Applicant is seeking preliminary and final design review to mount two signs on the UVX building.

Discussion/Possible Action – DRB Reso. 2021-20

Informational Items (Current Event Summaries):

Item 8: Updates of Recent and Upcoming Meetings: John Knight, Zoning Administrator

- a) **June 8, 2021, Council meeting** – Second reading of ordinance amendments regarding administrative approval of small projects and appeals; initiated ordinance amendment regarding beekeeping; discussions on the following: creating a special event ordinance in the town code and public outreach regarding possible amendments to residential parking ordinance.

- b) **June 16, 2021, P&Z Meeting** – Hearings regarding temporary signs in the commercial and industrial zones and beekeeping ordinance.

Item 9: Future DRB Agenda Items for Monday, August 2, 2021: No items currently scheduled.

Item 10: Adjourn

The undersigned hereby certifies that this notice and agenda was posted at the following locations on or before 6:00 p.m. on _____

- 970 Gulch Road, side of Gulch fire station, exterior posting case
- 600 Clark Street, Jerome Town Hall, exterior posting case
- 120 Main Street, Jerome Post Office, interior posting case

Rosa Cays, Deputy Clerk, Attest

Persons with a disability may request reasonable accommodations such as a sign language interpreter by contacting Town Hall at (928)634-7943. Requests should be made as early as possible to allow enough time to make arrangements. Anyone needing clarification of an agenda item may call John Knight at (928) 634-7943.



TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA (928) 634-7943

REGULAR MEETING OF THE TOWN OF JEROME

DESIGN REVIEW BOARD

Monday, June 7, 2021 TIME: 6:00 pm

PLACE: JEROME CIVIC CENTER

600 Clark St., JEROME, ARIZONA 86331

MINUTES

6:01 (0:17) Item 1: Call to order

Chair Tyler Christensen called the meeting to order at 6:01 p.m.

Deputy Town Clerk Rosa Cays called the roll. Present were Chair Christensen, Vice Chair Brice Wood, and board members Carol Wittner and John McDonald. Also present was Zoning Administrator John Knight.

6:01 (0:47) Item 2: Petitions from the public – There were no petitions from the public.

6:01 (0:54) Item 3: Approval of Minutes: Minutes of the regular meeting of May 3, 2021

Discussion/Possible Action

Motion to Approve the Minutes of the Regular Meeting of May 3, 2021

BOARD MEMBER	MOTION	SECOND	AYE	NAY	ABSENT	ABSTAIN
CHRISTENSEN			X			
MCDONALD	X		X			
WITTNER			X			
WOOD		X	X			

Continued Items/Old Business: none

New Business:

7:12 (1:56) Item 4: Preliminary and Final Design Review for a new house (Lazaro)

Applicant: Keith Lazaro

Address: 224 Fourth Street

Zone: R1-5

Owner of record: Keith Lazaro

APN: 401-07-022

Applicant is seeking preliminary and final design review to construct an approximately 1,400-square-foot house on an existing lot.

Discussion/Possible Action – DRB Reso. 2021-14

Chair Christensen introduced the item, but since the applicant was absent, he motioned to table it, then changed his motion to rearrange the agenda should the applicant (or representative) join the meeting later, and to also accommodate other applicants in attendance. The items were rearranged in this order: 6, 7, 8, 5 and 4. However, they have been kept in their original order in these minutes.

Motion to rearrange the order of items on the agenda to 6, 7, 8, then 5 and 4

BOARD MEMBER	MOTION	SECOND	AYE	NAY	ABSENT	ABSTAIN
CHRISTENSEN	X		X			
MCDONALD		X	X			
WITTNER			X			
WOOD			X			

(1:08:45) Mr. Knight informed everyone that Mr. Lazaro had broken his leg and was not going to be at the meeting, although Mr. Knight thought he would be represented. Jerome resident Joe Lazaro, Keith's father, did drop off the samples earlier, which Mr. Knight shared with the board. Chair Christensen opened the item.

Vice Chair Wood commented that Mr. Lazaro is doing right by getting neighborly support.

Mr. Knight said besides the house, Mr. Lazaro will also be building concrete walls and demolishing an old shed. He said P&Z did approve the project and that several neighbors have stepped forward to express their consent.

Motion to table DRB Resolution 2021-14

BOARD MEMBER	MOTION	SECOND	AYE	NAY	ABSENT	ABSTAIN
CHRISTENSEN			X			
MCDONALD		X	X			
WITTNER			X			
WOOD	X		X			

6:24 (23:55) Item 5: Final Design Review for a new house (Halbreich/Sinclair)

Applicants: Bethany Halbreich and Cameron Sinclair

Address: 300 Queen Street (aka Mexican Pool property)

Owner of record: Half Kingdom Holdings LLC

Zone: C-1/AR

APN: 401-06-128G

Applicants are seeking final design review to construct an approximately 1,155-square-foot house.

Discussion/Possible Action – DRB Reso. 2021-15

Mr. Knight stated that preliminary design review was approved at the last DRB meeting and that the applicants were now seeking final design review approval. He said the applicants have made a few changes after receiving feedback from DRB and P&Z and said the main design concern seemed to be focused on the railing between the two buildings and that safety was a concern. Mr. Knight referred to the railing samples in the agenda packet, then reminded the board that this is approval for Phase 1 only. He said the applicants will be demolishing most of the present pumphouse structure, building in the same footprint, and are talking to the State Historic Preservation Office (SHPO) about designs for fencing around the pool. He referred to the questions SHPO had answered in the packet and said he had talked to them to get their thoughts on the project—they have no issues. He said DRB can be more restrictive.

Vice Chair Wood said Jerome is a national historic landmark and that some of the “cut and paste” language in the zoning ordinance is from the Secretary of the Interior, to be applied to the local conditions when possible. He said, “the reality on the ground doesn’t always fit the ordinance,” yet the DRB’s job is to enforce what’s in it. Vice Chair Wood read aloud a section about visual components and said that in the DRB process, the board is supposed to be visually focused; however, when it comes to health and safety issues, health and safety takes precedence over other factors. He spoke about his attempts to collect information about the Verde fault below Jerome, including the ADOT report he has referred to in the past, which he said Mr. Knight has called “old and out of date.”

Mr. Knight said the previous owner had done a structural report of the property, and that what he had said about the dated ADOT report came from talking to John Litteer at ADOT, who advised Mr. Knight to be careful when using that report to extrapolate for a specific site. He mentioned that conditions of approval included engineering surveys.

Vice Chair Wood asked if there was ever plumbing in the pumphouse and if a waterline crosses the area near the Sliding Jail. Mr. Knight said a waterline would be extended from the Guth property. Vice Chair Wood said he talked to California about how they deal with seismic areas. He stated that he saw the 300 Queen Street project as a health and safety question and does not want to see the town in a position of liability and questioned the viability of the future of the project.

Mr. Knight said some of the questions being discussed were outside the purview of DRB, and that he has talked to the town attorney about liability: it is on the applicants, who are required to provide the survey reports, which are in turn the engineer’s responsibility.

Vice Chair Wood said he thought he was asking a practical question.

Chair Christensen said it was a practical question and pointed out that DRB is also dealing with someone who has been behind much more difficult projects and is making the conscious choice. He said DRB needs to focus on the design aspects of the project.

(47:04) Mr. Sinclair said he would address the vice chair’s concerns at the end of his presentation as they are important. He said since the last P&Z meeting, they have met with SHPO about support for the project, who requested they demo most of the pumphouse; that even Fire Chief Blair said it was not structurally sound. Mr. Sinclair said they have also found that the area around the pool, including the foundation of the pumphouse, is the only historic aspect of the property. He mentioned that SHPO was coming to town to talk about what the town can and cannot require of applicants and that the group would be visiting 300 Queen Street. Mr. Sinclair said SHPO was showing support for the project and that ASU architecture students may also get involved. He said some of the historical research they have done goes back to 1889 on the property itself, including an investigation of foundations on the site, which they found have not shifted in 120 years. This will be included in their report. Mr. Sinclair said the former owner did have a geotech study done in 2018 that was approved and stamped and that SHPO suggested it should suffice for this project. He mentioned Keith Lazaro was also using a general study for his project, and that the ADOT report was a synopsis of surveys done in the 1950s and 1960s and was focused on the area near Hull Avenue.

Mr. Sinclair continued going through his slide presentation and showed how the pumphouse is visually incompatible with its surroundings and listed several of its construction flaws. He said the demolition of the pumphouse would include the wooden structure and metal roofing and that they have decreased the amount of iron and increased the amount of woodwork by 40 percent in their design. Mr. Sinclair then went through the railing styles and why they would not work. He also informed the board that the Guth residence has a bridge and that the house at 201 Beale Street has post/glass railings approved in 2002 when Vice Chair Wood was on the board. Mr. Sinclair said their floorplan was five times smaller than the previous owner’s plans and would not be connected to the Guth house, as the was proposed by the former owner. He also informed the board that he could provide them with the 43-page geotechnical survey as well as a 25-page cultural resource study. He said in Phase 2, the focus will be on the large retaining wall needed to protect the town’s liability and that the real issue being faced is if the town has the funding to build the retaining system for the parking area adjacent to their property.

Vice Chair Wood thanked and complimented Mr. Sinclair on his presentation and design, respectively, but said he still felt strongly that this project was not right for this site.

Chair Christensen shared his thoughts on the project and later motioned to approve it. He asked if Mr. Sinclair had chosen his preferred railing, which he had, which was the third option in his presentation, single rail with glass. A brief discussion ensued.

Motion to approve DRB Resolution 2021-15

BOARD MEMBER	MOTION	SECOND	AYE	NAY	ABSENT	ABSTAIN
CHRISTENSEN	X		X			
MCDONALD		X	X			
WITTNER			X			
WOOD						X

6:05 (3:18) Item 6: Preliminary and Final Design Review for new signage (Blazing Owl)

Applicant: Angela Arndt

Address: 300 Hull Avenue

Owner of record: Randy and Cathy Brazil

Zone: C-1

APN: 401-06-074

Applicant is seeking preliminary and final design review for new signage at the Merchants Gathering building.

Discussion/Possible Action – DRB Reso. 2021-16

Chair Christensen introduced the item, a simple sign said Mr. Knight, which will be made of metal and hung outside of Merchants Gathering. He referred to the photoshopped images in the packet showing the placement of the sign.

Mr. Knight clarified that the sign would be made of aluminum and mentioned the amendment to the sign ordinance that now states durable material is preferred (over wood). Chair Christensen said he liked the artwork.

Motion to approve DRB Resolution 2021-16

BOARD MEMBER	MOTION	SECOND	AYE	NAY	ABSENT	ABSTAIN
CHRISTENSEN			X			
MCDONALD			X			
WITTNER		X	X			
WOOD	X		X			

6:08 (7:23) Item 7: Preliminary and Final Design Review for a gate

Applicant: Carol Wittner Roland

Address: 140 Main Street

Owner of record: Beyond Sky Fire LLC

Zone: C-1

APN: 401-06-006

Applicant is seeking preliminary and final design review for a new gate in front of "Husbands' Alley"

Discussion/Possible Action – DRB Reso. 2021-17

Chair Christensen stated that the applicant was also a DRB member. Mr. Knight explained the standard procedure for recusal, and Ms. Wittner recused herself from the dais. Chair Christensen then introduced the item.

Mr. Knight said Ms. Wittner wanted to replace the plywood blocking Husbands' Alley with a metal gate and that the KnoxBox will still be accessible.

(9:36) Ms. Wittner introduced herself and said the gate would be a safer alternative than the plywood to block people from the two-story drop at the end of Husbands' Alley. She said Arnie Warren is making a 6-foot gate similar to those behind Nellie Bly.

Chair Christensen said he was glad about this project and that it would be an improvement for the town.

Motion to approve DRB Resolution 2021-17

BOARD MEMBER	MOTION	SECOND	AYE	NAY	ABSENT	ABSTAIN
CHRISTENSEN			X			
MCDONALD		X	X			
WITTNER						X
WOOD	X		X			

6:12 (12:09) Item 8: Preliminary and Final Design Review for new signage (Jerome BATH House)

Applicant: Mike Thieme

Address: 240 Hull Avenue

Owner of record: Margaret Graziano

Zone: C-1

APN: 401-06-054

Applicant is seeking preliminary and final design review for new signage.

Discussion/Possible Action – DRB Reso. 2021-18

Mr. Knight said the applicant is proposing a 14-square-foot aluminum sign that will hang where the old winery sign was. Mr. Thieme was helpful in having the temporary State Farm sign removed next to the building (it belonged to his landlord) and will also remove the winery sign on the south side of the building, which Mr. Thieme later states is angering tourists when they discover his shop is no longer a winery. Mr. Knight said the retail store will be three stories of leather and other goods.

(14:23) Mr. Thieme explained the design of the sign and said the acronym BATH stood for bikers, artists, tourists, and hippies. He gave a brief overview of what his store sells, including biker and cowboy leather, art, and other eclectic goods.

Vice Chair Wood clarified that DRB cannot control content; nevertheless, Chair Christensen said he would like to see more to the sign than just lettering.

Mr. Thieme explained the philosophy behind the sign and respectfully said he was not wanting to impress the town but to draw a certain clientele.

Motion to approve DRB Resolution 2021-18

BOARD MEMBER	MOTION	SECOND	AYE	NAY	ABSENT	ABSTAIN
CHRISTENSEN			X			
MCDONALD		X	X			
WITTNER			X			
WOOD	X		X			

Informational Items (Current Event Summaries):

7:17 (1:16:23) Item 9: Updates of Recent and Upcoming Meetings: John Knight, Zoning Administrator

- May 11, 2021 Council meeting** – Second reading of sign ordinance amendments; first reading of ordinance amendments regarding administrative approval of small projects and appeals; discussions on the following: possible beekeeping ordinance; possible special event ordinance; possible amendments to residential parking
- May 19, 2021 P&Z Meeting** – Initiated ordinance amendment regarding commercial temporary signs in the commercial district; 224 Fourth Street (Lazaro); 300 Queen Street (Halbreich/Sinclair)

Mr. Knight shared highlights from recent meetings listed above. He mentioned that much of the zoning ordinance has been cut and pasted together from other ordinances and many sections need to be updated. He said to address the residential permit parking issues, town staff will be reaching out to the public for their input.

7:21 (1:20:35) Item 10: Future DRB Agenda Items for Tuesday, July 6, 2021 (note meeting date change): No items currently scheduled

Mr. Knight said now that the Lazaro project (Item 4) has been tabled, it will be on the next agenda.

Item 11: Adjourn

Motion to adjourn at 7:22 p.m.

BOARD MEMBER	MOTION	SECOND	AYE	NAY	ABSENT	ABSTAIN
CHRISTENSEN			X			
MCDONALD			X			
WITTNER	X		X			
WOOD		X	X			

Approved: _____ Date: _____
Tyler Christensen, Design Review Board Chair

Attest: _____ Date: _____
Rosa Cays, Deputy Town Clerk



TOWN OF JEROME

Post Office Box 335, Jerome, Arizona 86331
(928) 634-7943

Zoning Administrator Analysis Design Review Board Tuesday, July 6, 2021

Item 4: Design Review for an approximately 1,400-square-foot house
Location: 224 Fourth Street
Applicant/Owner: Keith Lazaro
Zone: R1-5
APN: 401-07-022
Prepared by: John Knight, Zoning Administrator
Resolution: [DRB Resolution 2021-14](#)

Background and Summary: The applicant requests preliminary and final design review to construct an approximately 1,400-square-foot house and a small shed on an existing lot at the intersection of Fourth Street and Verde Avenue. The request also includes demolition of an existing, metal garage and removal of a large water tank. The Planning and Zoning Commission approved the preliminary and final site plan review for the property on May 19, 2021. On June 7, 2021, the applicant was unable to attend the Design Review Board meeting and the application was tabled to July 6, 2021.

Colors and Materials: The applicant proposes to salvage the corrugated metal sheets from the garage demolition for use on the first floor of the home. The upper two stories will be fiber cement siding. The roofing will be metal, standing seam. Balcony railings will be metal. The shed is proposed to be clad and roofed in the salvaged corrugated-metal sheets. For colors, the applicant proposes copper for the roof, black for the metal railings, and beige for the cement siding (color samples will be brought to the meeting). The existing, corrugated metal sheets will be left unpainted. The proposal also includes construction of retaining walls. On the Verde Ave and Fourth Street frontages, the walls will be constructed of stone. Along the west and north property lines, the walls will be concrete.

History: There was previously a home on the property in the early 1900s. This shows up on the Sanborn maps in 1910 and 1917. Note that the latest Sanborn map from 1917 shows the house but does not show a garage. See attached picture of the original house.

Additional information from the applicant:

"The garage was built in the 1950s by Charlie Catlin, the owner at that time. He and his wife owned the lot and in the late '60s, early '70s the wife went into a nursing home in California after Charlie died. In order to cover the cost of her care in the nursing home the lot was given to the Packs, the owners of the nursing home. As far as I know the Packs never did anything with the lot, being that they lived in California, and they sold the lot to my dad in 1985."

Ordinance Compliance: The Design Review Board shall review the applicant's proposal for compliance with the code sections noted below.

Section 304.F.1. Review Procedures and Criteria (New Construction)

1. *The Design Review Board shall review a submitted application for design approval for all new construction and/or installation of Accessory Features. In doing so, both the Design Review Board and the applicant shall use photographs, lithographs and the like of Jerome, to support their findings. If photographs, etc., are unavailable, then the determination or finding shall be based on the works of a recognized historic preservation authority; such as, but not limited to, text books or architect/historian. Each of the following criteria must be satisfied before an application can be approved.*
 - a. *PROPORTION – The relationship of the width of building or structure to its height shall be visually compatible to buildings, structures and places to which it is visually related*
 - b. *OPENINGS – The relationship of the width of the windows and doors, to height of windows and doors in a building shall be visually compatible with buildings, structures, and places to which the building is visually related.*
 - c. *PATTERN – The relationship of solids to voids in the facade of a building or structure shall be visually compatible with buildings, structures and places to which it is visually related.*
 - d. *SPACING – The relationship of buildings or structure to the open space between it and adjoining buildings shall be visually compatible to the buildings, structures, and places to which it is visually related.*
 - e. *ENTRANCES, PORCHES, DECKS AND PROJECTIONS – The height, projection, supports, and relationship to streets and sidewalks, of entrances, porches, decks, awnings, canopies, and balconies of a building shall be visually compatible to the buildings, structures, and places to which it is visually related*
 - f. *MATERIALS, TEXTURE AND COLOR – The materials, texture and color of the facade of a building or structure, shall be visually compatible with the predominant materials, textures, and color used in the building and structures to which it is visually related.*
 - g. *ROOFS – The roof shape of a building shall be visually compatible with the buildings to which it is visually related.*
 - h. *ARCHITECTURAL DETAILS – Doors, windows, eaves, cornices, and other architectural details of a building or structure shall be visually compatible with buildings and structures to which it is visually related.*
 - i. *ACCESSORY BUILDINGS - Garages, carports and sheds shall be visually compatible with buildings, structures and places to which they are visually related.*
 - j. *ACCESSORY FEATURES – Fences, walkways, decks, stairways, lighting, antenna and other manmade structures shall be visually compatible with buildings, structures, and places to which they are visually related.*
 - k. *LANDSCAPING – Landscaping shall be visually compatible with the landscaping around the buildings, structures, and places to which it is visually related.*
 - l. *SCREENING – The proposed addition, alteration or other changes shall be screened with appropriate materials and in an appropriate design so as to be visually compatible with related properties, when, in the opinion of the Design Review Board, all other means of assuring visual compatibility are not reasonably possible.*
 - m. *SOLAR INSTALLATIONS – Refer to “Solar Energy System Design Guidelines” approved by the Town Council in June 2015, utilizing best practices for installing solar on historical buildings as recommended by the Department of the Interior. These Guidelines are available at Jerome Town Hall, the Jerome Library and on the Town of Jerome website.*

Response: The DRB shall review the application for compliance with the above-referenced criteria and refer to the applicable criteria regarding architectural features and details. The applicant's proposal appears to meet these criteria through use of compatible colors and materials.

Section 304.F.3. Review Procedures and Criteria (Demolition)

3. The Design Review Board shall review a submitted application for Approval of the Demolition, Partial Demolition, or Removal of Existing Buildings or Structures, and shall have the power to approve, conditionally approve, or disapprove, all such requests; in accordance with the following procedures and criteria.

- a. In passing on an application for demolition, partial demolition, or removal, the Design Review Board shall consider, among other things, the architectural or aesthetic quality or significance of the building or structure to the public interests of the Town.*
- b. If the Design Review Board finds that the preservation and protection of historic places and the public interest will best be served by postponing the demolition, partial demolition, or removal of a building or structure, it may postpone such action for a designated period, which shall not exceed one hundred eighty (180) days from the receipt of the application and shall notify the applicant of such postponement. Within the period of postponement such demolition or alteration of any building, the Design Review Board shall take steps to ascertain what the Town Council can or may do to preserve such building, including consultation with private civic groups, interested private citizens and other public boards or agencies and including investigation of the potential use of the power of eminent domain when the preservation of a given building is clearly in the interest of the general welfare of the community and of certain historic and architectural significance. The Design Review Board shall then make such recommendations thereabout to the Town Council as the Board may determine to submit.*

Response: The DRB shall review the application for compliance with the above-referenced criteria.

Section 304.F.5. Approval process

- 5. The Design Review Board shall have thirty (30) days from the date of submission of a complete application to review the request and approve, conditionally approve, or reject, said request, and notify the applicant of his decision in writing. If, however, the Design Review Board wishes to hold a public hearing on the request, the Board shall fix a reasonable time for such hearing, but not more than forty-five (45) days from the date of submission of a complete application. Prior to holding a public hearing, a Neighborhood Meeting may be required in accordance with Section 306 of this Zoning Ordinance. The Design Review Board shall give notice of the hearing at which the application will be considered by publication of notice in the official newspaper of the Town and by posting the property affected not less than, fifteen (15) days prior to the hearing. The notice shall set forth the time and place of the hearing and include a general explanation of the matter to be considered. In such case, the Design Review Board shall render its decision within fifteen (15) days after the public hearing.*

Response: The DRB has the authority to approve or conditionally approve the applicant's request. To ensure compliance with the criteria identified above, the DRB may include additional conditions.

Recommendation: The zoning administrator recommends that the DRB approve the attached resolution with the conditions included.

