



TOWN OF CAREFREE
NOTICE of a PUBLIC MEETING of the DEVELOPMENT REVIEW BOARD

WHEN: MONDAY, OCTOBER 17, 2022
WHERE: CAREFREE TOWN COUNCIL CHAMBERS
33 EASY STREET, CAREFREE, AZ 85377
TIME: 5:00 P.M.

Pursuant to A.R.S. § 38-431.02, notice is hereby given to the members of the Development Review Board and to the public that the Development Review Board will hold a public meeting on **MONDAY, OCTOBER 17, 2022** at 5:00 p.m.

THE AGENDA FOR THE MEETING IS AS FOLLOWS:

CALL TO ORDER, SILENT ROLL CALL, and PLEDGE OF ALLEGIANCE.

ITEM 1. APPROVAL of the DEVELOPMENT REVIEW BOARD minutes dated AUGUST 15, 2022.

ITEM 2. DISCUSSION AND POSSIBLE ACTION on a request for:

CASE #: 21-21-MS

APPLICANT: Tyler Green
11480 N. 85TH St.
Scottsdale, AZ 85260

OWNER: Ben and Julie Williams
PO Box 5083
Ketchikan, AK 99901

CASE LOCATION: 6915 E. Restin Rd.
Carefree, AZ 85377
APN: 216-32-016

ZONING: Rural-70 Single Family Residential
70,000 square feet minimum lot size

REQUEST: Requesting approval of a single family residence in a Mountainside Zoning District overlay.

ITEM 3. DISCUSSION AND POSSIBLE ACTION on a request for:

CASE #: 21-26-MS

APPLICANT: Ken Bartels
PO Box 45438
Phoenix, AZ 85016

OWNER: David and Lisa Black
7336 E Soaring Eagle Way
Scottsdale, AZ 85266

CASE LOCATION: 37102 Nevermind Trail
Carefree, AZ 85377
APN: 216-28-073

ZONING: Rural-70 Single Family Residential
70,000 square feet minimum lot size

REQUEST: Requesting approval of a single family residence in a Mountainside Zoning District overlay.

ITEM 4. ADJOURNMENT

Samantha Gesell

Samantha Gesell, Planning Clerk
POSTED OCTOBER 12, 2022



FOR SPECIAL ACCOMMODATIONS

Please contact the Planning Clerk, 8 Sundial Circle (PO Box 740), Carefree, AZ 85377; (480) 488-3686, at least three working days prior to the meeting if you require special accommodations due to a disability.

*All official Town Council and Commission meetings are scheduled to be held in-person within Council Chambers, located at 33 Easy St.

The Town is currently in the process of upgrading its audio/visual equipment.

Audio recordings of official meetings will be posted to our website for public record until the new equipment is available for video recording. Thank you for your patience as we work to improve our systems.

**TOWN OF CAREFREE
DEVELOPMENT REVIEW BOARD
*DRAFT MINUTES***

WHEN: MONDAY, AUGUST 15, 2022
WHERE: CAREFREE TOWN COUNCIL CHAMBERS
33 EASY STREET, CAREFREE, AZ 85377
LIVESTREAM: <HTTPS://ZOOM.US/>
MEETING ID 322 972 9660
PASSCODE 12345
TELEPHONE AUDIO: 1.669.900.6833 OR 1.253.215.8782
TIME: 5:00 P.M.

Board Members Present:

Chairperson Tom Cross
Vice Chairperson Lyn Hitchon
Peter Burns
Dan Davee
Ralph Ferro

Absent:

Heather Burgett
Phil Corso

CALL TO ORDER, SILENT ROLL CALL, and PLEDGE OF ALLEGIANCE.

ITEM 1. APPROVAL of the DEVELOPMENT REVIEW BOARD minutes dated JULY 11, 2022.

Board Member Burns **MOVED TO APPROVE** the Development Review Board meeting minutes dated July 11, 2022. **SECONDED** by Board Member Ferro. **CARRIED**, unanimously.

ITEM 2. DISCUSSION AND POSSIBLE ACTION on a request for:

CASE #: 21-25-DRB
APPLICANT: Mr. Tyler Green
11480 North 85th Street
Scottsdale, AZ
OWNER: Paul and Alison Niday
36400 North Placid Place
Carefree, AZ

Ms. Bridge-Denzak informed the Board that all Citizen Participation requirements have been met and there were no comments received by applicant or staff.

There were no questions from the Board.