Attachments:

- DRB Resolution 2020-14
- Application and supplemental information



TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331
(928) 634-7943

DRB Resolution 2021-14 **Approving Preliminary Design Review for a house**

WHEREAS the Town of Jerome has received an application from Keith Lazaro for preliminary and final design review approval to construct an approximately 1,400-square-foot house at 224 Fourth Street (APN 401-07-022); and

WHEREAS on June 7, 2021, the applicant was not able to attend the Design Review Board meeting and the application was tabled to July 6, 2021; and

WHEREAS the property is in the R1-5 zoning district; and

WHEREAS the Design Review Board has determined that a public hearing is not necessary under Zoning Ordinance Section 304.F.5.; and

WHEREAS the Design Review process is intended to promote and preserve Jerome's economic and environmental well-being and preserve its distinctive character, natural attractiveness, and overall architectural quality, all of which contribute substantially to its viability as a recreational and tourist center and to its designation as a National Historic Landmark, and

WHEREAS the Design Review Board has carefully reviewed the applicants' proposal and finds that the applicable review criteria and procedures have been satisfied:

- a. PROPORTION – The relationship of the width of building or structure to its height shall be visually compatible to buildings, structures and places to which it is visually related.
- b. OPENINGS – The relationship of the width of the windows and doors, to height of windows and doors in a building shall be visually compatible with buildings, structures, and places to which the building is visually related.
- c. PATTERN – The relationship of solids to voids in the facade of a building or structure shall be visually compatible with buildings, structures and places to which it is visually related.
- d. SPACING – The relationship of buildings or structure to the open space between it and adjoining buildings shall be visually compatible to the buildings, structures, and places to which it is visually related.
- e. ENTRANCES, PORCHES, DECKS AND PROJECTIONS – The height, projection, supports, and relationship to streets and sidewalks, of entrances, porches, decks, awnings, canopies, and balconies of a building shall be visually compatible to the buildings, structures, and places to which it is visually related.
- f. MATERIALS, TEXTURE AND COLOR – The materials, texture, and color of the facade of a building or structure, shall be visually compatible with the predominant materials, textures, and color used in the building and structures to which it is visually related.
- g. ROOFS – The roof shape of a building shall be visually compatible with the buildings to which it is visually related.
- h. ARCHITECTURAL DETAILS – Doors, windows, eaves, cornices, and other architectural details of a building or structure shall be visually compatible with buildings and structures to which it is visually related.
- i. ACCESSORY BUILDINGS - Garages, carports and sheds shall be visually compatible with buildings, structures, and places to which they are visually related.
- j. ACCESSORY FEATURES – Fences, walkways, decks, stairways, lighting, antenna and other manmade structures shall be visually compatible with buildings, structures, and places to which they are visually related.
- k. LANDSCAPING – Landscaping shall be visually compatible with the landscaping around the buildings, structures, and places to which it is visually related.

DRB RESOLUTION NO. 2021-14

- I. SCREENING – The proposed addition, alteration or other changes shall be screened with appropriate materials and in an appropriate design so as to be visually compatible with related properties, when, in the opinion of the Design Review Board, all other means of assuring visual compatibility are not reasonably possible.
- m. The Design Review Board shall review a submitted application for Approval of the Demolition, Partial Demolition, or Removal of Existing Buildings or Structures, and shall have the power to approve, conditionally approve, or disapprove, all such requests, in accordance with the following procedures and criteria.
 1. In passing on an application for demolition, partial demolition, or removal, the Design Review Board shall consider, among other things, the architectural or aesthetic quality or significance of the building or structure to the public interests of the Town.
 2. If the Design Review Board finds that the preservation and protection of historic places and the public interest will best be served by postponing the demolition, partial demolition, or removal of a building or structure, it may postpone such action for a designated period, which shall not exceed one hundred eighty (180) days from the receipt of the application and shall notify the applicant of such postponement. Within the period of postponement such demolition or alteration of any building, the Design Review Board shall take steps to ascertain what the Town Council can or may do to preserve such building, including consultation with private civic groups, interested private citizens and other public boards or agencies and including investigation of the potential use of the power of eminent domain when the preservation of a given building is clearly in the interest of the general welfare of the community and of certain historic and architectural significance. The Design Review Board shall then make such recommendations thereabout to the Town Council as the Board may determine to submit.

NOW, THEREFORE, BE IT RESOLVED by the Design Review Board of the Town of Jerome, Arizona, that the preliminary and final design for 224 Fourth Street is hereby approved, subject to the following conditions:

1. **Expiration of Approval** – this approval shall become null and void if a building permit is not issued within six (6) months of final Design Review Board approval of this application. If necessary, the applicants may request an extension by the approval body, if the extension is submitted prior to approval expiration.
2. **Appeal** – Any applicant who is aggrieved by the Design Review Board decision may petition the Mayor or Council for a review within thirty (30) days of the decision. Questions of aesthetics or design standards are not appealable to the Mayor and Council but may be presented to a Court of Record within thirty (30) days of the decision. Additionally, if in the opinion of the Zoning Administrator a decision is not in conformance with the Zoning Code or Comprehensive plan, the Zoning Administrator may request a review by the Mayor and Council within thirty (30) days. By specific motion during an official meeting, the Mayor and Council may refuse to consider a request for review brought by the Zoning Administrator. Finally, the Mayor and Council shall maintain the right to review all decisions of the Design Review Board.

ADOPTED AND APPROVED by a majority vote of the Design Review Board on the 6th day of July 2021.

ATTEST:

APPROVED:

Rosa Cays, Deputy Town Clerk

Tyler Christensen, Chair



TOWN OF JEROME, ARIZONA
600 Clark Street, P.O. Box 335, Jerome, AZ 86331
(928) 634-7943

File #:

Town Use

General Land Use Application – Check all that apply

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Site Plan Review \$100 | <input checked="" type="checkbox"/> Design Review \$50/\$200 | <input type="checkbox"/> Conditional Use Permit (CUP) \$100 |
| <input type="checkbox"/> Demolition \$50/\$200 | <input type="checkbox"/> Signage/Awning \$50 | <input type="checkbox"/> Paint/Roofing \$0 |
| <input type="checkbox"/> Time Extension \$0 | <input type="checkbox"/> Variance \$200 | <input type="checkbox"/> Other: <u>Demolition</u> |

Note: Refer to the corresponding Project Application Checklist/s for additional submittal requirements.

Applicant: <u>Keith Lazaro</u>	Owner: <u>Keith Lazaro</u>
Applicant address: <u>224 Fifth St</u>	Owner Mailing Address: <u>PO Box 972</u>
<u>Jerome, AZ 86331</u>	<u>Jerome, AZ 86331</u>
Applicant role/title: <u>Owner/Builder</u>	
Applicant phone: <u>714-907-2057</u>	Owner phone: <u>←</u>
Applicant email: <u>krlazaro122@gmail.com</u>	Owner email: <u>←</u>
Project address:	Parcel number: <u>401-07-022</u>
Describe project: <u>To carry out the construction of a single family residential home on Copper Chief Lot 75 / Parcel 401-07-022. This would include the demolition of the garage currently located on site.</u>	

- I understand that review by the Jerome Design Review Board, Planning and Zoning Commission, and Town Council is discretionary.
- I understand that the application fee is due at submission and review will not be scheduled until fee is paid to the Town.
- I understand review criteria are used in evaluation by the Jerome Design Review Board and/or Planning and Zoning Commission. These criteria are included in the Jerome Zoning Ordinance.
- I understand that this application will not be scheduled for consideration until all required materials have been submitted and the application is determined to be complete.

Applicant Signature: [Signature] Date: 5/12/2021

Owner Signature: [Signature] Date: 5/12/2021

For Town Use Only	
Received from: <u>Keith Lazaro</u>	Date: <u>5/12/2021</u>
Received the sum of \$ <u>300.00</u> as: <input type="checkbox"/> Check No. _____ <input type="checkbox"/> Cash <input checked="" type="checkbox"/> Credit Card	
By: <u>E.M.</u>	For: <u>DRB & Sign Review</u>
Tentative Meeting Date/s - DRB: _____	P&Z: _____

E-mail completed forms and application information to: John Knight, Zoning Administrator j.knight@jerome.az.gov

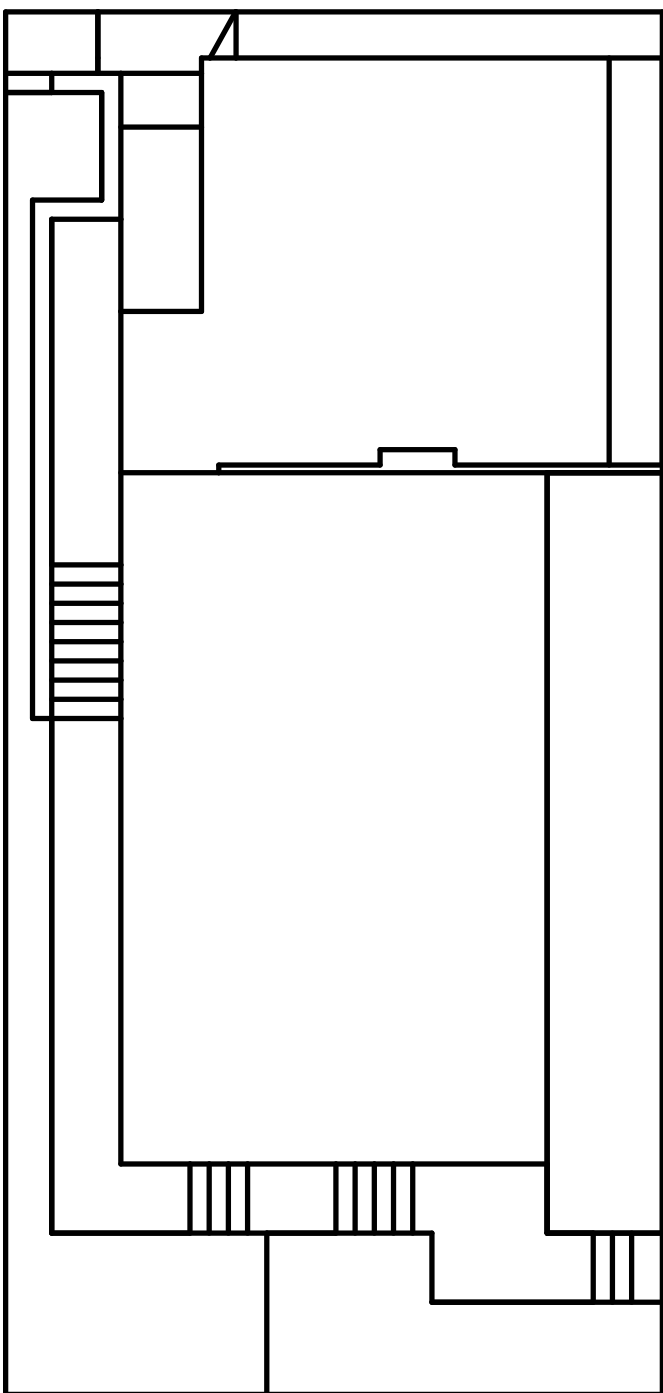
Lot Information

Description:
Jerome Copper Cheif Lot 75 BLK F

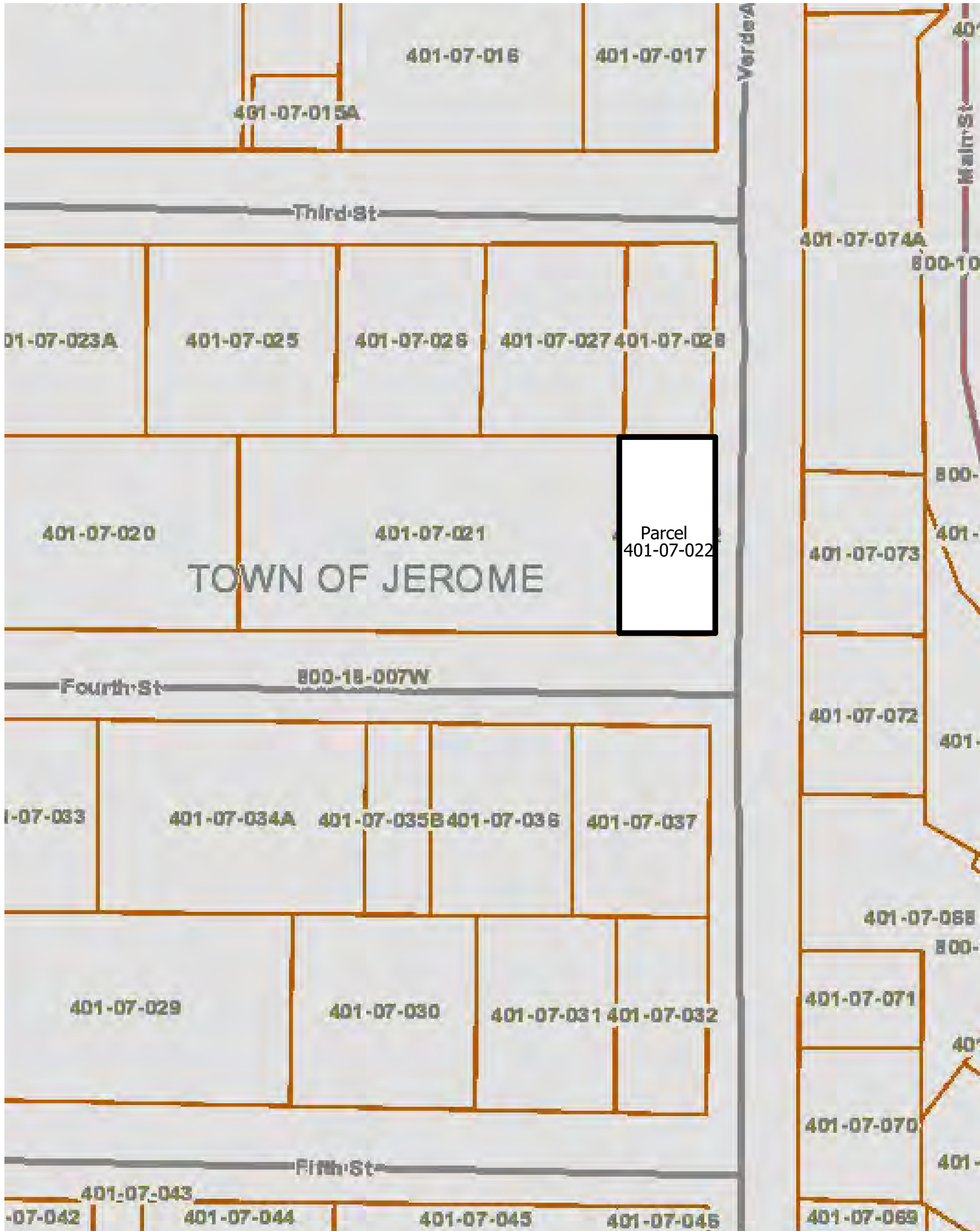
Parcel ID: 401-07-022 Zoning: R1-5

Legal Class: 02R Acres: 0.04

Location:
Corner of Fourth St and Verde Ave
in Jerome, AZ 86331



Project Site Plan (0.01 Scale)



Yavapai County Lot 401-07-022 (Copper Chief Lot 75) General Location

Project CC75 House Build

General Notes / Project Description

1. The following pages outline the Architectural Plans for a proposed new home construction at the site of Yavapai County Parcel 401-07-022 / Copper Chief Lot 75 located at the corner of Fourth St and Verde Ave in Jerome, AZ 86331. The proposed improvements will all be done in accordance with the property's R1-5 zoning classification.
2. Currently on site there is an open parking area and a garage, which would need to be dismantled (demolished) before construction of the new house could begin.
3. The new 1,387 square foot house will be built according to the setback guidelines listed in Section 505 of the Jerome Zoning Ordinance with a proposed 5 Foot Setback on the Verde Ave front of the lot according to Subsection D, Item 5, Subitem a, Paragraph 1 in Section 505.
4. The house will rise to a height of 25.5 feet above the First Floor Base Level, which is 2 feet above Verde Ave street level. This would make for a maximum elevation of 27.5 feet above street level on the finished site, which is 2.5 feet below the allowable height of 30 feet for the Lot.
5. The new building structure will be made with a combination of steel supports and framework along with conventional wood framing joined in. A basement level is also planned which would extend 7 feet below the Verde Ave street level construted with concrete and steel. Fire sprinklers will also be installed throughout the home.
6. Structural Plans will be submitted as needed and required.

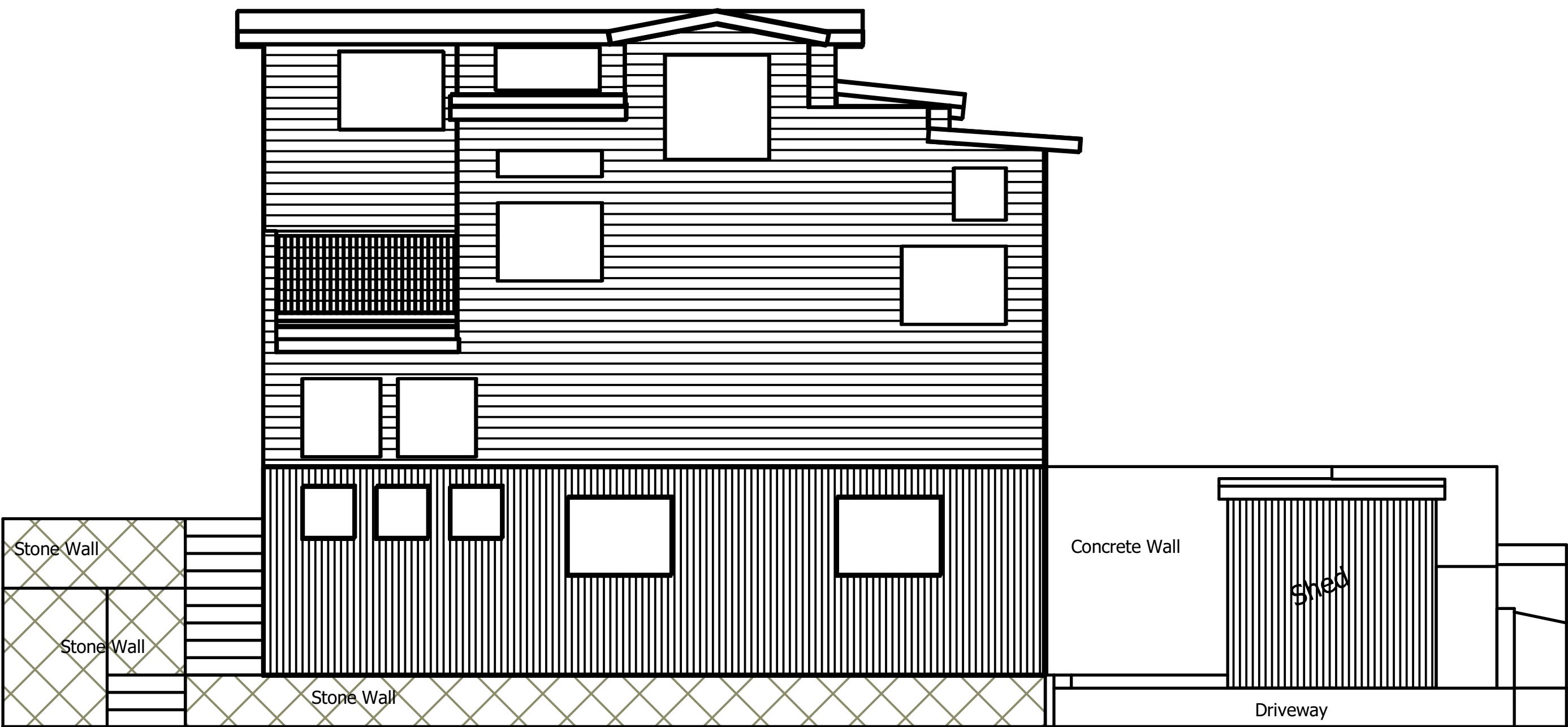


General Schedule / Scope of Work

1. Work will begin with dismantling the garage currently located on the north end of the lot.
2. Once the lot is cleared construction of the new house will commence with digging the partially subterranean basement and foundations.
3. The house measuring 18.5 feet wide and 30 feet deep will be built up from the finished foundation to a height of 25.5 feet above the First Floor Base Level.
4. Final Lot finishes will be carried out after the house is completed including the construction of terraces, walls, and stairs.
5. Fencing (Not Shown) will be added around some of the yard space and foliage will planted after all other construction is complete.

Page Index

- A00 - Cover Sheet
- A01 - Appeal / Proposal
- A02 - Current Structures
- A03 - Cornerstone Survey
- A04 - Site Plan
- A05 - Elevations Sans House
- A06 - House Exteriors SE
- A07 - House Exteriors NW
- A08 - Exterior w/ Basement
- A09 - Basement Plan
- A10 - First Floor Plan
- A11 - Second Floor Plan
- A12 - Third Floor Plan
- A13 - ISO Render SE
- A14 - ISO Render NE
- A15 - ISO Render NW
- A16 - ISO Render SW



East Front Elevation View (0.02 Scale)

Square Foot Listings

Basement - 234 Porch - 48
First Floor - 477 Parapet - 62
Second Floor - 425
Third Floor - 251

Total Interior Square Feet = 1,387

Scales Used

0.01 - 1 in = 100 in
0.02 - 1 in = 50.1 in
0.03 - 1 in = 33.3 in
0.04 - 1 in = 20.2 in

Created by: KL	Title: Cover Sheet	Size: A1	Sheet: 1 / 17	Scale: .01, .02
Supplementary information: Project CC75 House Build / Parcel 401-07-022		Part number: A00-CS		
Date: 04/30/2021		Revision:		

A00

General Use Appeal / Setback Proposal

An Appeal and Proposal is presented regarding development sited at Jerome Copper Chief Lot 75 / Yav. Co. Parcel 401-07-022

- 1. General Use / Special Use Appeal for Permit
- 2. 5 Foot Setback Proposal for Verde Ave Front Yard

Appeal for Permit

Copper Chief Lot 75 does not conform to current Lot development minimum size standards, however under Section 502, Subsection C, Paragraph 1 in the Jerome Zoning Ordinance development is allowed at the site. According to this Subsection historic Lots of Record are able to be built upon, no matter their size, as long as all building requirements can be met.

All building requirements outlined in Section 505 of the Jerome Zoning Ordinance are achievable on site at Copper Chief Lot 75 and the site is also a historic Lot of Record, therefore the right to build cannot be denied.



Current Picture of the Lot from Southeast Corner

Setback Proposal for Verde Avenue Front Yard

A Five Foot Setback is proposed for the Verde Avenue Front Yard setback requirement pursuant to Section 505, Subsection D, Item 5, Subitem a, Paragraph 1 in the Jerome Zoning Ordinance. This proposal would reduce the setback requirement from 10 feet down to 5 feet based on the existing structures within 100 feet of the site. Both adjacent structures on the Verde Avenue Front of the property extend beyond their property lines and encroach upon Verde Avenue.



South Verde Ave
Property Line View



North Verde Ave
Property Line View

Created by: KL	Title: Permit Appeal / Setback Proposal		
Supplementary information: Project CC75 House Build / Parcel 401-07-022		Size: A1	Sheet: 2 / 17
		Part number: A01-AP	
		Date: 04/30/2021	Revision:

A01

Current Structures

Garage South Face



Garage East Face



Garage North Face



Garage West Face



Brief History of The Lot and Garage

Presently there is a corrugated metal clad garage located on the Lot facing out East toward Verde Ave. This garage was built in the 1970's or early 1980's and is not an original historic structure.

Copper Chief Lot 75 was originally developed with a two story residential home that covered the entire Lot (and maybe a bit extra). At some point before the 1960's the house was demolished, possibly after suffering fire damage, and the Lot sat vacant for a decade or more.

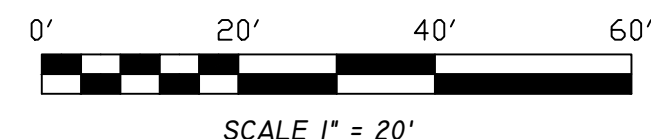
The garage was then built on the previously barren Lot mostly as a means of storage along with a small work space. All modern improvements to the Lot occurred within the last 40 to 50 years.

Created by: KL	Title: Current Structures		
Supplementary information: Project CC75 House Build / Parcel 401-07-022		Size: A1	Sheet: 3 / 17
A02		Part number: A02-CS	
		Date: 04/30/2021	Revision:

SYMBOL LEGEND	
●	Calculated Point Nothing Found or Set
◎	Found 1/2 inch rebar with plastic cap stamped "LS 19853"
◇	Set MAG nail in lead plug with brass washer stamped "LS 32224"
⊗	Found 5/8 inch rebar with plastic cap stamped "LS 32224"—unless noted
✦	Found 1 inch O.D. smooth pin with no identification – unless noted
◎	Set 1/2 inch rebar with aluminum cap stamped "LS 32224"
↗	Indicates Line not to Scale
()	Indicates Record Dimensions per Book 139 of Land Surveys, Page 50
< >	Indicates Record Dimensions per Book 2 of Maps and Plats, Page 65

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION, IN SEPTEMBER 2020 IN CONFORMANCE WITH THE ARIZONA BOUNDARY SURVEY MINIMUM STANDARDS ADOPTED IN FEBRUARY OF 2002.

- (1) THIS PLAT WAS PREPARED FOR THE SOLE BENEFIT OF KEITH LAZARO. IT WAS PREPARED FOR SPECIFIC USERS AND FOR A SPECIFIC PURPOSE PURSUANT TO AN AGREEMENT WITH THE CLIENT AND AS SUCH ITS PURPOSE MAY BE MISLEADING TO OTHERS. FOR THESE REASONS, USE BY OTHERS IS FORBIDDEN WITHOUT THE EXPRESS WRITTEN CONSENT OF THE CERTIFIER SIGNED HEREON.
- (2) THE SURVEYORS CERTIFICATION IS SUBJECT TO A LIMITATION OF LIABILITY. THE GENERAL PUBLIC ARE ON NOTICE THAT THIS RESULTS OF SURVEY IS SUBJECT TO A LIMITATION OF LIABILITY NOT TO EXCEED THE PRICE OF THE ORIGINAL PROPOSAL DATED 07/21/2020 BETWEEN CAPSTONE PROFESSIONAL SERVICES CORPORATION, AN ARIZONA CORPORATION AND KEITH LAZARO. BY RELIANCE THE ACCEPTANCE OF THESE TERMS IS EFFECTUATED. COPIES OF THE ORIGINAL PROPOSAL ARE AVAILABLE UPON REQUEST.
- (3) BRACKETED DIMENSIONS REPRESENT RECORD DIMENSIONS AS DEFINED IN LEGEND. ALL UNBRACKETED DIMENSIONS REPRESENT MEASURED DIMENSIONS.
- (4) ALL MEASURED BEARINGS AND DISTANCES SHOWN HEREON ARE GRID VALUES BASED UPON THE PROJECTION DEFINITION SHOWN HEREON. THE PROJECTION WAS DEFINED SUCH THAT GRID DISTANCES ARE NEARLY EQUIVALENT TO GROUND DISTANCES IN THE PROJECT AREA. THE BASIS OF BEARINGS IS GEODETIC NORTH. HOWEVER, MEASURED GRID BEARINGS SHOWN HEREON (OR IMPLIED BY GRID COORDINATES) DO NOT EQUAL GEODETIC BEARINGS DUE TO MERIDIAN CONVERGENCE.
- (5) THIS SURVEY IS SUBJECT TO ALL CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS, RIGHTS OF WAY AND ALL OTHER MATTERS WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.



THE BASIS OF BEARINGS FOR THIS SURVEY IS
GEODETIC NORTH AS DETERMINED FROM GPS
OBSERVATIONS. SEE SURVEYOR'S NOTE 4 ABOVE.

See Book 139 L.S., Page 50
& Book 59 L.S., Page 34
(S 89°43'38" E 118.86')
S 89°29'45" E 118.54'

ZONE: VERDE VALLEY

LATITUDE OF GRID ORIGIN :	34°40'N
LONGITUDE OF CENTRAL MERIDIAN:	112°00'W
NORTHING AT GRID ORIGIN:	80,000.00 FT
EASTING AT CENTRAL MERIDIAN:	80,000.00 FT
CENTRAL MERIDIAN SCALE FACTOR:	1.000185 EXACT



No.	REVISED BY	DATE

PROJECT No.
12007221

DATE
9/9/2020

DATE OF SURVEY
9/4/2020

DRAWING BY
STAN DICKEY

SHEET
1/1

Site Plan

- Notes: 1. The Front of the Site will be off of Fourth Street on the South end of the Property.
2. The Front Yard off Fourth Street will be 10 Feet deep with a standard 5 Foot Side Yard on the West side of the Property.
3. The Rear Yard is 20 Feet deep and is where the Two Car Offstreet Parking Area is located.
4. The Front Yard off of Verde Avenue will be 5 Feet deep as proposed pursuant to Section 505.D.5.a.1 in the Jerome Zoning Ordinance, which places the House approx. 13 Feet back from the Verde Avenue path of travel.

Total Lot Square Footage: 1710
Building Footprint Square Footage: 583
Building Coverage: 34%

Landscaping and Drainage

△ = Tree

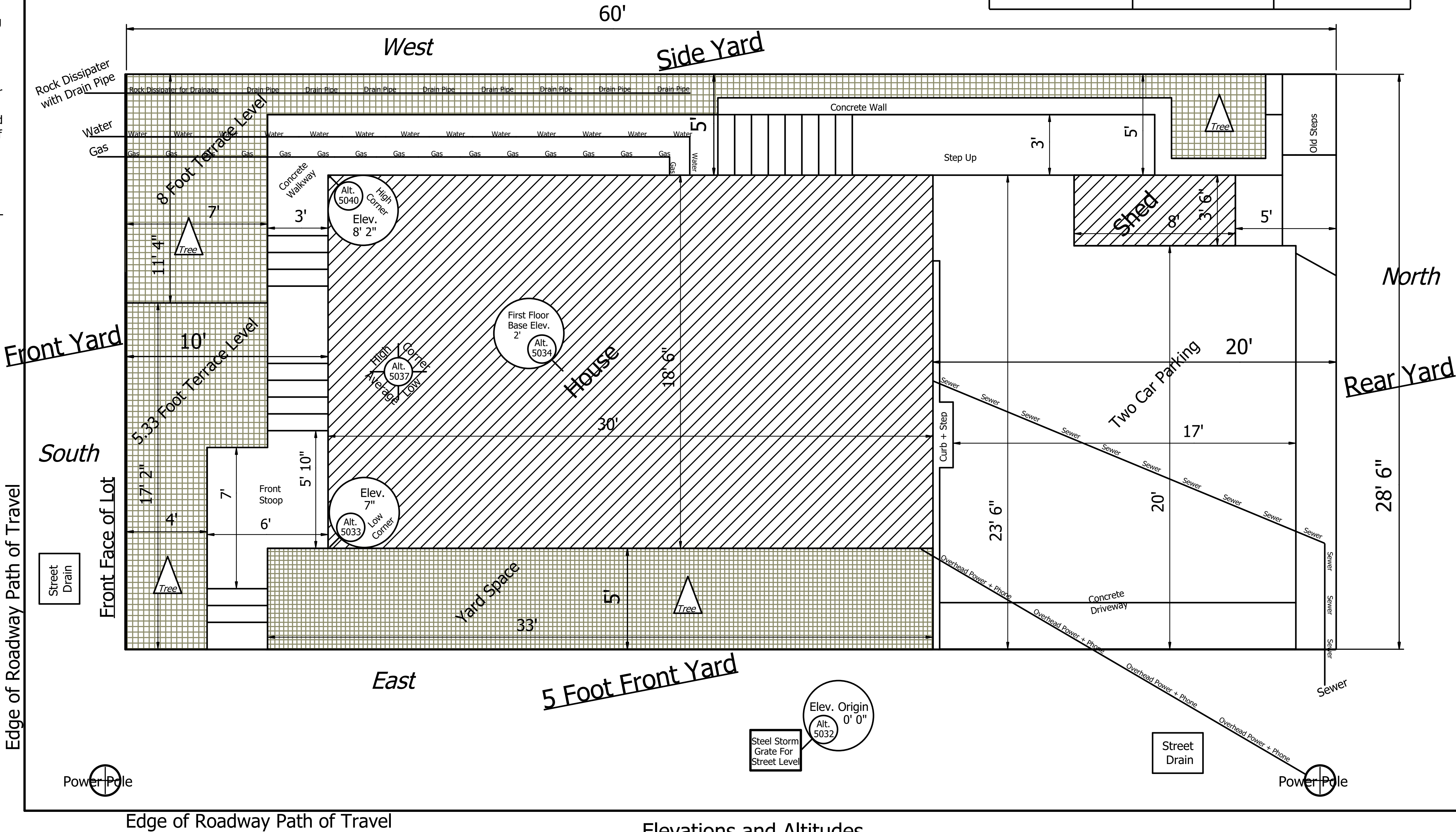
A total of four Trees will be planted in the yard area around the lot. Other foliage may be planted at a later time, including bushes and succulants.

A drain pipe will run parallel to the West edge of the Lot and discharge South into the stormway on Fourth Street after filtering through a Rock Dissipater. The only other drainage will be a plastic lined gravel bed underneath the foundation of the house and basement.

Utilities

Water and Gas connections will come from Fourth Street on the South of the Lot. Overhead Power and Phone lines will attach to the Power Pole near the northeast corner of the Lot. The Sewer line will attach to the town sewer line running parallel with the North edge of the Lot.

Yard	Standard	Proposed
Front Yard	10ft/10ft	10ft/5ft
Side Yard	5ft	5ft
Backyard	20ft	20ft



Elevations and Altitudes

To see a Crosscut view of the existing High and Low Corner point altitudes overlayed with the new house go to Page A05, Ref. 01.

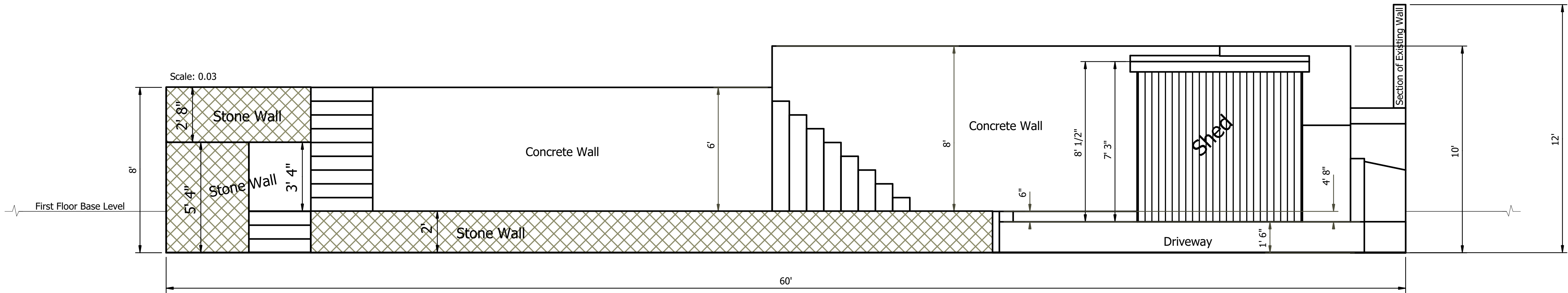
Site Elevations are measured based on their height above the steel storm grate on the East side of the lot. The base of the First Floor will be 2 feet above the storm grate level.

Altitude measurements are rounded to the nearest foot and taken from the existing site topography. The site's Average Altitude is 5037 based on the high and low corner altitudes.

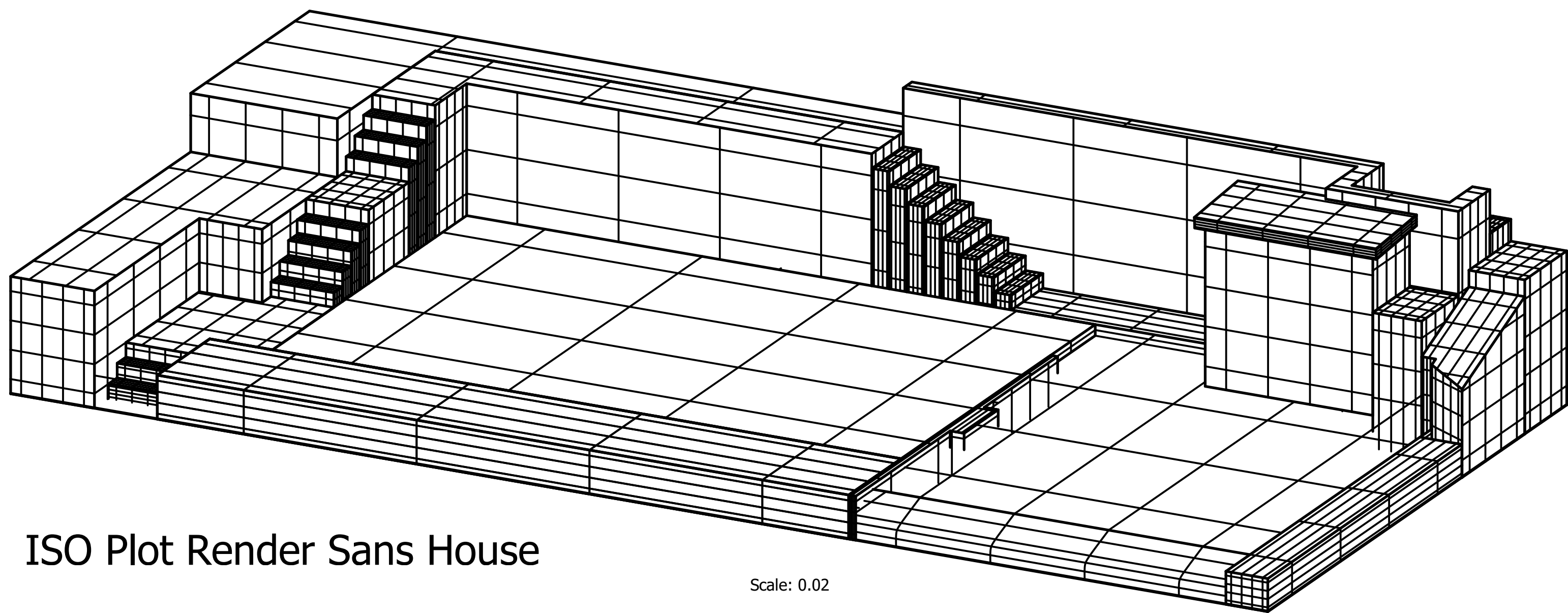
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Supplementary information: Project CC75 House Build / Parcel 401-07-022			
A04			
Size: A1	Sheet: 5 / 17	Scale: 0.03	
Part number: A04-SP			
Drawing number: A04-SP			
Date: 04/30/2021		Revision:	

Site Elevations Sans House

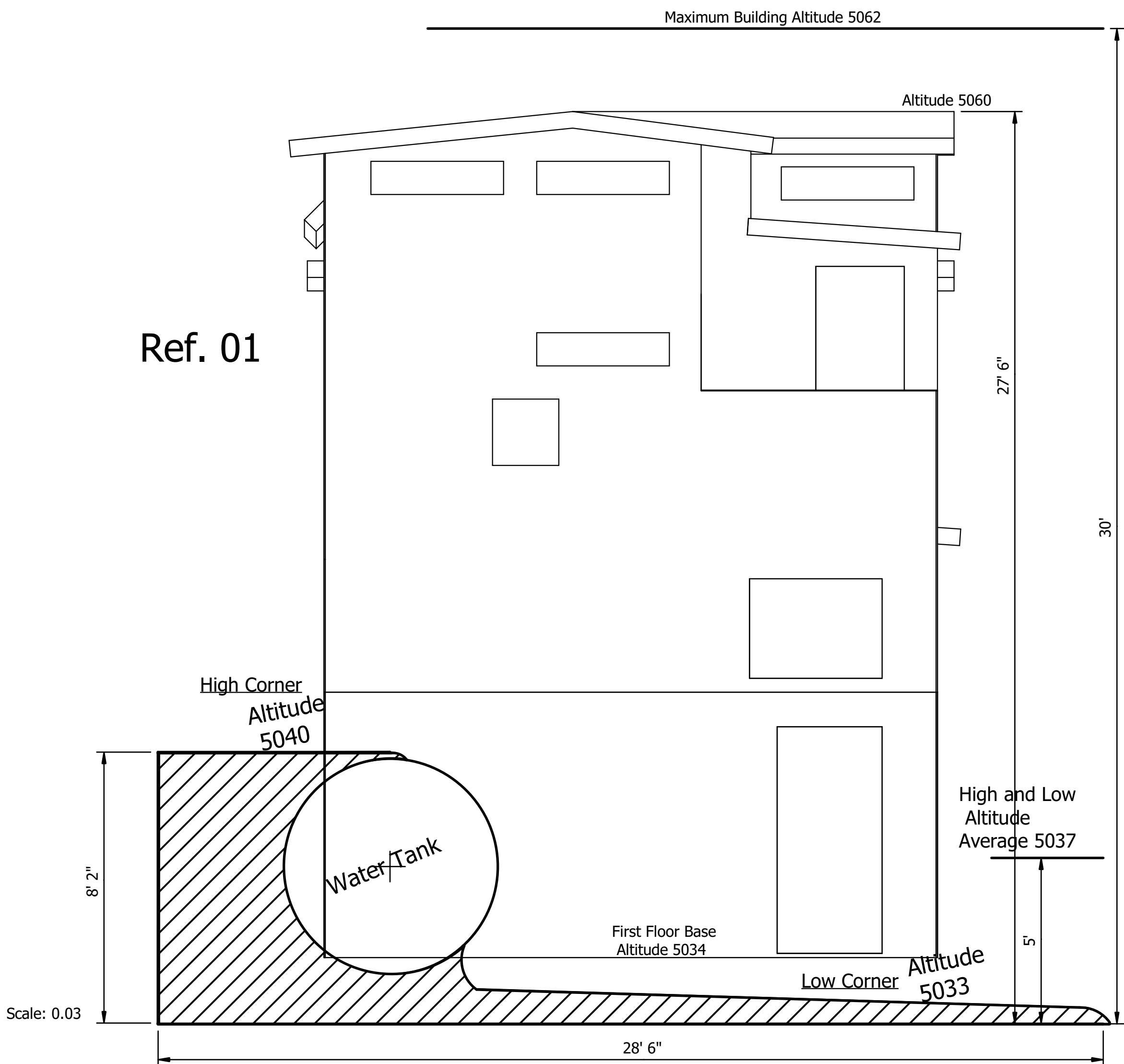
- Notes: 1. The Shed will be clad and roofed with the same salvaged corrugated siding as the lower portion of the new house.
2. The North West Corner of the property is positioned on top of an existing wall retaining the neighbors yard.



Eastern Plot Elevations Sans House



ISO Plot Render Sans House



Existing Crosscut Of High And Low House Corner Altitudes

Existing Property Elevation And Grade

Currently the Western side of the property is being retained by a previously burried Water Tank. Previously the Tank was hidden by and held behind a stone retaining wall that has since been removed in preparation for lot development. The Tank will be removed prior to starting construction leaving an open dirt embankment.

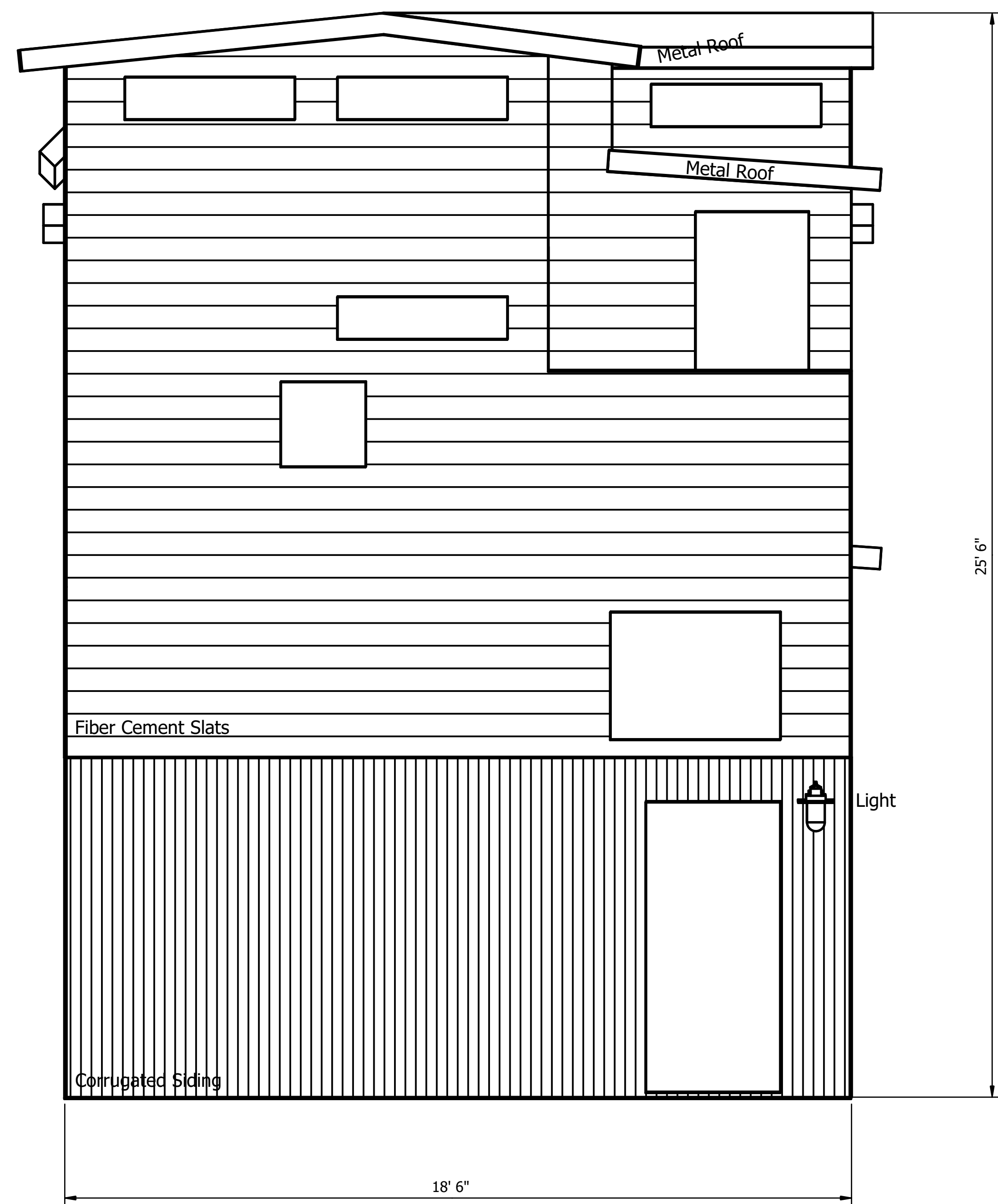
Altitudes And First Floor Base

All Altitudes are rounded to the nearest foot. The Low Corner Altitude measures at 5033 feet and the High Corner Altitude measure 5040 feet making an Average Altitude of 5037 feet. The First Floor Base Altitude is proposed at 5034 feet, 3 feet less than the Average Altitude of 5037 feet.