Vice Chairperson Hitchon **MOVED TO APPROVE** a single family residence in a Mountainside Zoning District overlay. **SECONDED** by Board Member Ferro. **CARRIED**, unanimously.

ITEM 4. ADJOURNMENT

Vice Chairperson Hitchon **MOVED TO ADJOURN**. **SECONDED** by Board Member Ferro. **CARRIED**, unanimously.

The meeting was adjourned at 5:11 p.m.

Samantha Gesell

Samantha Gesell, Planning Clerk

Tom Cross, Chairman

DEVELOPMENT REVIEW BOARD - STAFF REPORT



MEETING DATE: October 17, 2022

Item No. 2

SUBJECT Mountainside Single-Family Residence, DRB Case #21-21-MS

REQUEST Pursuant to Article X of the Zoning Ordinance, this is a request for approval of a single-family residence in a Mountainside Zoning District overlay. The Mountainside overlay applies to properties in Carefree which contain a 20% percent slope or greater over a 50-foot length perpendicular to such slope. The philosophy of the Mountainside District is twofold: (1) encourage development to be placed in the least environmentally sensitive areas of a site; and (2) the proposed development is strategically integrated into the hillside.

Key Items for Consideration:

- The property is located at 6915 East Restin Road, Carefree, Maricopa County Tax Parcel #216-32-016.
- The parcel is approximately 2.36 acres (102,957 sf) in size and zoned Rural-70 Single Family Residential.
- A single-level 2 bedroom home with office and game room including a three-car garage, covered patio and trellis structure, pool and spa, bocce court, nature walk and natural landscaping.
- Building materials include stone veneer and painted stucco with metal fascia and accent panels. Project includes painted stucco retaining walls.
- Access to the site is from East Restin Road, a public street.
- There are environmentally sensitive features on the site including steep slopes, protected plant species, boulder outcropping and drainage channels.
- The site meets the cut-to-fill ratio requirement of cut exceeding fill.
- Landscaping is proposed to revegetate disturbed areas and transition from the structures to the natural desert.
- The lot will be served by the Town of Carefree for water and an individual septic system provided by the Owner.
- Utilities will be located under the driveway and/or within graded portions of the site.
- Citizen Participation requirements have been met.

**APPLICANT/
OWNER**

Owners
Ben and Julie Williams
P.O. Box 5083
Ketchikan, AK

Applicant
Mr. Tyler Green
11480 N. 85th St.
Scottsdale, AZ

Civil Engineer
Graham Surveying and
Engineering
P.O. Box 1240
Carefree, AZ

**LOCATION/
CONTEXT**

The subject property is a vacant parcel located at 6915 East Restin Road. The Carefree General Plan designates it and the surrounding lots in Carefree as Very Low Density Residential (approximately 2-acre minimum lots). The property is in Zoning District Rural-70 Single Family Residential

(minimum 70,000 square foot lot size) as well as the lots adjacent to the site. The subdivision is Carefree 3B and was platted in 1962. The lot's building envelope is defined by the Town's current setback requirements. The adjacent land uses are as follows:

- North: 1 Single-family residence and right-of-way
- South: 1 Single-family residence
- West: 1 Single-family residence
- East: 1 Single-family residence

**Aerial Context Map:
County Tax Parcel #216-32-016, 6915 East Restin Road**



Source: Maricopa County Assessor's Office, 2022

**SENSITIVE
FEATURES**

The vacant parcel generally slopes from north to south with drainage channels interspersed throughout; the channel parallel to Restin Road is due to an existing piped culvert at the northern boundary (see Diagram 1). A majority of the building envelope lies within the shallower slopes (less than 19%), with minimal impact to areas with steeper slopes due to the drainage channels (See Diagram 2). Its location aligns with neighboring properties and avoids siting in or near the drainage easement and associated erosion setback zone.

Diagram 1:

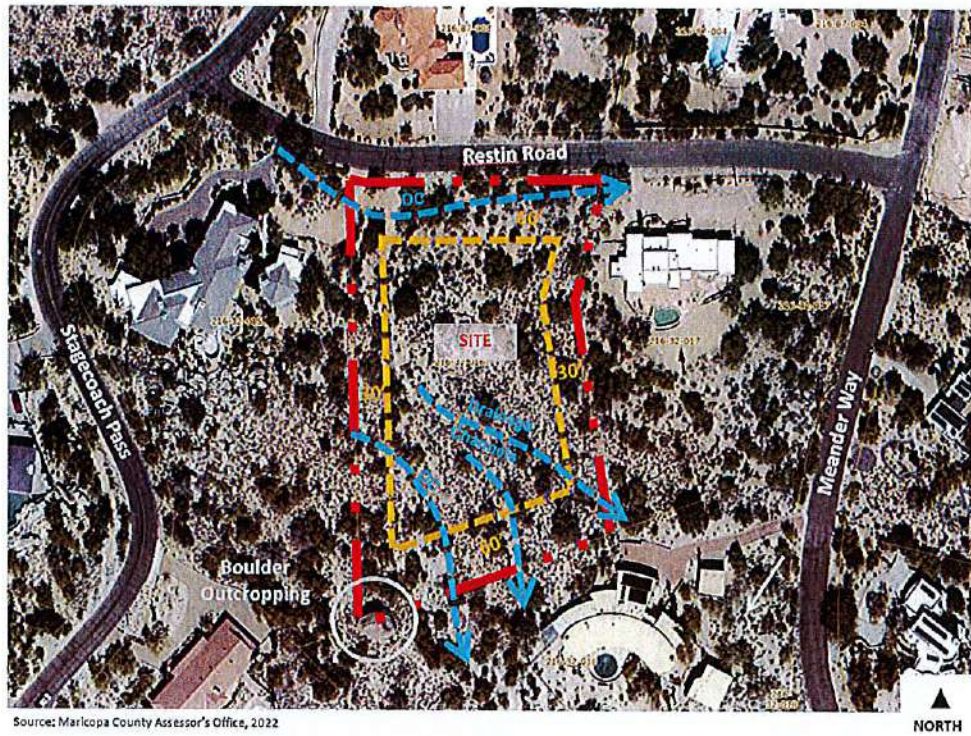
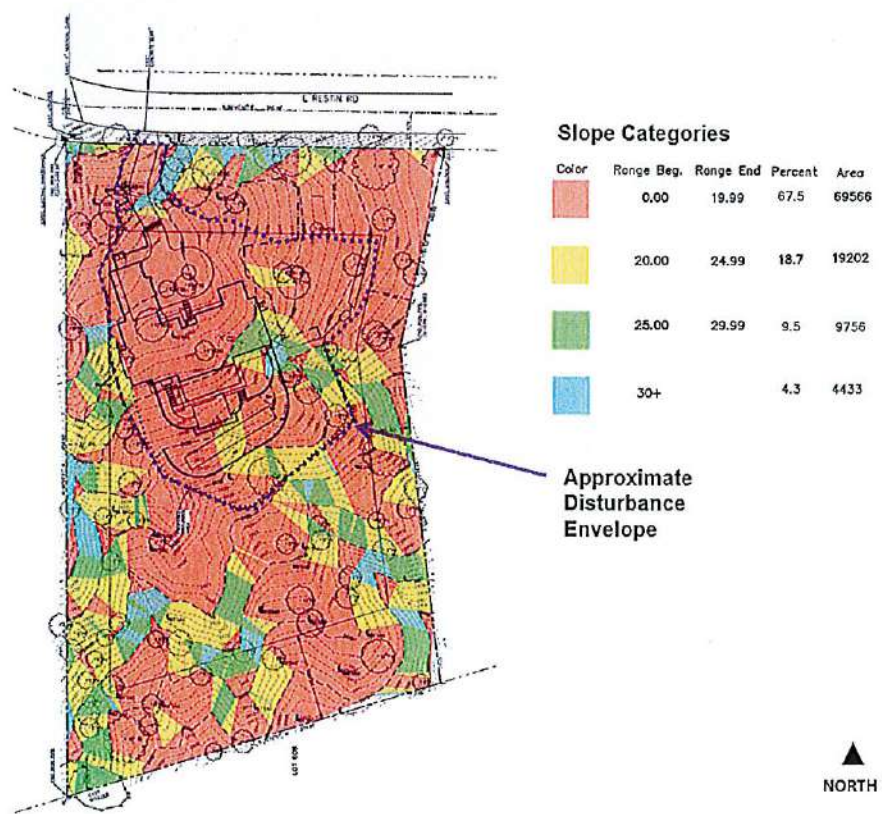