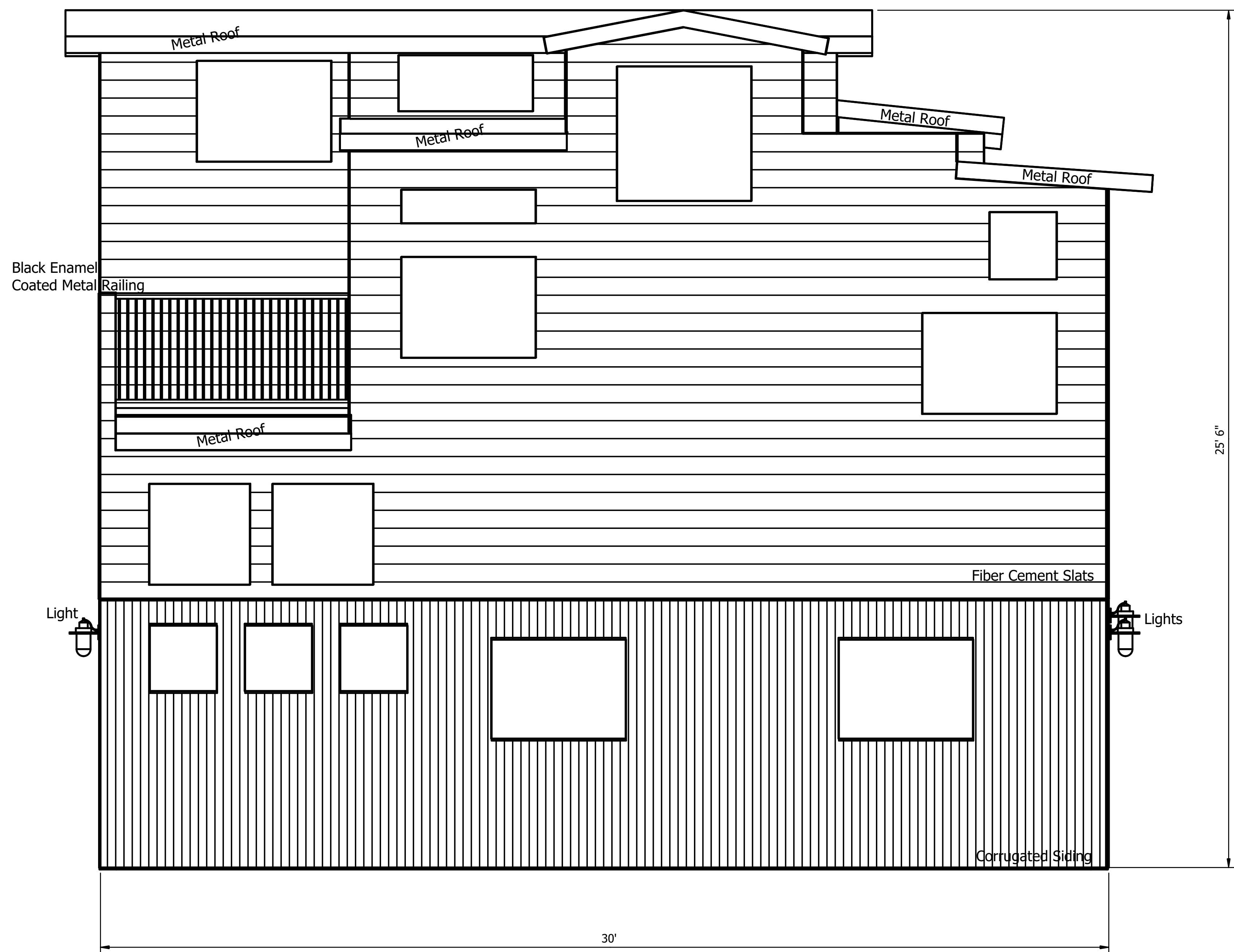
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Supplementary information: Project CC75 House Build / Parcel 401-07-022		Size: A1	Sheet: 6 / 17
<div>A05</div>		Scale: .02, .03	
		Part number: A05-EL	
		Drawing number: A05-EL	
		Date: 04/30/2021	Revision:

A05

House Exteriors SE



South Face



East Face

- Notes:
- 1. Corrugated metal sheets will be salvaged from the old garage on site and reused as siding on the lower portion of the new house. Cement slats that resemble wood siding will be used on the upper portion of the new house and all Roofs will be clad with modern seamless metal roof panels.
 - 2. All siding will be finished with the same paint color making it nearly indistinguishable from a distance.
 - 3. Colors and material samples will be provided seperately.

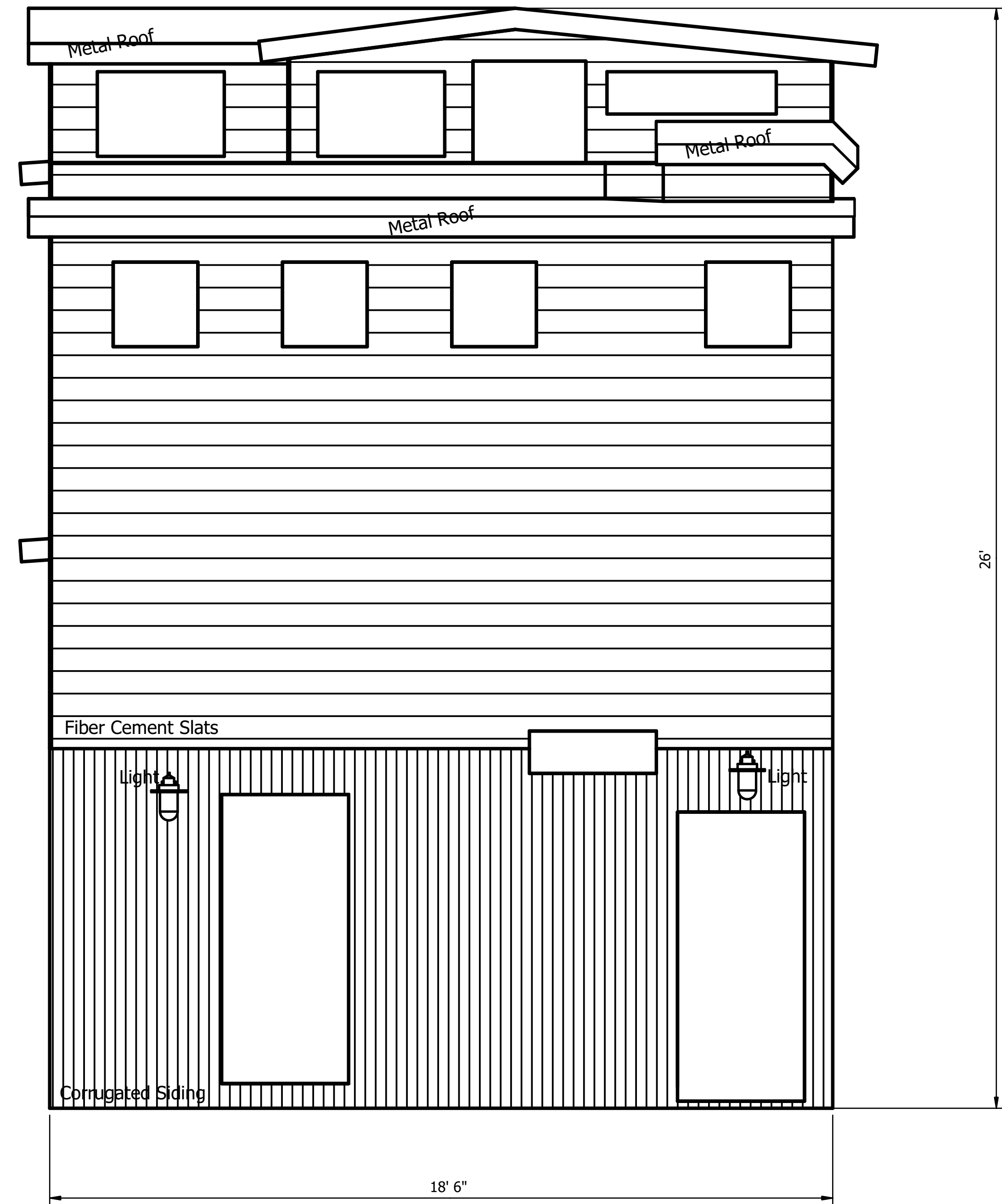
Lighting

A total of 3 Outdoor Lantern Style Lights will all be attached to the main house structure.

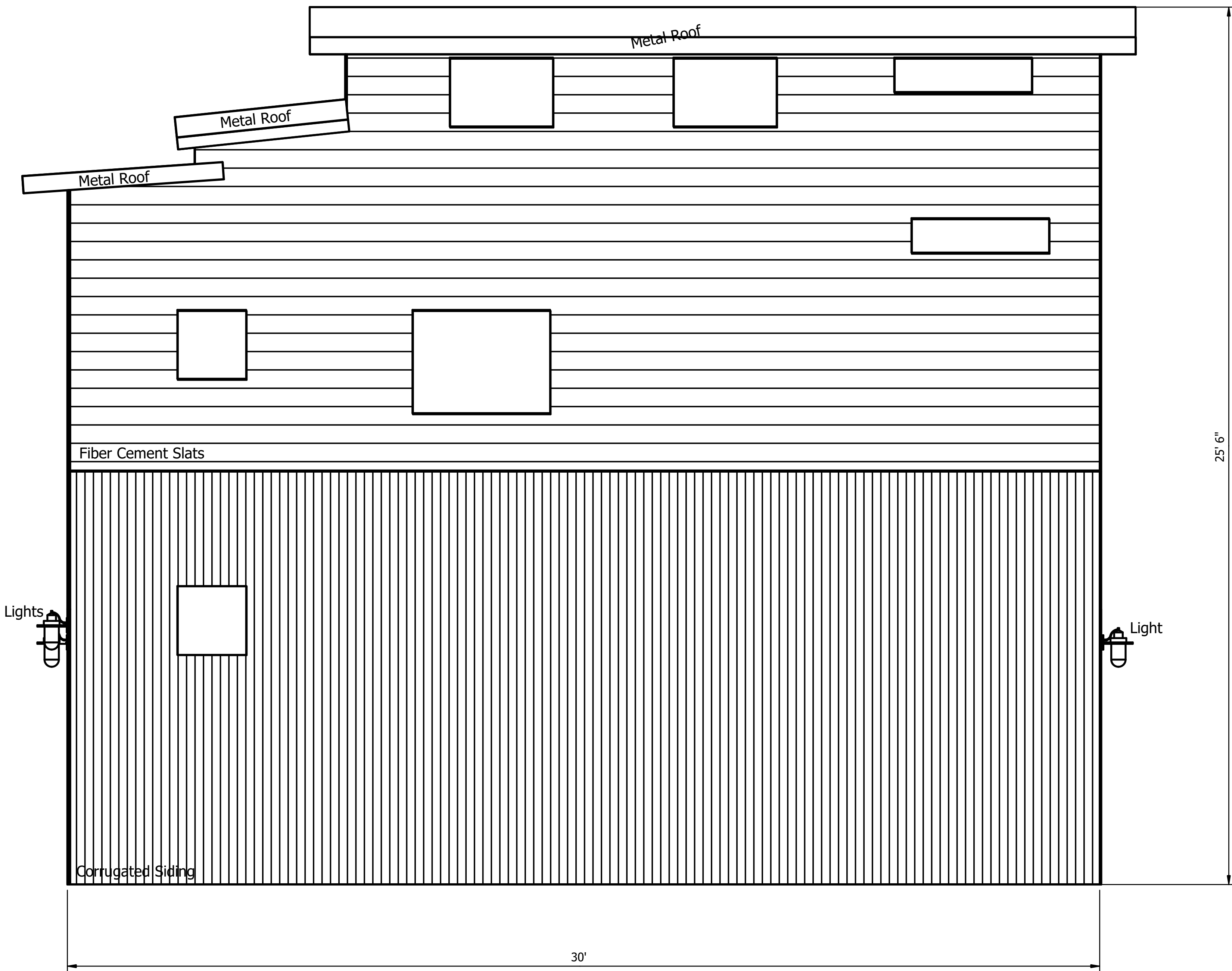
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Supplementary information: Project CC75 House Build / Parcel 401-07-022				
<div>A06</div>		Size: A1	Sheet: 7 / 17	Scale: 0.04
		Part number: A06-X1		
		Drawing number: A06-X1		
		Date: 04/30/2021	Revision:	

A06

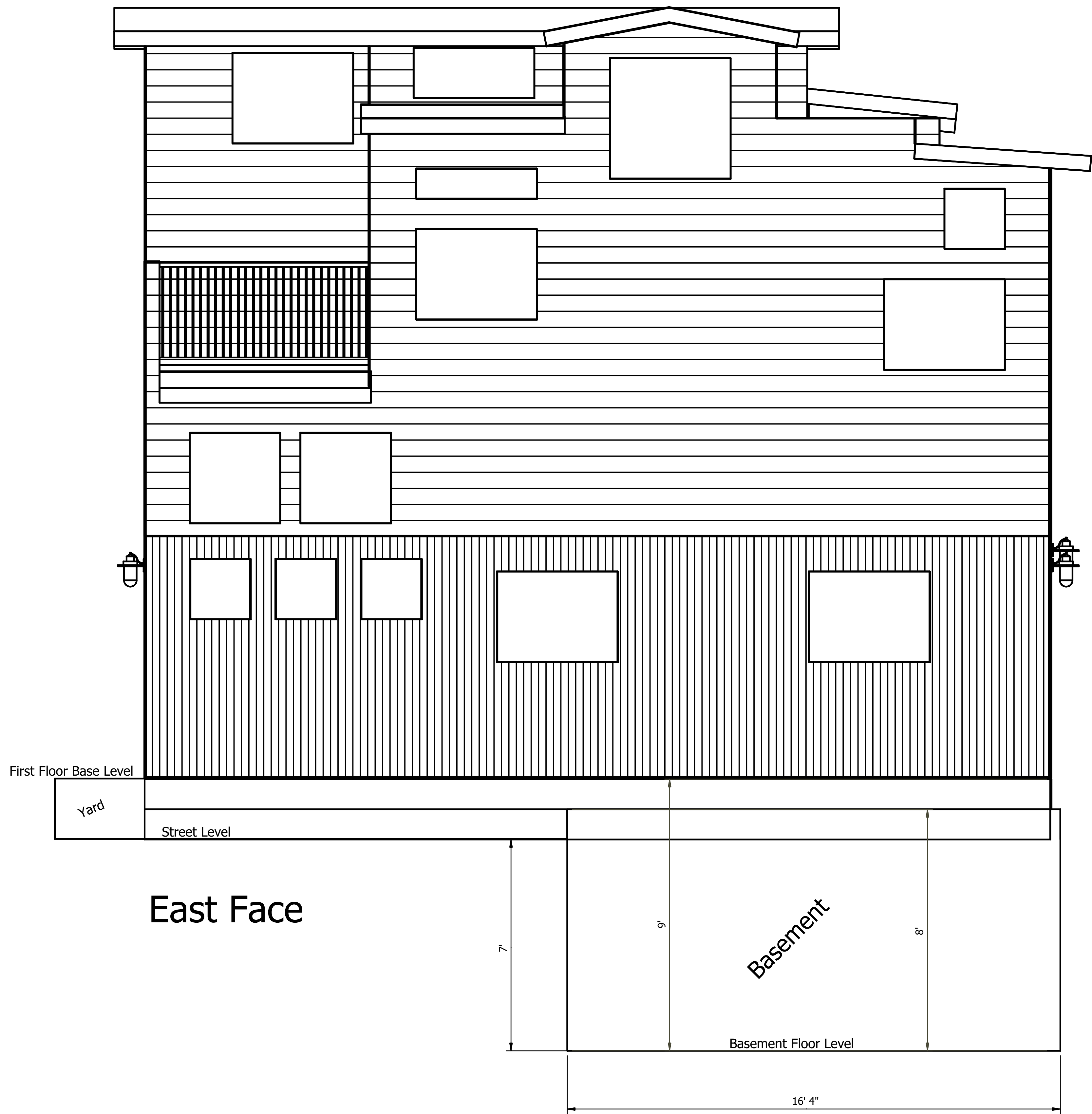
House Exteriors NW



North Face



West Face



First Floor Base Level

Yard

Street Level

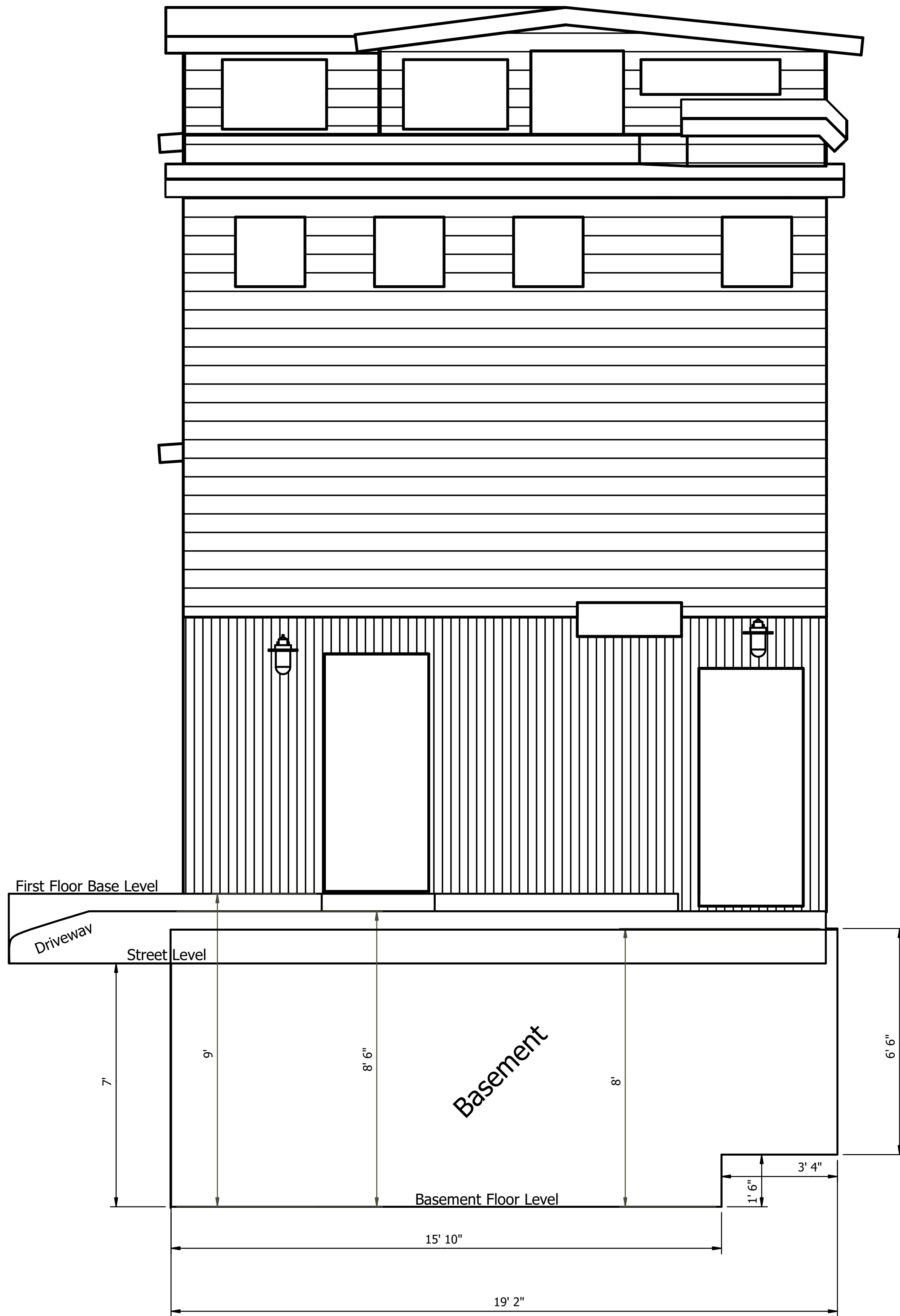
East Face

Basement

Basement Floor Level

16' 4"

Exterior With Basement



First Floor Base Level

Driveway

Street Level

7'

9'

8' 6"

Basement

8'

Basement Floor Level

15' 10"

19' 2"

6' 6"

3' 4"

1' 6"

North Face

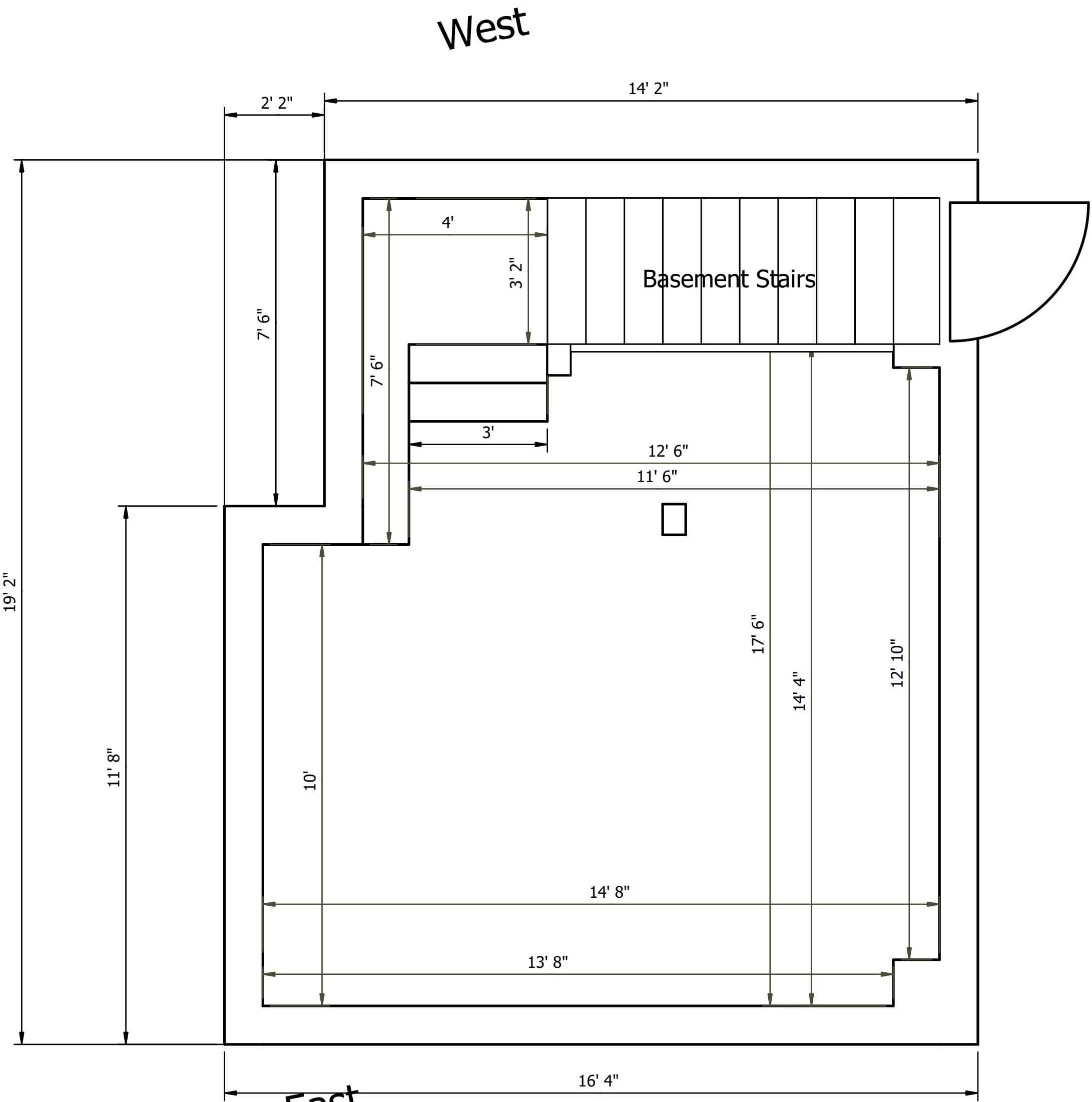
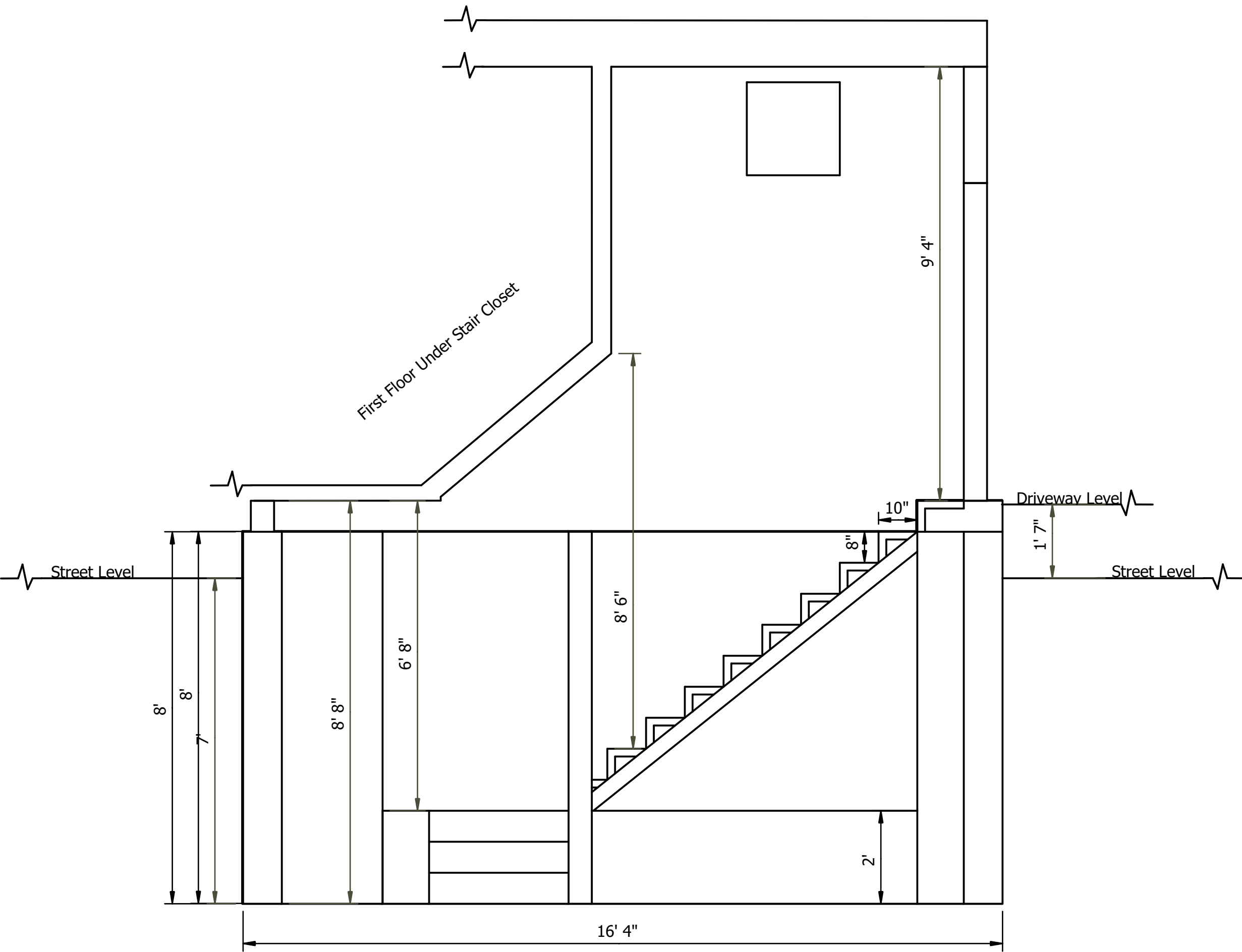
Notes: 1. Basement width measurements include wall thickness.

2. The Basement foundation and floor pad (Not Shown) extend an additional 4 to 12 inches below the Floor Level.

Created by: KL		Title: House Exterior with Basement		
Supplementary information: Project CC75 House Build / Parcel 401-07-022		Size: A1	Sheet: 9 / 17	Scale: 0.04
<div>A08</div>		Part number: A08-XB		
		Drawing number: A08-XB		
		Date: 04/30/2021		Revision:

A08

Basement Plan

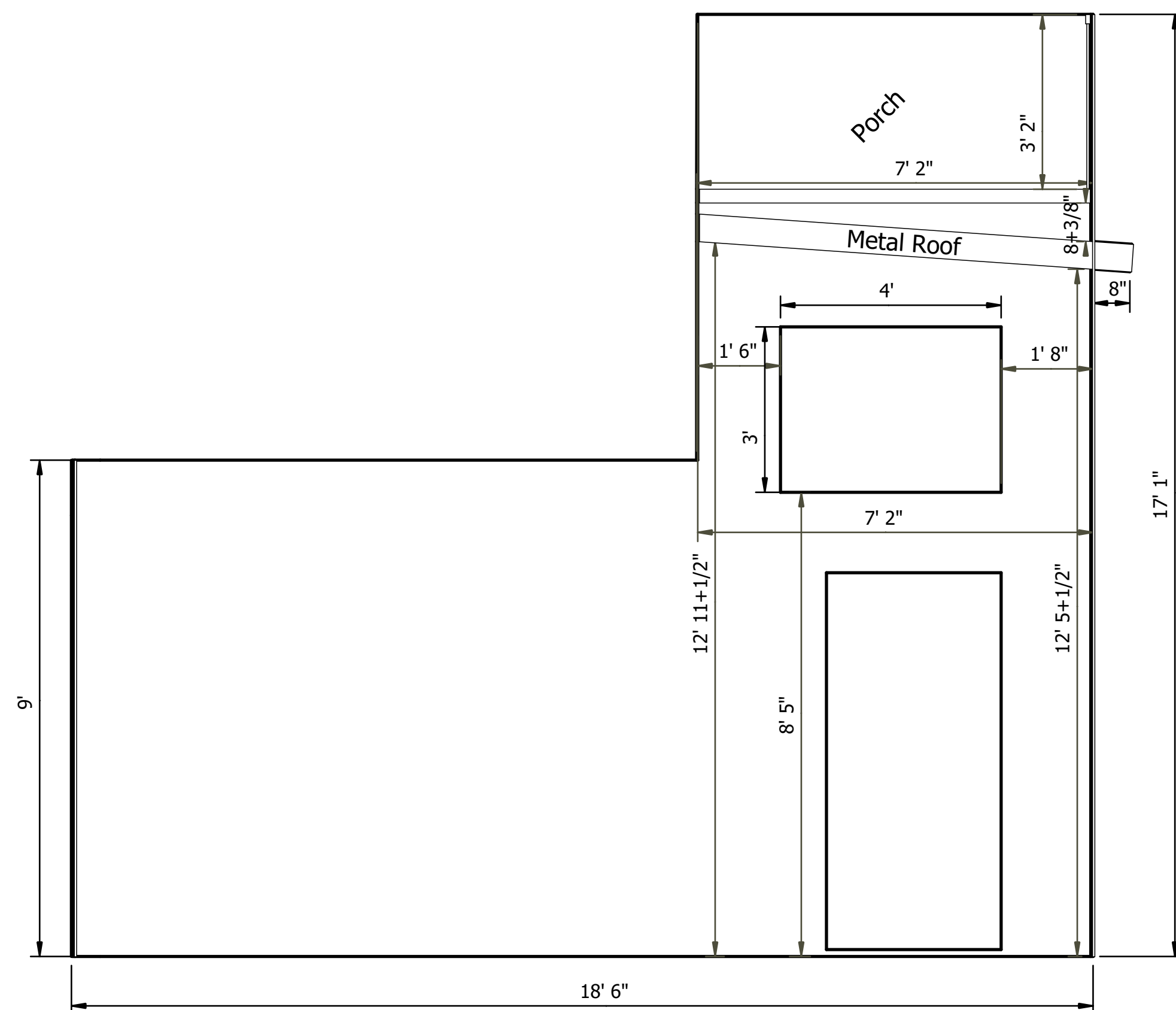


Notes: 1. The Basement provides storage space and also houses the Water Heater and Water Purification System (Not Shown).

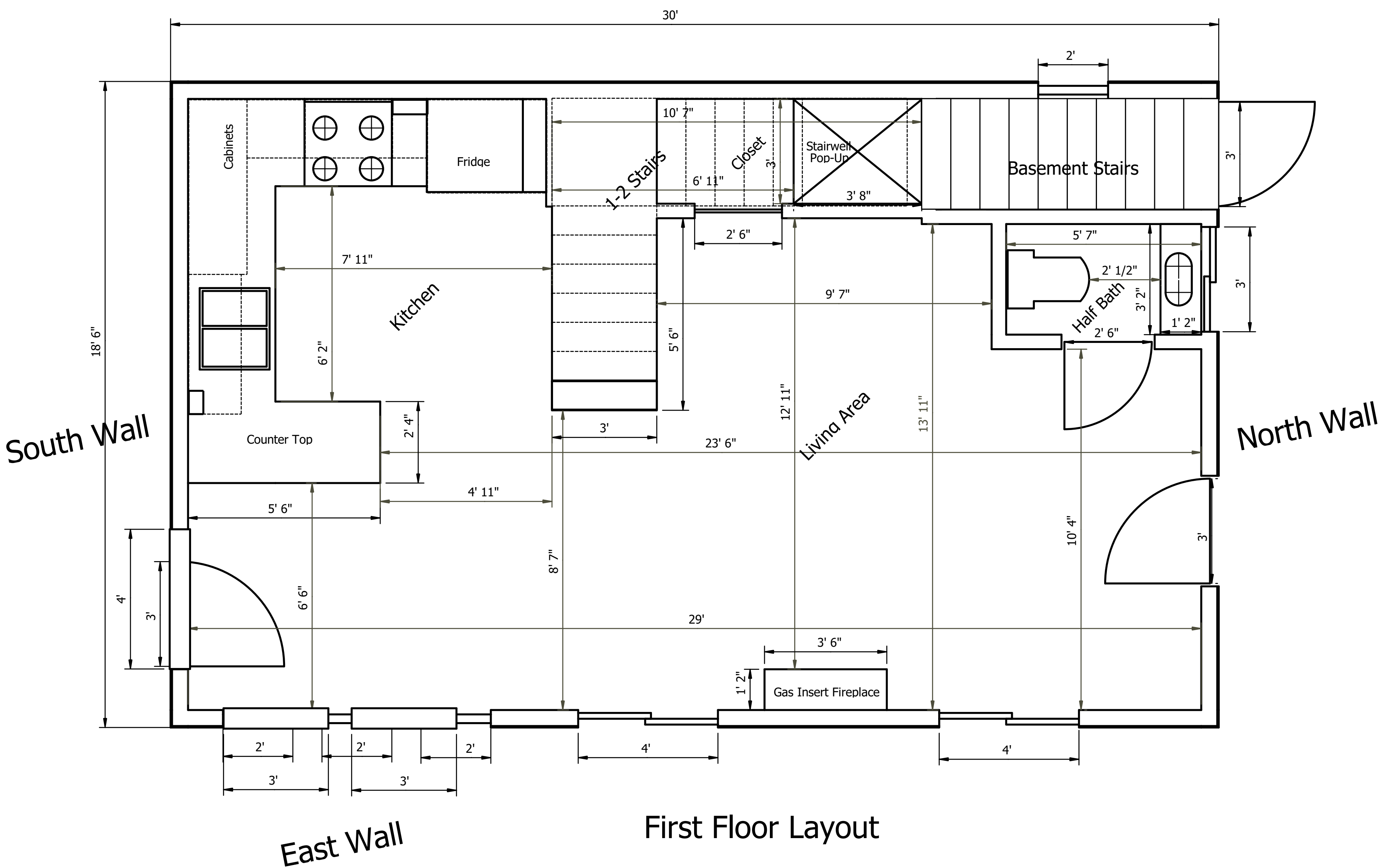
Scale: 1 In = 20.2 Ins or 0.04% scale from actual size

Created by: KL		Title: Basement Plan		
Supplementary information: Project CC75 House Build / Parcel 401-07-022		Size: A1	Sheet: 10 / 17	Scale: 0.04
A09		Part number:		
		Drawing number: A09-BM		
		Date: 04/30/2021	Revision:	

First Floor Plan



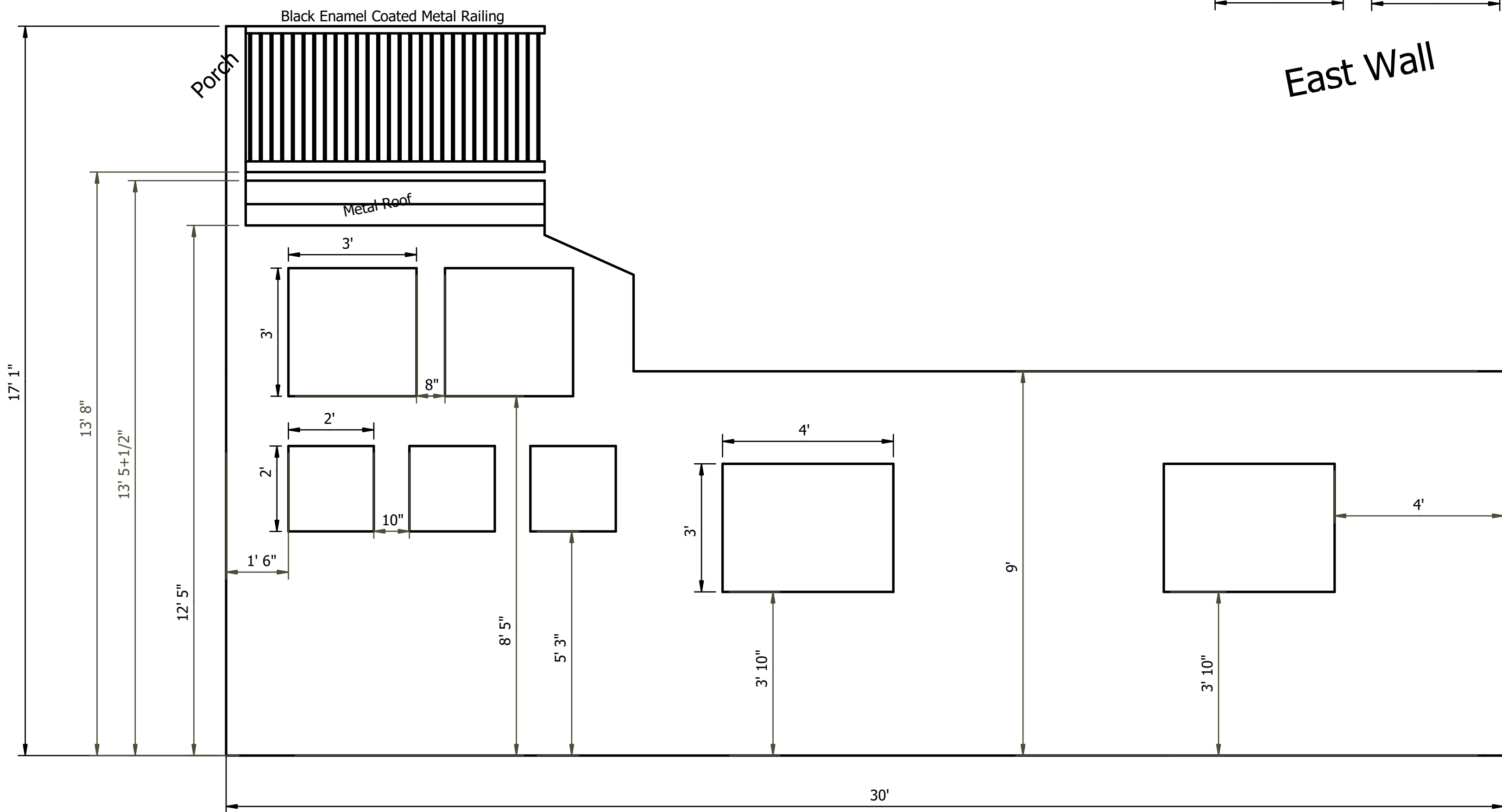
First Floor South Wall Window Elevation



First Floor Layout

- Notes:**
1. The First Floor features the Kitchen and Living Area along with a Half Bathroom.
 2. The Font Door on the South Wall leads out to the fenced Front Yard while the Back Door on the North Wall leads out to the Parking Area.
 3. A storage closet with a sliding door is located underneath the 1-2 Stairs.
 4. A Gas Insert Fireplace is also located on the First Floor for heating during the winter.

Scale: 1 In = 20.2 Ins or 0.04% scale from actual size

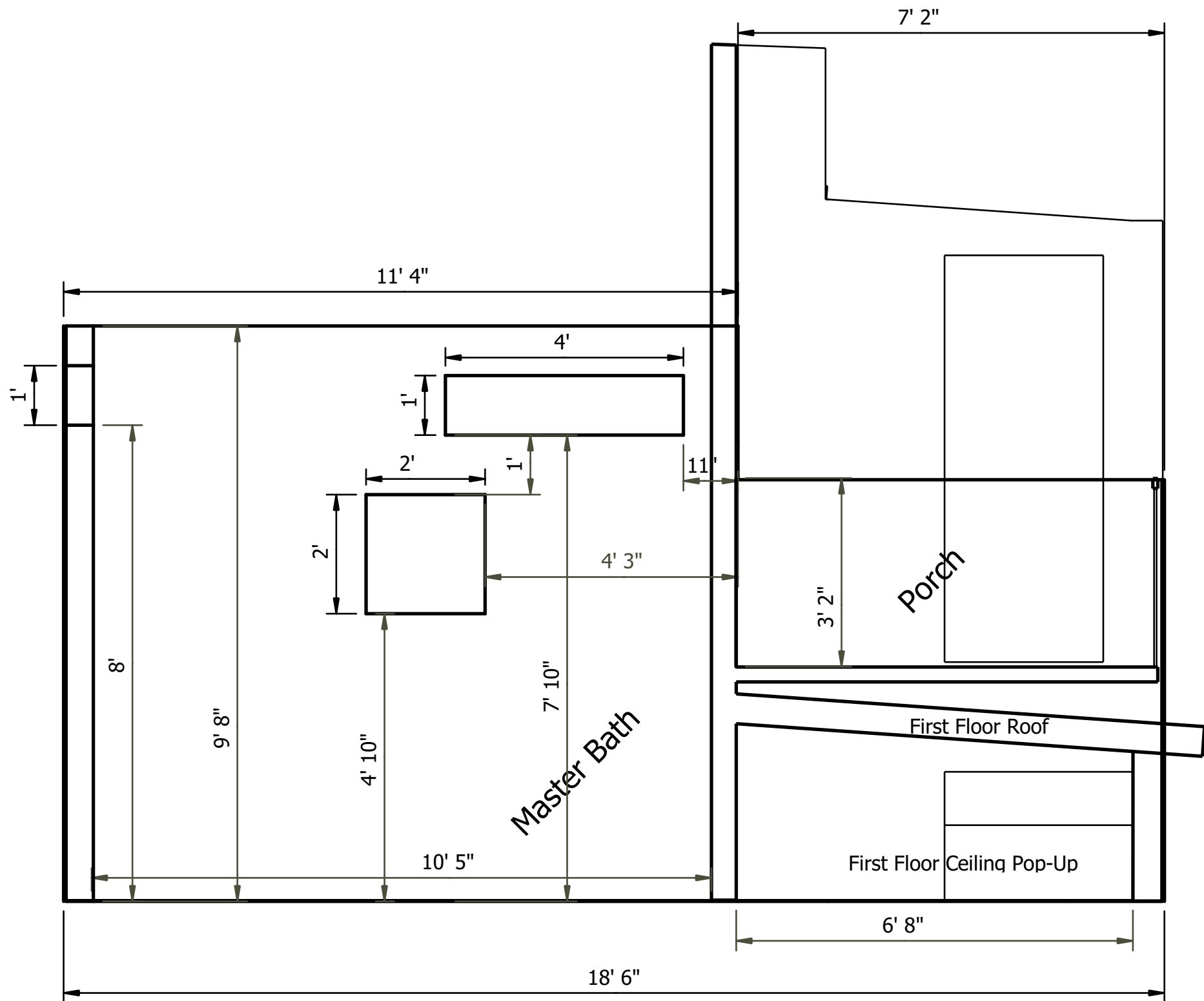


First Floor East Wall Window Elevations

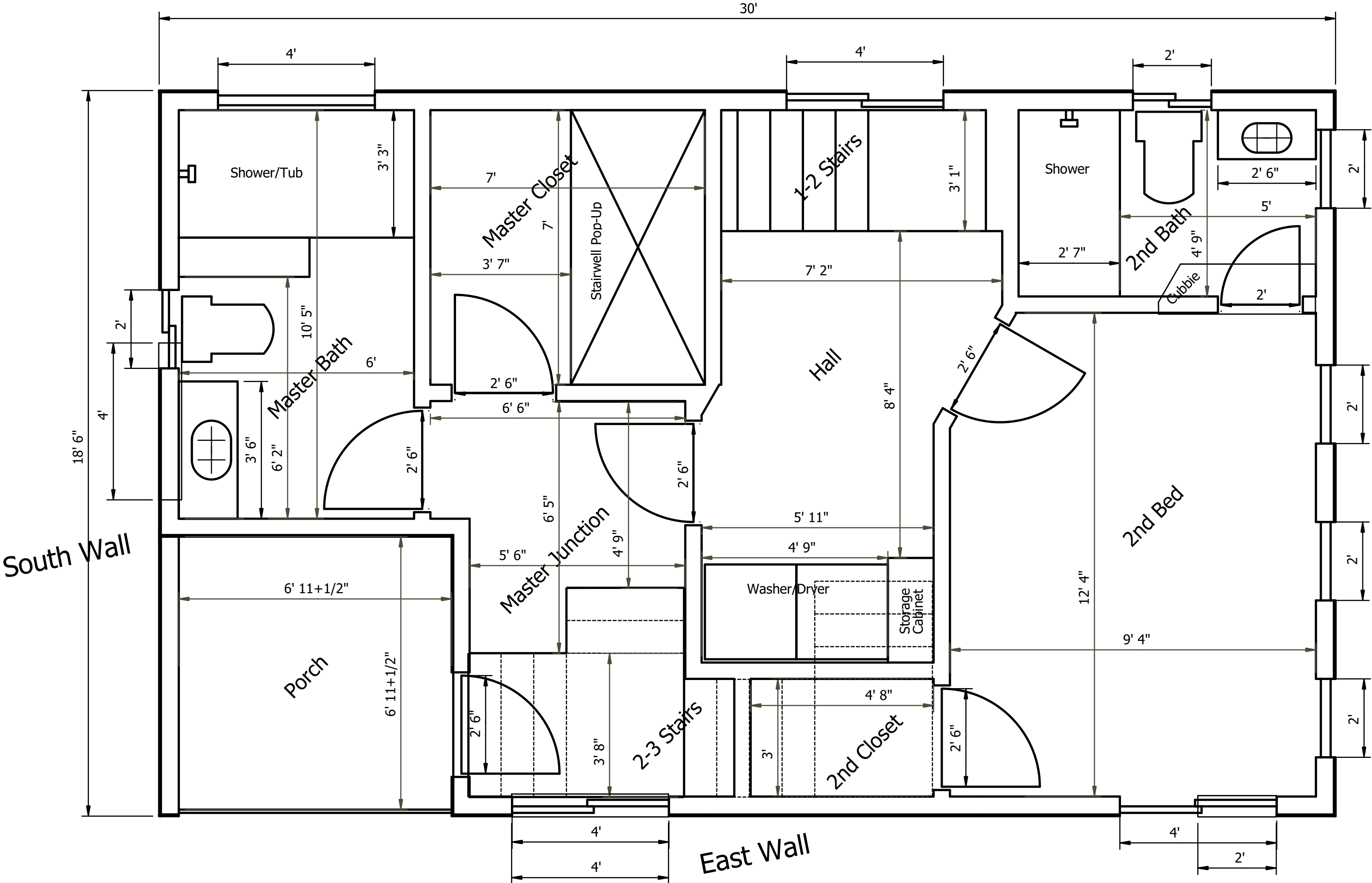
Created by: KL		Title: First Floor Plan		
Supplementary information: Project CC75 House Build / Parcel 401-07-022				
<div>A10</div>		Size: A1	Sheet: 11 / 17	Scale: 0.04
		Part number:		
		Drawing number: A10-F1		
		Date: 04/30/2021	Revision:	

A10

Second Floor Plan

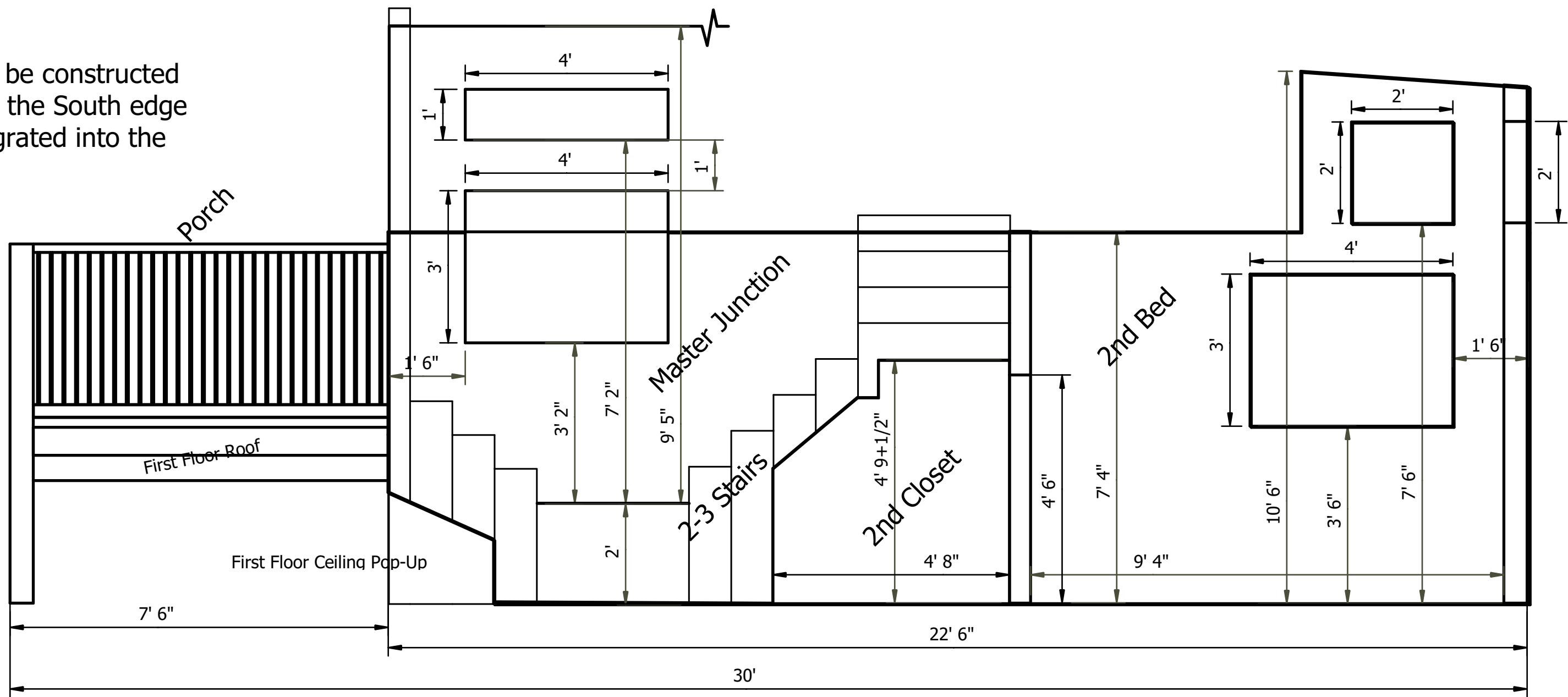


Second Floor South Wall Window Elevations



Second Floor Layout


Porch Notes: The Porch and East rail will be constructed out of structural steel while the South edge will be a solid banister integrated into the South Wall.



Second Floor East Wall Window Elevations with Stairs

- Notes:
1. The Second Floor features a Second Bedroom, half of the Master Bedroom, a Laundry Area in the Hall, as well as access to the Porch.
 2. The Second Bedroom has its own Bathroom with a small Closet under the Stairs for the Master Loft and a built in cubbie space above the Bathroom door.
 3. The Laundry Area in the Hall features a Washer and Dryer along with a small Storage Cabinet/Closet located partially underneath the Stairs for the Master Loft.
 4. The Master Bathroom and Master Closet are also located on the Second Floor with a Pop-Up for the 1-2 Stairwell creating a 3ft 4in raised shelf/step in the Master Closet.

Scale: 1 In = 20.2 Ins or 0.04% scale from actual size

Created by: KL		Title: Second Floor Plan		
Supplementary information: Project CC75 House Build / Parcel 401-07-022		Size: A1	Sheet: 12 / 17	Scale: 0.04
<div>A11</div>		Part number:		
		Drawing number: A11-F2		
		Date: 04/30/2021		Revision:
		<div></div>		

A11

Architectural floor plan of a tiny house with the following dimensions and features:

- Overall Dimensions:** 21' 11+1/2" wide by 25' 6+1/2" deep.
- Rooms and Features:**
 - Raised Bed Area:** 5' wide, located on the left side.
 - Awning Window:** Located on the top wall of the main living area.
 - Master Loft:** Accessible via a 2-3 Stairs, featuring a window that is 7' 4" wide and 8' 4" high.
 - Parapet:** 3' 9" wide, located on the right side.
 - Porch:** Located at the bottom left of the plan.
- Other Dimensions:**
 - 9' 5+1/2" wide section on the right side.
 - 8' 4" high section for the Master Loft stairs.


This is a detailed floor plan of a mobile home, oriented horizontally. The overall dimensions are 26' 4" wide by 18' 6" deep. The plan includes the following rooms and features:

- Master Loft:** Located in the upper right, measuring 11' 11" by 17' 6". It contains a "Boxed Headboard" (7' 5" x 1' 3"), "Built In Shelves" (7' 2" x 1'), a "Fireplace", a "Raised Step" (2' x 4'), and a "Parapet" (14' 4" x 3' 1 1/2").
- Top Stair:** Located in the lower right, measuring 6' 2" by 4' 1 1/2".
- 2-3 Stairs:** Located in the lower center, measuring 6' 5" by 4'.
- East Wall:** The bottom boundary of the plan, measuring 7' 1" by 4' 7".
- Awning Window:** Located on the left side, measuring 4' by 4'.
- Storage:** Located in the upper left, measuring 3' 11" by 3' 2".
- Evaporative Cooler:** Located in the upper right, measuring 3' 11" by 3' 2".
- Shelves:** Located in the upper right, measuring 3' 11" by 3' 2".
- Step:** Located in the upper right, measuring 2' 6" by 3' 1 1/2".
- Built In Shelves:** Located in the upper right, measuring 7' 2" by 1'.
- Boxed Headboard:** Located in the upper right, measuring 7' 5" by 1' 3".
- Fireplace:** Located in the upper left, measuring 4' by 4'.
- Raised Step:** Located in the upper left, measuring 2' by 4'.
- Parapet:** Located in the upper right, measuring 14' 4" by 3' 1 1/2".
- Top Stair:** Located in the lower right, measuring 6' 2" by 4' 1 1/2".
- 2-3 Stairs:** Located in the lower center, measuring 6' 5" by 4'.
- Awning Window:** Located on the left side, measuring 4' by 4'.

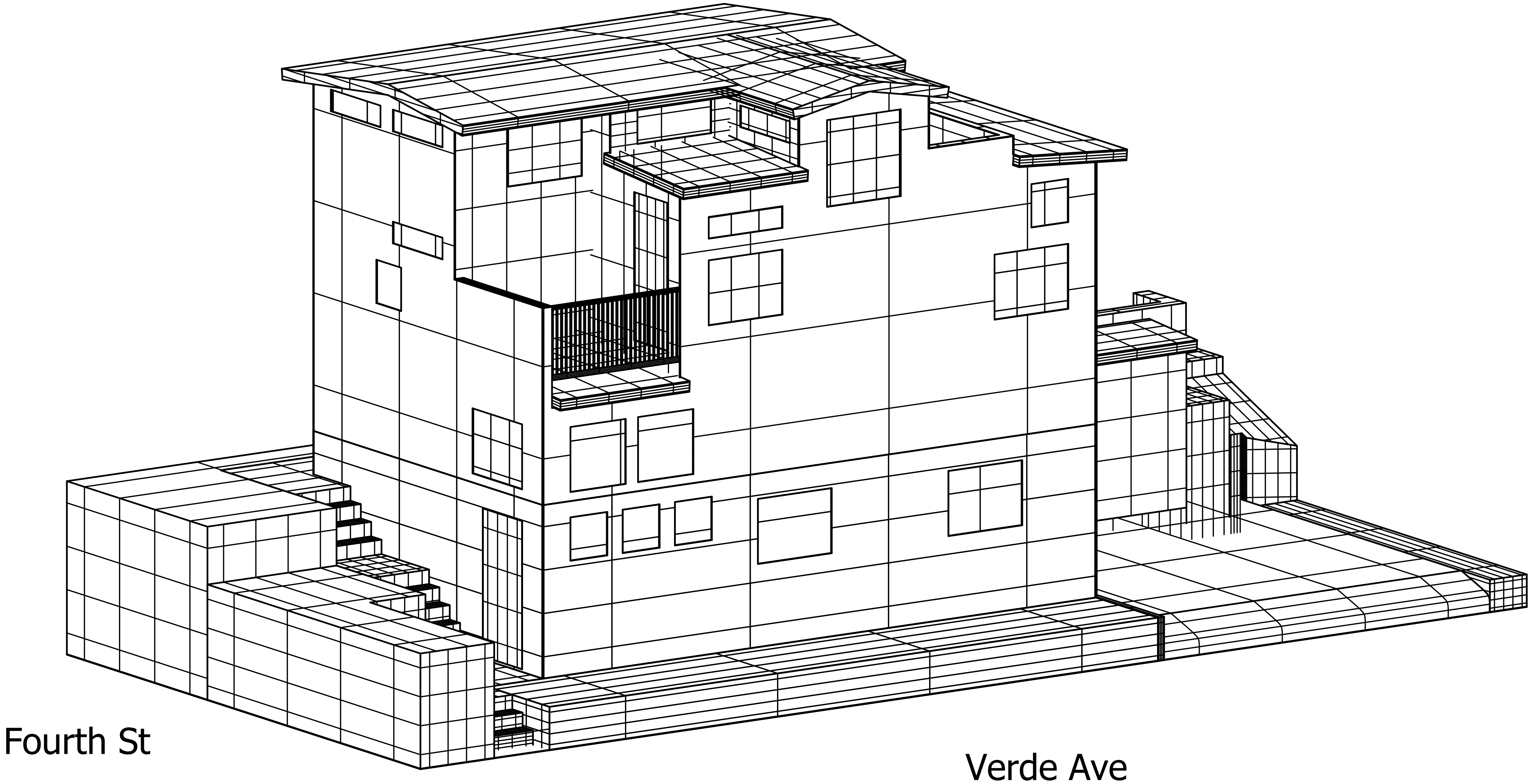
The plan also shows various other dimensions and features, such as the "Master Loft" (11' 11" x 17' 6"), "Top Stair" (6' 2" x 4' 1 1/2"), "2-3 Stairs" (6' 5" x 4'), "East Wall" (7' 1" x 4' 7"), "Awning Window" (4' x 4'), "Storage" (3' 11" x 3' 2"), "Evaporative Cooler" (3' 11" x 3' 2"), "Shelves" (3' 11" x 3' 2"), "Step" (2' 6" x 3' 1 1/2"), "Built In Shelves" (7' 2" x 1'), "Boxed Headboard" (7' 5" x 1' 3"), "Fireplace" (4' x 4'), "Raised Step" (2' x 4'), and "Parapet" (14' 4" x 3' 1 1/2").

Notes:

1. The Third Floor features the Master Loft with access to a Parapet Roof Area.
2. The Master Loft includes a built-in raised Bed Area (King size mattress shown) with shelving and a small Gas Insert or Electric Fireplace.
3. A 4in step on the North Wall of the Master Loft features built-in shelving/storage and has a custom sized door leading to the Parapet.
4. The Parapet allows roof access and houses a Raised Manifold with an Evaporative Cooler all located within a removable roofed enclosure.
5. The Top Stair in the 2-3 Stair set is even with the Master Loft floor level and the Parapet is 3 to 3+1/2 inches raised above floor level.

Created by: KL	Title: Third Floor Plan			
Supplementary information: Project CC75 House Build / Parcel 401-07-022		Size: A1	Sheet: 13 / 17	Scale: 0.04
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		Drawing number: A12-F3		
		Date: 04/30/2021		Revision:

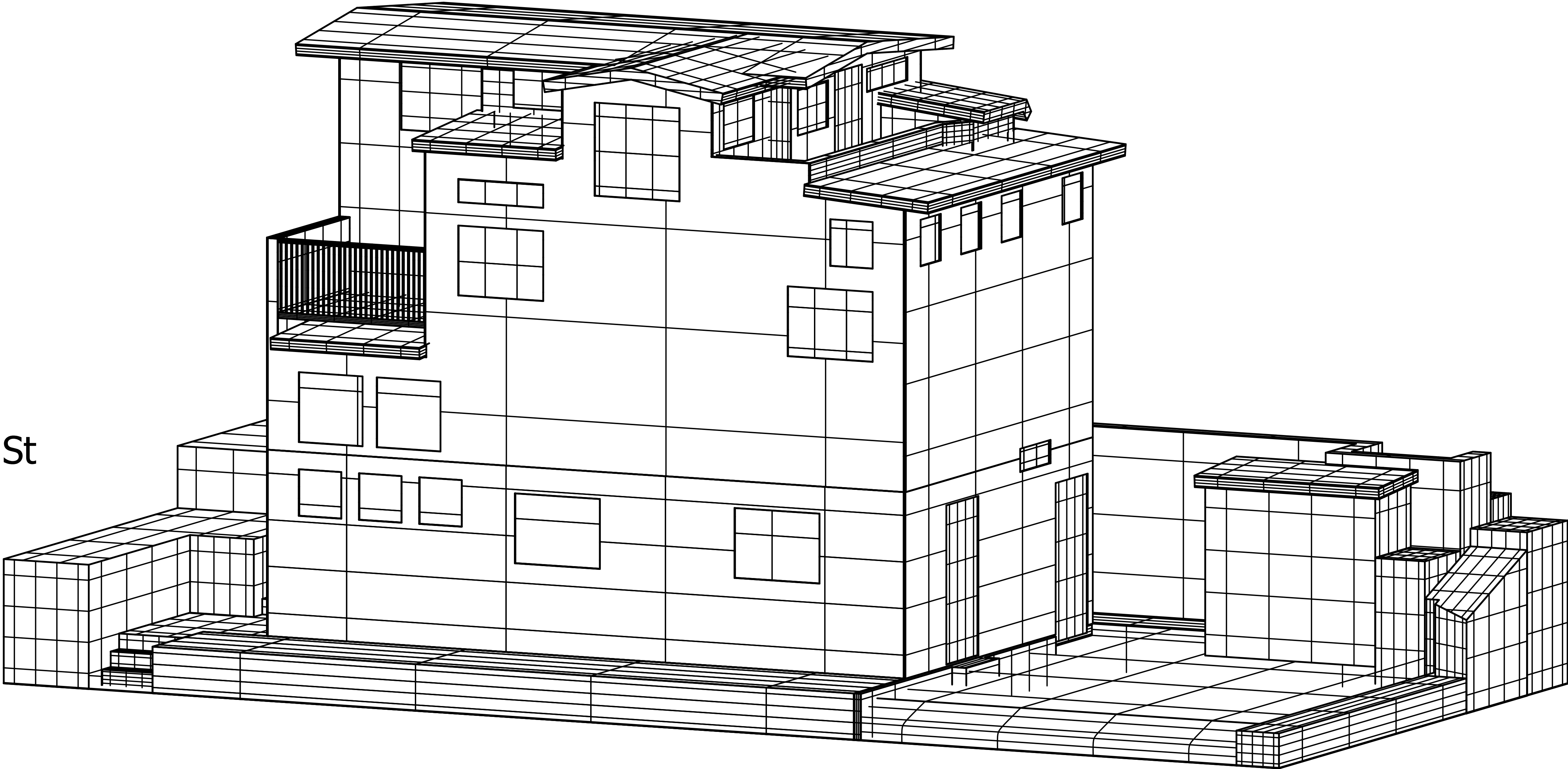
South East ISO Render



Created by: KL		Title: ISO Render SE		
Supplementary information: Project CC75 House Build / Parcel 401-07-022		Size: A1	Sheet: 14 / 17	Scale: 0.03
A13		Part number: A13-S1		
		Date: 04/30/2021	Revision:	

North East ISO Render

Fourth St

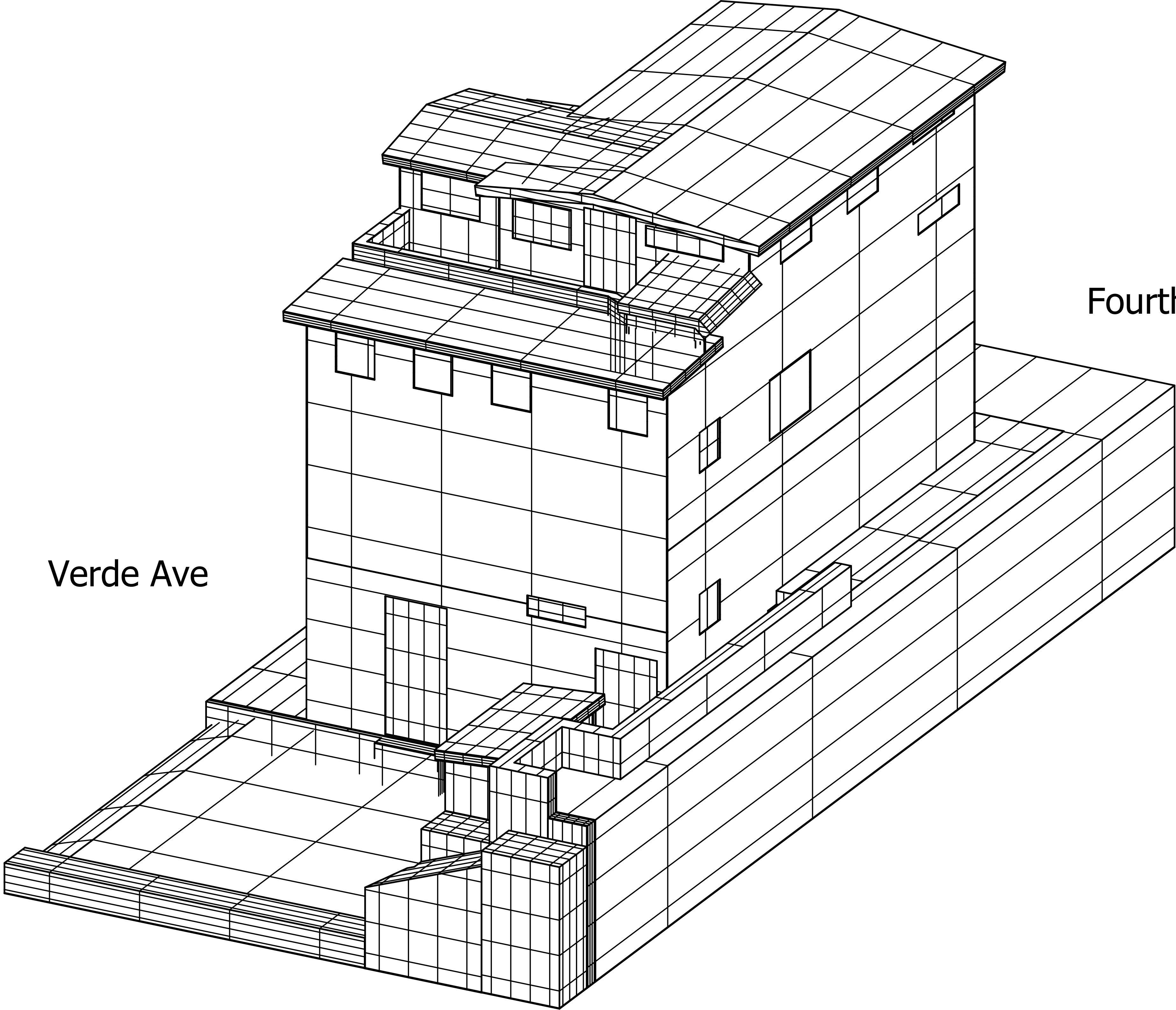


Verde Ave

Created by: KL		Title: ISO Render NE		
Supplementary information: Project CC75 House Build / Parcel 401-07-022		Size: A1	Sheet: 15 / 17	Scale: 0.03
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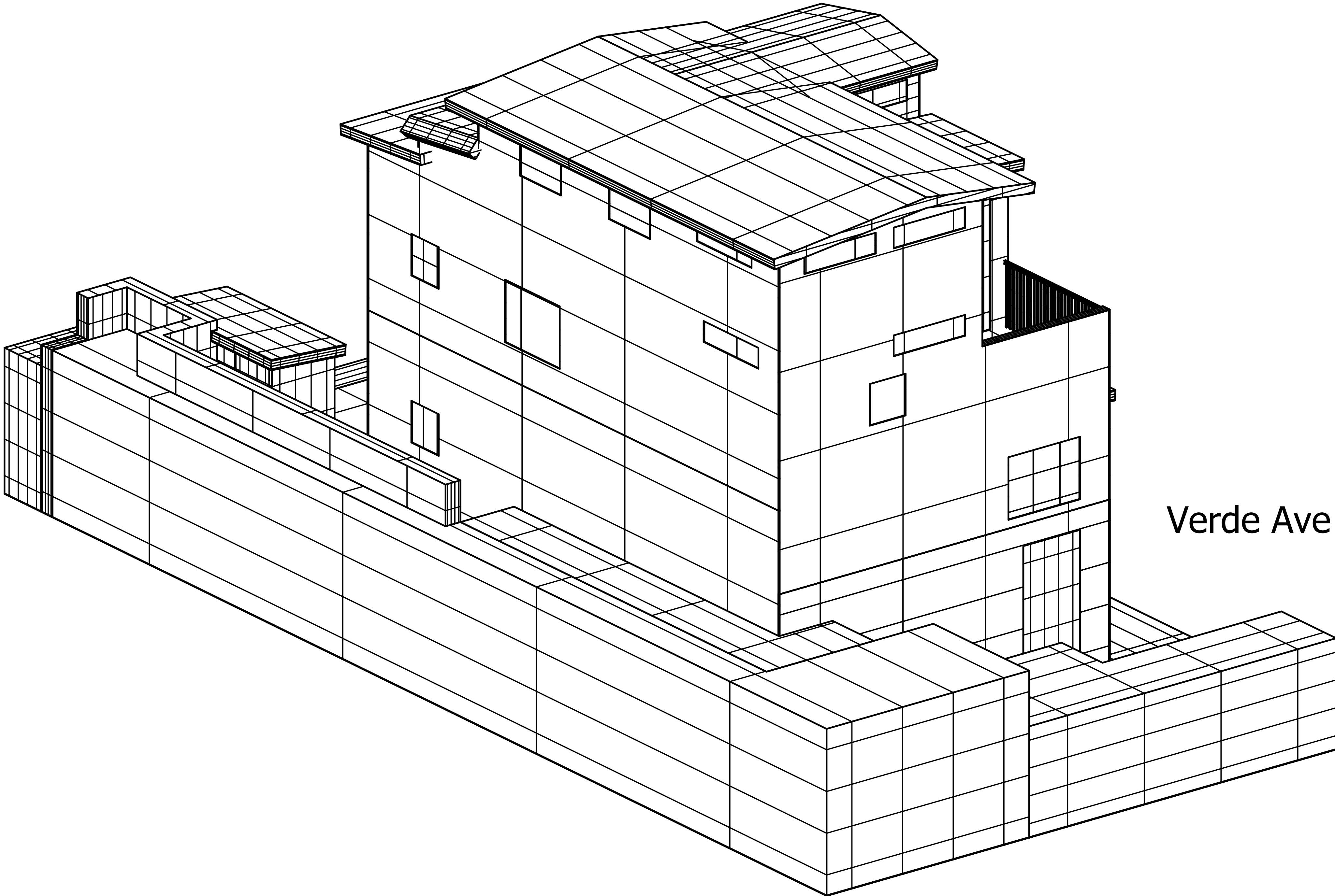
A14

North West ISO Render



Created by: KL		Title: ISO Render NW		
Supplementary information: Project CC75 House Build / Parcel 401-07-022		Size: A1	Sheet: 16 / 17	Scale: 0.03
A15		Part number: A15-S3		
		Drawing number: A15-S3		
		Date: 04/30/2021	Revision:	

South West ISO Render



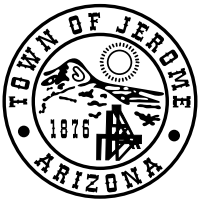
Fourth St

Verde Ave

Created by: KL		Title: ISO Render SW		
Supplementary information: Project CC75 House Build / Parcel 401-07-022		Size: A1	Sheet: 17 / 17	Scale: 0.03
A16		Part number: A16-S4		
		Date: 04/30/2021		
		Revision:		

Looking north on Verde Avenue early 1900s





TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331
OFFICE (928) 634-7943

Zoning Administrator Analysis Design Review Board Tuesday, July 6, 2021

Item 5: Work session on commercial signs

Applicant/Owner: Town of Jerome

Prepared by: John Knight, Zoning Administrator

Discussion/Possible Direction

Background and Summary: Both the Design Review Board (DRB) and Planning and Zoning Commission (P&Z) have expressed interest in updating the sign ordinance to address temporary and off-premise signs in both the commercial and industrial zones. This would result in changes to Sections 201 and 509 of the zoning ordinance.

- April 21, 2021, P&Z meeting - The commission discussed possible changes to the ordinance.
- May 3, 2021, DRB meeting - The board discussed changes and agreed that amendments were needed.
- May 19, 2021, P&Z meeting - The commission initiated the process to begin amending the code.
- June 16, 2021, P&Z meeting - The commission held a public hearing and reviewed a redline version of the proposed changes. The item was tabled to July 13, pending DRB review.

Note that the recent changes to the sign ordinance related to temporary signs in the residential areas are now complete and part of the zoning ordinance. Staff has included a preliminary redline document with suggested changes to address temporary signs in the commercial and industrial zones.

Proposed changes are summarized below.

1. Definitions:

- Changeable-copy signs** – New definition added for signs with changeable copy such as menu chalkboards, and whiteboards.
- Mural/painted sign** – New definition added stating that murals and signs painted on walls are considered part of the maximum sign area.
- Sign area** – Expanded and clarified the definition of *sign area*.
- Open/Closed sign** – Expanded the definition to include directional signs.
- Temporary sign** – Expanded the definition to state that temporary signs are intended for a limited period of display.

2. Temporary commercial and industrial signs: Currently Section 509.G.7. allows temporary signs in the commercial district up to eight (8) square feet in size. These signs can be displayed for 45 days, twice per year, and no more than a total of 90 days per calendar year. No permit is required for a temporary sign. This section also allows some unrestricted temporary signs such as chalkboards for daily menu specials, sandwich boards (on private property), and special events (such as Art Walk).

- Permitting** – A new provision has been added that requires administrative approval of temporary signs. This allows town staff to identify the length of time the sign has been posted. It also provides an opportunity to educate the business owners about the

requirements for temporary signs. An example of the temporary sign permit application from Sedona is attached for reference. P&Z was supportive of requiring certain types of temporary signs to obtain permits.

- b. **Length of time** – The maximum time frame has been reduced from 90 to 30 days and allowed a maximum of two times per calendar year. For reference, Sedona allows temporary signs for a maximum of 30 days for a new business and a maximum of five (5) days for an existing business. P&Z was supportive of restricting temporary signs to no more than 30 days and twice per calendar year.
3. **Off-premise signs** – New standards are included that allow off-premise signs less than four (4) square feet in size and located on private property. These cannot be attached to road signs or located in the public right of way. Off-premise signs are currently prohibited. Note that there are several off-premise signs that currently exist in town. These include the Haunted Hamburger sign by the park steps, the Grand Hotel and Asylum signs on Hill Street, and the Haven Church sign on Hampshire. Provided these were legally permitted prior to the ordinance adoption, these signs would be considered legal, nonconforming and would be allowed to remain. It should also be noted that staff is concerned about the potential growth of off-premise signs. If these are going to be allowed, additional restrictions and standards may be necessary.
4. **Changeable copy signs (menu boards, chalkboards, etc.)** – New standards are included that allow menu boards, chalkboards, whiteboards, and similar signs up to four (4) square feet without a permit. Note that changeable copy signs that currently exist and were legally permitted prior to the adoption of this ordinance would be considered legal, nonconforming.
5. **Open/Closed and Directional signs** – Section 509.G.9. allows exterior open/closed signs up to four (4) square feet in area. These signs currently require a permit and approval from the Design Review Board, but staff recommends these be allowed without a permit.
6. **Mannequins/skeletons** – Staff requested direction from P&Z on how they wanted to address skeletons that advertise a business. P&Z thought skeletons used as decoration were fine, but if the skeletons were handing out flyers, holding signs, or wearing clothing that advertises the business, then they should be considered temporary signs. Standards could be added that require permits for skeleton signs and that this count toward the maximum allowable sign area. Standards will also need to be added that prohibit skeletons from being placed in pedestrian walkways and stairways, or otherwise hinder pedestrian access or safety.
7. **Master sign program** – Staff requests direction on whether to include a provision to allow for a master sign program. Many jurisdictions include code standards that allow buildings with multiple tenants to develop a master sign program. The master sign program would establish the location where signs could be placed, and the size and type of signage allowed. The advantage for the property owner and/or business owners, is that once the master program is approved, future signs that comply with the program can be approved administratively. There are several properties in town that could be eligible for a master sign program. These include, but are not limited to, the UVX Center on Clark Street, the Merchants Gathering on Hull Avenue, and the Jerome Art Center (aka the Old Jerome High School) on Hampshire Ave.

Recommendation: The zoning administrator requests direction on possible changes to the sign ordinance related to commercial and industrial signage.

Attachments:

- Section 509 of the Jerome Zoning Ordinance
- Preliminary redline
- Sedona Temporary Sign Permit Application

SECTION 509. SIGNS

A. PURPOSE

This section provides a set of standards for the design and construction of signs within the Town of Jerome. The purpose of this section is to encourage the preservation of historic buildings and artifacts, to protect the general public from damage and injury, to protect property values, to preserve the beauty and unique character of Jerome, to aid in the free-flow of traffic within the town, and to promote the tourist industry which is important to the economy of Jerome, and the Historic Overlay District. The section also recognizes free speech rights by regulating signs in a content-neutral manner.

B. DEFINITIONS

Within and for the purposes of this section, the following definitions, and only these definitions, apply.

1. Area - A rectangular area calculated by drawing horizontal and vertical lines from all sign extremities excluding those which are essentially sign supports. Sign area is calculated as the area within a continuous perimeter that encloses the limits of text and graphics of a sign, together with any frame or other material or color forming an integral part of the display or used to differentiate the sign's message from the background against which it is placed. The area excludes the structure upon which the sign is placed and sign supports.
- ~~1.2.~~ Barber Pole – a type of sign used by barbers to signify the place or shop where they perform their craft. The sign includes a staff or pole with a helix of colored stripes (usually red, white and blue). The pole may be stationary or may rotate, often with the aid of an electric motor
- ~~2.3.~~ Clear Vision Triangle – A triangle shaped zone formed by the existing or proposed curb lines of two or more intersecting streets, roads or alleys and a third line connecting said curb lines at a distance of thirty (30) feet in each direction from the point of curb line intersection, in order to provide vehicular traffic an unobstructed view of cross traffic at intersections. In locations without curbs, the edge of the drivable surface of the street or road shall be treated the same as a curb.
- ~~3.4.~~ Flying Banner – a flexible or rigid pole to which one side of a flexible fabric, generally in the shape of a feather or similar shape, is attached, and which is used for the primary purpose of advertising or attention-getting by the public display of visually communicative images. Such banners are also known and sold under names which include, but are not limited to, “quill sign,” “wing banner,” “banana banner,” “blade banner,” “flutter banner,” “flutter flag,” “bowflag,” “teardrop banner,” and others. The definition includes functionally similar display devices.
5. Mural – See definition for Painted Sign.
- ~~4.6.~~ Sign - An object meant to convey a message through the use of words or symbols. A sign can be painted on one surface, or both surfaces, be free-standing or be signs supported by a pole or be attached to a building. All exterior signs whether public or private, are regulated by this ordinance.
- ~~5.7.~~ Sign, Balloon – Balloon sign shall mean any sign painted onto or otherwise attached to or suspended from a balloon, whether such balloon is anchored or affixed to a building or any other portion of the premises or tethered to and floating above any portion of the premises.

- ~~6.1. Area – A rectangular area calculated by drawing horizontal and vertical lines from all sign extremities excluding those which are essentially sign supports.~~
8. Sign, Canopy - A sign mounted on or painted on a canopy or awning.
9. Sign, Changeable-Copy – A sign, or portion thereof, with characters, letters, or illustrations that can be changed or rearranged manually without altering the face or surface of the sign. Examples include whiteboards, chalkboards, and menu boards.
- ~~7.10.~~ Sign, Directional – An exterior sign indicating whether a business is open or closed and signs directing people to a particular entrance of a building.
- ~~8.11.~~ Sign, Free-Standing - A sign not attached to or supported by a building.
- ~~9.12.~~ Sign, Height - The vertical distance from the ground directly under the sign to the lowest point of the sign.
- ~~10.13.~~ Sign, Interior - Signs within a building not accessible from outside. Interior signs are not regulated by this ordinance.
- ~~11.14.~~ Sign, Gas Generated - Gas generated signs or signs illuminated by gas generated lighting, other than those existing on June 14, 1977, are prohibited.
- ~~12.15.~~ Sign, Off-premise - A permanent or temporary sign not located on the premises of the business which it advertises.
- ~~13.16.~~ Sign, On-premise - A sign, the content of which relates to the premises on which it is located, referring exclusively to the name, location, products, persons, accommodations, services, or activities of or on those premises, or the sale or lease of those premises.
- ~~14.17.~~ Sign, Nameplate - A sign which is limited to the name and/or business of the residents of the premises, not exceeding two inches by twelve inches (2" x 12").
18. Sign, Business Door Identification - A nameplate sign of a business name on an entry door, not exceeding two inches by twelve inches (2" x 12").
19. Sign, Open/Closed - See definition of Directional Sign.
- ~~15.20.~~ Sign, Painted – A sign painted directly on the building façade.
- ~~16.21.~~ Sign, Projecting - A building mounted sign which projects from and is supported by a wall of a building.
- ~~17.22.~~ Sign, Wall - A sign attached flush to the exterior surface of a building, or permanently applied to a window of a building. The sign must not project above the roof. Light sources aimed at the wall sign may project further.
- ~~18.23.~~ Sign, Historical/Historical Period - A sign in use in Jerome during the period between 1876 and 1953.
- ~~19.24.~~ Sign, Service - An interior sign whose purpose is not to advertise the business displaying the sign, but to inform or provide for the safety of the public. Signs such as credit card placards, directional signs and, "No Smoking" signs, ~~and menu boards~~ are examples of service signs.
- ~~20. Sign, Open/Closed – A sign indicating that a place of business is open or closed.~~
- ~~21.25.~~ Sign, Temporary - A sign not permanently attached to a structure or to the ground. Examples of temporary signs include garage sale signs, temporary sale signs, contractor signs, banner signs, candidate signs, and real estate signs. Temporary signs shall only be displayed for a limited period of time. The definition of temporary sign does not include flags.

~~22.~~ Sign Walker – A person (or persons) waving “sales theme signs” with arrows at entrances to major highways or at corners of high traffic intersections directing customers to a sale. Also called sign twirlers, sign holders, human billboards, and sign events.

~~23.~~26. Organization – An organized body of people with a particular purpose, such as a society, association, civic or charitable group, or similar, whether non-profit or for-profit.

[Ord. No. 457; Ord. No. 472]

C. APPLICABILITY

The provisions of this section shall apply to all signs placed or maintained within the Town of Jerome with the exception of the following:

1. Non-illuminated names of buildings, dates of erection, monument citations, commemorative tablets and the like when carved into stone, concrete, metal or any other permanent type construction and made an integral part of a permitted structure or made flush to the ground.
2. Signs required by law or signs of a duly constituted governmental body, such as traffic signs, warning signs, or no trespassing signs.
3. Signs placed by a public utility for the safety, welfare, or convenience of the public, such as signs identifying high voltage, public telephone, or underground cables.
4. Notices regarding parking, directions or trespassing on private property.
5. Signs upon a vehicle, provided that any such vehicle is actively used for bona fide delivery or other business purposes.

[Ord. No. 457]

D. PERMITS

1. A sign permit shall be required before a permanent sign may be placed, constructed, re-constructed, or altered within the Town of Jerome with the exception of the following:
 - a. Name-plate signs and business door identifiers not exceeding two inches by twelve inches (2" x 12").
 - b. Repainting or maintenance of signs, provided there is no change in size, shape, wording, composition, or color.
 - ~~c. On-site menu boards, either in a wall-mounted case or window display.~~
 - ~~d.c.~~ Exterior temporary signs in the residential districts.
 - d. Signs not permanently affixed to a window and located entirely within an enclosed building.
 - e. Directional signs.
 - f. Changeable-Copy Signs.
2. An application for a permanent sign permit shall be filed with the Zoning Administrator on a form prescribed by the Zoning Administrator. The application shall be accompanied by the number of copies required by the Zoning Administrator.~~eight identical copies of the sign plans.~~ Each copy shall be on one or more sheets of paper measuring not more than twenty-four inches by thirty-six inches (24"x 36") drawn to scale, which shall show the following:
 - a. Signature of the applicant.
 - b. The name and address of the sign owner and sign erector.
 - c. Drawings showing the design, dimensions, color, material, and structure of the sign.

- d. A drawing or photograph of the building facade indicating the proposed location of the sign, and all other existing signs maintained on the premises and regulated by this ordinance.
- e. Proposed method of lighting the sign.
- f. Any additional information which the Design Review Board may require in order to decide on the application.
- g. Payment of a non-refundable, one-time filing fee in an amount established by a schedule adopted by resolution of the Council and filed in the offices of the Town Clerk. Applicant may re-submit a modified plan without paying an additional fee. Payment of the filing fee shall be waived when the applicant is an agency of the Town, County, State or Federal Government.

3. Plan Review

The Zoning Administrator shall review and accept completed plans in accordance with the provisions of Section 303. These plans shall be placed on the agenda of the next Design Review Board meeting.

4. Design Review

The Design Review Board shall, in accordance with the provisions of Section 304, deny, approve, or conditionally approve any application for a sign permit. Upon approval of an application by the Design Review Board, the Zoning Administrator shall be instructed to issue the sign permit.

- 5. The Design Review Board may waive the requirements of this section in order to allow the preservation or restoration of signs or commercial graphics which are determined to be of historical significance.

[Ord. No. 457; Ord. No. 472]

E. REGULATIONS APPLICABLE TO SIGNS IN ALL ZONES

- 1. The design, color, shape, materials and style of permanent signs shall be subject to review and approval of the Design Review Board.
- 2. All signs shall be constructed, designed, or attached to structures in conformance with the building code adopted by the Town of Jerome.
- 3. No sign shall be constructed in the clear vision triangle, erected or lit in such a manner as to interfere in any way with the flow of traffic on the public right of way, or present a traffic hazard.
- 4. Free-standing signs shall not exceed ~~four~~six (64) feet in height.
- 5. Organizations as defined herein are allowed Temporary Signs without a permit or review for temporary special event banners or signs. Banners for special events must be removed within three (3) days of the close of any event and may not be hung on Town property without permission of the Town of Jerome. The Town Manager may approve special event banners to be hung on Town property for recurring events. Banners to be hung on Town property for first time events shall be approved by the Town Council.
- 6. Lighting shall be directed at the sign from an external incandescent light source and shall be installed so as to avoid any glare or reflection into any adjacent property, or onto a street or alley so as to create a traffic hazard. These restrictions shall apply to internally lighted signs, which may be allowed if constructed of metal or wood. No internally lit signs that are constructed of acrylic or plastic are allowed. No sign that flashes or blinks

shall be permitted outside. No visible bulbs, neon tubing, or luminous paints, shall be permitted as part of any sign.

7. Any existing nonconforming, permanent sign that was legally constructed or permitted prior to the adoption of this ordinance may be continued in use; if such a sign is damaged, it may be restored or repaired. If a new sign is constructed, it must conform to the provisions of this chapter.
8. Signs shall be removed upon thirty (30) days of business relocation or closure.
9. If any sign becomes a danger to the public or becomes deteriorated or is abandoned, the property owner, or owner of the sign shall be notified to remove or repair the sign. If he/she does not comply within ten (10) days, the Zoning Administrator shall have the sign removed and the cost assessed to the owner of the property on which such sign is located.
- ~~9-10.~~ Painted Signs. Painted signs shall be subject to review by the Design Review Board. The maximum number and area of painted signs shall be subject to the same limits of other types of signs.
- ~~10-11.~~ Flags. Unless otherwise required by state law or specified in this Article, no more than two (2) flags may be displayed on a flagpole, from a flag bracket or on a flag stanchion. Examples of flags include, but are not limited to, the insignia of any nation, organization of nations, state, province, county, city, any religious, civic or fraternal organization, or educational institution. The area of each flag shall not exceed sixteen (16) square feet and the height of the flag shall be no taller than the building to which it is attached. For the purpose of determining the area of a flag, only one side of the flag shall be counted. Flags may be externally illuminated. A sign permit is not required for a flag.

[Ord. No. 457; Ord. No. 472]

F. REGULATIONS APPLICABLE TO SIGNS IN RESIDENTIAL ZONES

1. One nameplate sign not exceeding two inches by twelve inches (2"x 12") indicating the names of the occupants or business, and one set of numbers four inches by twelve inches (4"x 12") indicating the street address shall be allowed for each dwelling unit without a permit.
2. One non-illuminated sign not exceeding eight (8) square feet in area shall be allowed on premises only to identify a home business and requires a permit. A two-sided sign is one sign.
3. No sign shall extend above the eaves line of a building or extend higher than ten (10) feet above the ground directly below it.
4. Temporary signs shall be permitted in the residential zones without a permit, subject to the following provisions:
 - a. The sum area of all temporary signs does not exceed five (5) square feet in size.
 - b. If the temporary sign pertained to an event (such as an open house or garage sale), the sign shall be removed within three (3) days of the completion of the event or activity which is being advertised.
 - c. Signs shall maintain a minimum setback from the right of way of ten (10) feet, unless there is a primary structure on the lot which is located closer to the right of way ~~than~~ ten (10) feet, in which case the sign may be placed at the same setback as the primary structure.

- d. The maximum height of a temporary sign is four (4) feet.
- e. Signs shall not be illuminated.

[Ord. No. 457; Ord. No. 472]

G. REGULATIONS APPLICABLE TO SIGNS IN COMMERCIAL AND INDUSTRIAL ZONES

1. No more than two (2) signs are permitted for any one business except that a business having frontage on and physical access from two (2) or more streets will be allowed a total of three (3) signs.
2. The area of any single ~~W~~all, ~~P~~ainted, ~~P~~rojecting, ~~F~~ree-standing or ~~C~~eanopy sign shall not exceed sixteen (16) square feet.
- ~~2.3.~~ The maximum area of all signs shall not exceed thirty-two (32) square feet.
- ~~3.4.~~ No sign shall extend above the roof of the building to which it is attached.
- ~~4.5.~~ The bottom of any projecting sign shall be no lower than eight (8) feet above the ground directly below it.
- ~~5.6.~~ No part of any projecting or free-standing sign may project over any roadway.
- ~~6.7.~~ One (1) set of address numbers not exceeding four inches by twelve inches (4" x 12") in total area shall be allowed in addition to normal sign allowances.
- ~~7.8.~~ Temporary signs, which are promotional in nature and intended to advertise a specific event, activity or business ~~such as "sale" signs~~ are allowed in addition to other signs. Temporary signs must meet all restrictions for signs in this section in addition to the following:
 - a. The sum area of all temporary signs shall not exceed eight (8) square feet.
 - b. No business may display a temporary sign more than ~~ninety-thirty (3090)~~ consecutive days and no more than sixty (60) days per calendar year, ~~or forty-five (45) consecutive days.~~
 - c. Temporary sSigns shall not be illuminated.
 - d. If the temporary sign pertained to an event (such as a sale or promotional event), the sign shall be removed within three (3) days of the completion of the event or activity which is being advertised.
 - ~~e.e.~~ Temporary Signs require administrative approval from the Zoning Administrator. Applications shall be submitted on a form prepared by the Zoning Administrator and shall demonstrate compliance with the standards of this section.
 - ~~d.~~ ~~No permit is required for temporary signs.~~

Examples of temporary signs:

 - ~~• Chalkboards or signs that change daily for menu specials~~
 - Signs for special events that have limited use, such as Art Walk announcements
 - Sandwich boards / A-Frame signs (allowed in vestibules and on private property, but not on public sidewalks)
 - Banners
 - "Sale" and other exterior product advertising
- ~~8.9.~~ Exterior Directional Ssigns ~~indicating open and closed~~ are permitted in addition to normal sign allowances. No more than two (2) Directional Signs are allowed with a

~~maximum, total area of These signs should be no more than four (4) square feet, in area. Such an exterior open/closed sign requires~~ Directional signs do not require a permit, and approval from the Design Review Board.

- ~~9.10.~~ Standard copyright signs offering information on incidental services or recommendations, e.g., VISA, MasterCard, WiFi, etc., are permitted in addition to normal sign allowances, provided:
- a. They conform to all provisions contained in this section.
 - b. They are inside a window.
 - c. There is no more than one (1) sign per incidental service per public entrance to the business.
 - d. No sign's area shall exceed sixteen (16) square inches.
11. Off-premise Signs are allowed with approval from the Design Review Board subject to the following requirements.
- a. A maximum of one (1) Off-premise Sign is allowed for each business.
 - b. The sign must advertise an existing business located in the commercial or industrial zoning districts in Jerome.
 - c. The sign area shall not exceed four (4) square feet in size and the sign may be no taller than six (6) feet in height.
 - d. The sign shall not be attached to a street sign, utility pole, utility box or similar feature.
 - e. The sign shall be located on private property with installed with written permission from the property owner.
 - ~~a.f.~~ Signs shall be permanently attached to a building façade or the ground.
12. Mannequins – Direction needed from the Commission on how to address mannequins and skeletons and similar forms of commercial advertising.
13. Changeable-Copy Signs are allowed without a permit provided they do not exceed four (4) square feet in size and are attached to the façade of a building. A maximum of one sign per business is allowed.

[Ord. No. 457; Ord. No. 472]

H. PROHIBITED SIGNS

1. Abandoned signs
2. Billboards
3. Digital or electronic signs with changeable copy
4. Flying banners
5. Flashing or blinking signs
6. Gas-generated signs
7. Inflatable and balloon signs
8. Moving and rotating signs – including rotating barber poles
9. Off-premise signs in the commercial or industrial zoning districts
10. Signs attached to or painted on trees, rocks or other natural features

11. Signs emitting any sound designed to attract attention
12. Signs in the clear vision triangle
13. Signs in the right-of-way
14. Signs painted on fences
15. Sign walkers
16. Signs with visible bulbs, neon tubing or luminous paints

[Ord. No. 472]

Temporary Sign Permit Application
Commercial Districts
LDC 1114.02.B



City Of Sedona
Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 • www.sedonaaz.gov/cd

Applicant Name:		Permit #: TSP	
Business Name:		Date Received:	
Business Address:		Fee Paid:	
Cell Phone:		Valid From:	
E-mail:		Valid To:	

Please check one of the following options:

- ☐ Temporary Sign: \$30 per permit

Circle One: Flag Mounted Sign · Banner · Pennant · Streamers · Balloons ·
Inflatable Sign · Costumed Character · Sandwich Board (A-frame Sign)

Each Temporary Sign Permit is valid for a maximum of five (5) consecutive days and shall not exceed 20 square feet in area. Each business is allowed five (5) Temporary Sign Permits per calendar year.30

- ☐ New Business: \$30 per permit

Circle One: Flag Mounted Sign · Banner · Pennant · Streamers · Balloons ·
Inflatable Sign · Costumed Character · Sandwich Board (A-frame Sign)

Each new business is allowed one (1) temporary sign permit for a maximum of thirty (30) consecutive days and shall not exceed 20 square feet in area. The 30 day period shall not start prior to issuance of a Tenant Occupancy Permit, and shall not extend beyond installation of the permanent sign for the business or 30 days after issuance of a Certificate of Occupancy, whichever is sooner.

General Standards for Temporary Signs in Commercial Districts

- Temporary signs shall be located on the business premises that directly relate to the purpose of the sign. Off-premises signs are not allowed.
- Temporary signs shall not be located within street or highway right-of-ways.
- Temporary signs are to be located in commercial zoning districts only.
- Freestanding signs are limited to eight (8) feet in height.
- State law requires that you call for a Blue Stake inspection a minimum of 2 days prior to any digging into the ground for any purpose. A Blue Stake inspection requires that any utilities with underground lines mark the location of their lines to prevent disruption during digging/excavation activities. To schedule a Blue Stake inspection, call 811, 1-800-STAKE-IT, or go to www.arizona811.org

IMPORTANT: The permittee shall indemnify, defend, and save harmless the City of Sedona from any and all claims, demands, suits, actions, proceedings, loss, cost, and damages of every kind and description, including attorneys' fees and/or litigation expenses, which may be brought or made or incurred by the City of Sedona on account of loss of or damage to any property or for injuries or death of any person, caused by, arising out of, or contributed to, in whole or in part, by reason of any act, omission, professional error, fault, mistake, or negligence of permittee, its employees, agents, or representatives, or subcontractors, their employees, agents, or representatives in connection with or incident to the performance of this agreement, or arising out of Worker's Compensation claims, Unemployment Compensation claims, or Unemployment Disability Compensation claims of employees of permittee and/or its subcontractors or claims under similar such laws and obligations. Permittees' obligation under this Section shall not extend to any liability caused by the sole negligence of the City of Sedona or its employees.

Signature

Date



TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331
OFFICE (928) 634-7943

ZONING ADMINISTRATOR ANALYSIS DESIGN REVIEW BOARD Tuesday, July 6, 2021

ITEM 6: Design Review for paint colors
Location: 668 Verde Avenue
Applicant/Owner: Danielle Vorves
Zone: R1-5
APN: 401-07-068
Prepared by: John Knight, Zoning Administrator
Resolution: [DRB Reso. 2021-19](#)

Summary: The applicant requests preliminary and final design approval for house paint colors. The main body of the house is proposed to be sage green, the window and door trim off white, and the floor of the back patio will be red. Color samples will be brought to the meeting. Note that painting on the front of the house was partially done in the past. The applicant is proposing to use the same body and trim colors for the rest of the house.

Section 304.F.2. Review Procedures and Criteria

2. The Design Review Board shall review a submitted application for Design Approval of Alterations, Additions, or Renovations to Existing Buildings or Structures, and shall have the power to approve, conditionally approve, or disapprove all such requests, basing its decision on the following criteria:

- a. *ARCHITECTURAL FEATURES AND DETAILS – Original porches, decks, balconies, canopies, doors, windows, walls, fences, stairways, eaves, cornices, and other architectural features and details shall be preserved and retained where feasible. Necessary replacement of these features should be as near as possible to the original feature in design and material.*
- b. *ROOFS – Original roof shape, design, and material shall be preserved and retained where feasible. Where contemporary roofing material is used, it should be as near as possible to the appearance of the original roofing material.*
- c. *COLOR – Exterior colors should be as near as possible to the original colors appropriate to the years during which the particular building or structure was built.*
- d. *MATERIALS AND TEXTURE – The original exterior materials and texture shall be preserved and retained where feasible. Where contemporary materials are used, they should be as, near as possible to the original material and texture.*

Response: The DRB shall review the application for compliance with the above-referenced criteria regarding color.

Recommendation: The zoning administrator recommends that the DRB evaluate the proposed application and determine if the proposal meets the required criteria. A resolution with conditions is included for consideration by the board.

Attachments:

- DRB Resolution 2021-19
- Application and supplemental information



TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331
(928) 634-7943

DRB Resolution 2021-19 **Approving Design Review for paint colors**

WHEREAS the Town of Jerome has received an application from Danielle Vorves for preliminary and final design review house paint colors at 668 Verde Avenue (APN 401-07-068), and

WHEREAS the property is in the R1-5 zoning district; and

WHEREAS the Design Review Board has determined that a public hearing is not necessary under Zoning Ordinance Section 304.F.5.; and

WHEREAS the Design Review process is intended to promote and preserve Jerome's economic and environmental well-being and preserve its distinctive character, natural attractiveness, and overall architectural quality, all of which contribute substantially to its viability as a recreational and tourist center and to its designation as a National Historic Landmark; and

WHEREAS the Design Review Board has carefully reviewed the applicant's proposal and finds that the applicable criteria have been satisfied:

Color – Exterior colors should be as near as possible to the original colors appropriate to the years during which the building or structure was built.

NOW, THEREFORE, BE IT RESOLVED by the Design Review Board of the Town of Jerome, Arizona, that the preliminary and final design review for 668 Verde Avenue is hereby approved, subject to the following conditions:

1. **Expiration of Approval** – this approval shall become null and void if a building permit is not issued or work begun within six (6) months of final Design Review Board approval of this application. If necessary, the applicant may request an extension by the approval body, if the extension is submitted prior to approval expiration.
2. **Construction Hours and Noise** – Construction and noise shall be limited between 8:00 pm and 7:00 am in accordance with Section 10-1-13.C. of the Jerome Town Code.
3. **Appeal** – Any applicant who is aggrieved by the Design Review Board decision may petition the Mayor or Council for a review within thirty (30) days of the decision. Questions of aesthetics or design standards are not appealable to the Mayor and Council but may be presented to a Court of Record within thirty (30) days of the decision. Additionally, if in the opinion of the Zoning Administrator a decision is not in conformance with the Zoning Code or Comprehensive plan, the Zoning Administrator may request a review by the Mayor and Council within thirty (30) days. By specific motion during an official meeting, the Mayor and Council may refuse to consider a request for review brought by the Zoning Administrator. Finally, the Mayor and Council shall maintain the right to review all decisions of the Design Review Board.

DRB RESOLUTION NO. 2021-19

ADOPTED AND APPROVED by a majority vote of the Design Review Board on the 6th day of July 2021.

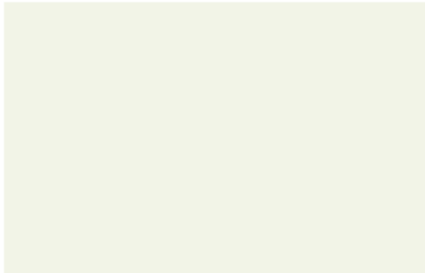
ATTEST:

APPROVED:

Rosa Cays, Deputy Town Clerk

Tyler Christensen, Chair

Window and door trim



Applemint

DE5532 RL#358

Lime Greens, Greens, Perfect Palette®

LRV 83

Munsell: HUE=6.05GY / VALUE=9.2 / CHROMA=0.6

Main body color



Tree Moss

508

Floor of back patio



Saddlebag

DET448 RL#745

Warm Neutrals, Ranch / Desert Modern, 2019, Then, Now & Forever®

LRV 12  Alkali Sensitive

Munsell: HUE=6.8R / VALUE=4.0 / CHROMA=4.8

Front (west) elevation



Left (north) elevation



Rear (east) elevation



Rear (east) elevation



Right (south) elevation



680 Verde (south of the subject property)



665 Verde (across the street from subject property)





TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331
OFFICE (928) 634-7943

Zoning Administrator Analysis Design Review Board Tuesday, July 6, 2021

Item 7: Preliminary/Final Design Review for new signage for Jerome Ghost Tours
Location: 403 Clark Street, B-7
Applicant/Owner: Aeron Bailey/1299 Properties
Zone: C-1
APN: 401-06-152H
Prepared by: John Knight, Zoning Administrator
Resolution: [DRB Reso. 2021-20](#)

Summary: The applicant is seeking preliminary and final design review to mount two new signs at the UVX Center. The signs are 16 square feet each and are constructed of metal. One will be mounted facing Clark Street and the other will be mounted facing the patio (see photos for sign locations and materials). Note that the previously approved sign facing Clark Street will be replaced with the new sign.

Ordinance Compliance: The Design Review Board (DRB) shall review the applicant's proposal for compliance with the code sections noted below:

Section 304.F.4. Review Procedures and Criteria: *The Design Review Board shall review a submitted application for Design Approval of Signs and shall have the power to approve, conditionally approve, or disapprove all such requests, basing its decision on the following criteria:*

- a. *MATERIALS – Signs made of durable, weather resistant materials such as acrylic, resin, steel, aluminum, or composite materials are preferred.*
- b. *LETTERING – Lettering and symbols on signs should be routed, applied, or painted on the surface of the signing material.*
- c. *COLORS – Colors of a sign shall be visually compatible to the colors of buildings, structures, and signs to which the sign is visually related.*
- d. *EXCEPTIONS – The Design Review Board may waive the requirements of this Section and Section 507 in order to allow the preservation or restoration of signs or commercial graphics which are determined to be of historical significance or of particular interest.*

Response: The Design Review Board shall review the application for compliance with the above-referenced criteria and refer to the specific standards regarding visual compatibility. Note that the sign criteria have recently been amended to state that signs constructed of weather-resistant materials are preferred. The applicant's proposal complies with this standard.

Section 509.G. Signs in Commercial and Industrial Zones:

1. *No more than two (2) signs are permitted for any one business except that a business having frontage on and physical access from two (2) or more streets will be allowed a total of three (3) signs.*
2. *The area of any single wall, projecting, free-standing, or canopy sign shall not exceed sixteen (16) square feet.*
3. *No sign shall extend above the roof of the building to which it is attached.*
4. *The bottom of any projecting sign shall be no lower than eight (8) feet above the ground directly below it.*
5. *No part of any projecting or free-standing sign may project over any roadway.*

Standard	Allowed	Proposed	Notes
Number of signs	2 max.	2 signs	Meets standard
Max. square footage	16 square feet each	16 square feet each	Meets standard
May not extend above roof line	Up to roof line	Signs are below the roof line	Meets standard
Ground clearance for projecting sign	Minimum 8 feet above the ground	N/A (signs are flush to the walls)	
Project over roadway	May not project over roadway	N/A	

Response: The applicant's proposal appears to meet the code requirements.

Section 509.E.6. Regulations applicable to signs in all zones

6. *Lighting shall be directed at the sign from an external incandescent light source and shall be installed so as to avoid any glare or reflection into any adjacent property, or onto a street or alley so as to create a traffic hazard. These restrictions shall apply to internally lighted signs, which may be allowed if constructed of metal or wood. No internally lit signs that are constructed of acrylic or plastic are allowed. No sign that flashes or blinks shall be permitted outside. No visible bulbs, neon tubing, or luminous paints, shall be permitted as part of any sign.*

Response: Lighting will be provided from existing, exterior lights (see photos).

Recommendation: The zoning administrator recommends that the DRB evaluate the proposed application and determine if the proposal meets the required criteria. A resolution with conditions is included for consideration by the board.

Attachments:

- DRB Resolution 2021-20
- Application and supplemental information



TOWN OF JEROME

POST OFFICE BOX 335, JEROME, ARIZONA 86331

(928) 634-7943

DRB Resolution No. 2021-20

Approving proposed signage

WHEREAS the Town of Jerome has received an application from Aeron Bailey/1299 Properties for preliminary and final design review for new signage at 403 Clark Street, Unit B-7 for Jerome Ghost Tours (APN 401-06-152H); and

WHEREAS the property is in the C-1 zoning district; and

WHEREAS the design review process is intended to promote and preserve Jerome's economic and environmental well-being and preserve its distinctive character, natural attractiveness, and overall architectural quality, all of which contribute substantially to its viability as a recreational and tourist center and to its designation as a National Historic Landmark; and

WHEREAS the Design Review Board has carefully reviewed the applicant's proposal related to signs and finds that the proposal satisfies the following criteria:

- a. *Materials – Signs made of durable, weather resistant materials such as acrylic, resin, steel, aluminum, or composite materials are preferred.*
- b. *Lettering – Lettering and symbols on signs should be routed, applied, or painted on the surface of the signing material.*
- c. *Colors – Colors of a sign shall be visually compatible to the colors of buildings, structures, and signs to which the sign is visually related.*
- d. *Exceptions – The Design Review Board may waive the requirements of this Section and Section 507 in order to allow the preservation or restoration of signs or commercial graphics which are determined to be of historical significance or of particular interest.*

NOW, THEREFORE, BE IT RESOLVED by the Design Review Board of the Town of Jerome, Arizona, that the request for signage is hereby approved subject to the following conditions:

1. **Expiration of Approval** – This approval shall become null and void if a building permit is not issued or work has not begun within six (6) months of final Design Review Board approval of this application. If necessary, the applicant may request an extension by the approval body if the extension is submitted prior to approval expiration.
2. **Appeal** – Any applicant who is aggrieved by the Design Review Board decision may petition the Mayor or Council for a review within thirty (30) days of the decision. Questions of aesthetics or design standards are not appealable to the Mayor and Council but may be presented to a Court of Record within thirty (30) days of the decision. Additionally, if in the opinion of the Zoning Administrator a decision is not in conformance with the Zoning Code or Comprehensive plan, the Zoning Administrator may request a review by the Mayor and Council within thirty (30) days. By specific motion during an official meeting, the Mayor and Council may refuse to consider a request for review brought by the Zoning Administrator. Finally, the Mayor and Council shall maintain the right to review all decisions of the Design Review Board.

ADOPTED AND APPROVED by a majority vote of the Design Review Board on the 6th day of July 2021.

ATTEST:

APPROVED:

Rosa Cays, Deputy Town Clerk

Tyler Christensen, Chair



TOWN OF JEROME, ARIZONA
600 Clark Street, P.O. Box 335, Jerome, AZ 86331
(928) 634-7943

File #:

Town Use

General Land Use Application – Check all that apply

- | | | |
|---|---|---|
| <input type="checkbox"/> Site Plan Review \$100 | <input type="checkbox"/> Design Review \$50/\$200 | <input type="checkbox"/> Conditional Use Permit (CUP) \$100 |
| <input type="checkbox"/> Demolition \$50/\$200 | <input checked="" type="checkbox"/> Signage/Awning \$50 | <input type="checkbox"/> Paint/Roofing \$0 |
| <input type="checkbox"/> Time Extension \$0 | <input type="checkbox"/> Variance \$200 | <input type="checkbox"/> Other: _____ |

Note: Refer to the corresponding Project Application Checklist/s for additional submittal requirements.

Applicant: <u>Aaron Bailey / Jerome Ghost Tours</u>	Owner: <u>Aaron Bailey</u>
Applicant address: <u>403 Clark St B-7 Jerome, AZ 86331</u>	Owner Mailing Address: <u>P.O. Box 425 Jerome, AZ 86331</u>
Applicant role/title: <u>Owner/Manager</u>	
Applicant phone: <u>928-649-8998</u>	Owner phone: <u>480-652-4493</u>
Applicant email: <u>jeromeghosttours@gmail.com</u>	Owner email: <u>aaronbailey@gmail.com</u>
Project address: <u>403 Clark St B-7</u>	Parcel number: _____
Describe project: <u>Mounting two new business signs to front side of and patio side of UH building. Materials used are cold rolled steel and 2 1/2 copper.</u>	

- I understand that review by the Jerome Design Review Board, Planning and Zoning Commission, and Town Council is discretionary.
- I understand that the application fee is due at submission and review will not be scheduled until fee is paid to the Town.
- I understand review criteria are used in evaluation by the Jerome Design Review Board and/or Planning and Zoning Commission. These criteria are included in the Jerome Zoning Ordinance.
- I understand that this application will not be scheduled for consideration until all required materials have been submitted and the application is determined to be complete.

Applicant Signature: Aaron Bailey Date: 6/16/21

Owner Signature: Aaron Bailey Date: 6/16/21

For Town Use Only	
Received from: <u>Aaron / Jerome Ghost Tours</u>	Date: <u>6/21/2021</u>
Received the sum of \$ <u>50.00</u> as: <input checked="" type="checkbox"/> Check No. <u>1002</u> <input type="checkbox"/> Cash <input type="checkbox"/> Credit Card	
By: <u>KH</u>	For: <u>PRB</u>
Tentative Meeting Date/s - DRB: _____	P&Z: _____

E-mail completed forms and application information to: John Knight, Zoning Administrator j.knight@jerome.az.gov

CHECKLIST

I HAVE TWO SIGNS CONSISTING OF A STEEL FRONT LETTER CUT OUT AND A BACKING COPPER SHEET...

THE SIGN READS AS FOLLOWS...

LINE 1. " HAUNTED GHOST & HISTORY ADVENTURES"

LINE 2 " JEROME GHOST TOURS "

LINE 3 " RESERVATIONS AND CHECKIN THIS WAY " WITH AN ARROW POINTING TOWARDS THE STAIRCASE.

SIGNS WILL BE MOUNTED ON THE FRONT STREET FACING VIEW AND SIDE VIEW FACING THE PATIO OF THE UVX BUILDING.

SIGNS ARE 48"WX48"HX1/8TH" DEEP.

LETTERS ARE 4" IN SIZE.

EACH SIGN IS 16 SQ FT

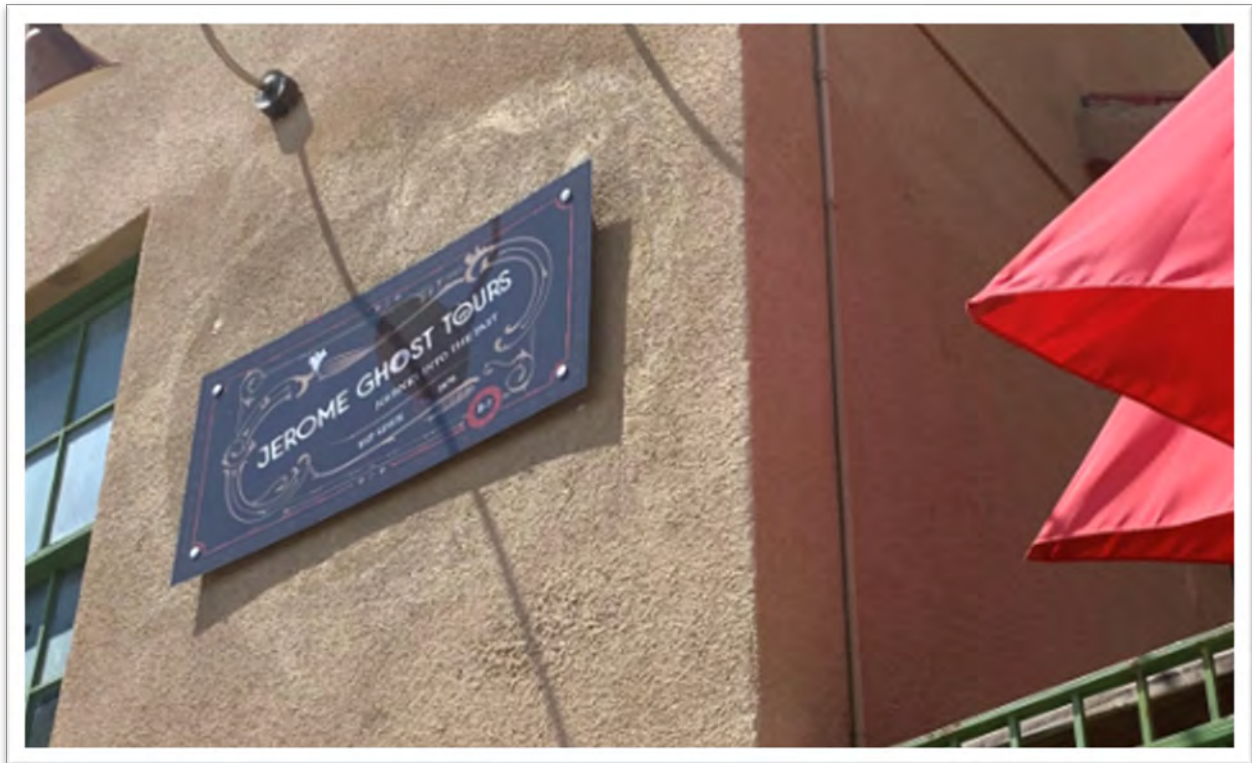
PREVIOUS SIGN WILL BE REMOVED. REFER TO PHOTOS .

MATERIALS ARE A DARK GRAY STEEL ROLLED SHEET ON TOP AND A C110 COPPER BACKING SHEET. WORDS WILL READ IN COPPER.

SIGNS WILL BE MOUNTED WITH 1" STANDOFF BOLTS. STEEL GRAY IN COLOR.

LIGHTING WILL BE PROVIDED BY THE UVX BUILDING.

Existing sign to be removed



View from across street (arrows show sign locations)



New proposed sign facing Clark Street



New proposed sign facing the patio



Nearby signage