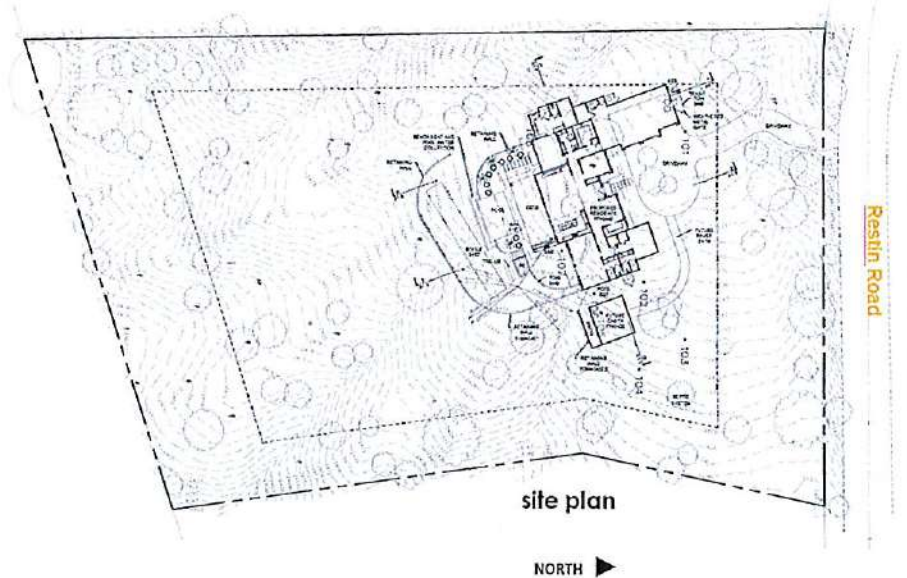
Diagram 2:



**DEVELOPMENT
PLAN**

Summary

The proposed residence is a 2-bedroom with office and flex space, 3-car garage with a pool/spa, covered patio and trellis structure, bocce ball court, and nature trail. The siting of the residence takes advantage of views to the south and east. The building sits in line with other homes along the street. It is also located within the building envelope as defined by the Town's setbacks.



The intent is to create a home that enhances the values of Carefree; this is evident by the low, linear profile of the home and contextual materials and colors. The architecture has a modern feel typical to many upscale, custom homes in Carefree today. The total area under roof is 6,038 square feet with a livable area of 3,923 square feet. The remainder of the area under roof is garage, mechanical, storage and covered patio respectively. A future casita is planned to the east of the main residence but is not part of this approval.

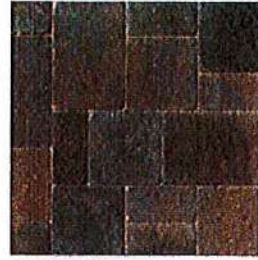
The contextual materials and color used are in concert with the desert environment and character of the Southwest. Included are painted stucco, rusted metal panels, and lightly colored, stone veneer. Retaining and site walls shall be stone veneer and/or painted stucco to match the home. Hardscape materials include a concrete unit paver driveway. See below.



Metal Fascia -
OCM "Iron Ore"



Stone Veneer -
Ironwood LedgeStone



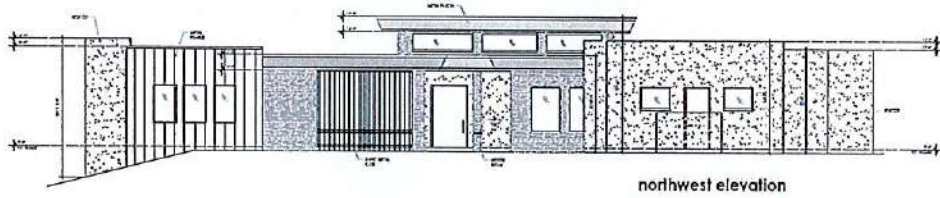
Driveway Pavers -
Belgard Dublin Cobble
Paver "Victorian"



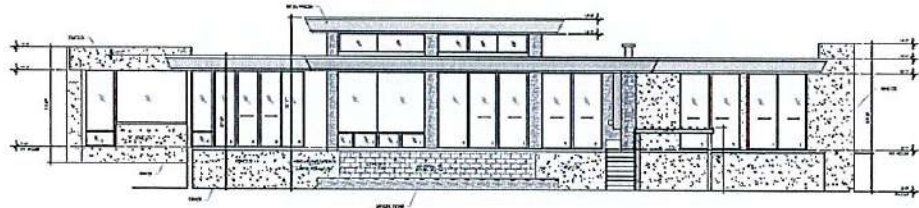
Stucco Color -
Dunn Edwards DE6214 "Pigeon Gray" LRV=43



Metal Wall Panels -
Rusted Steel



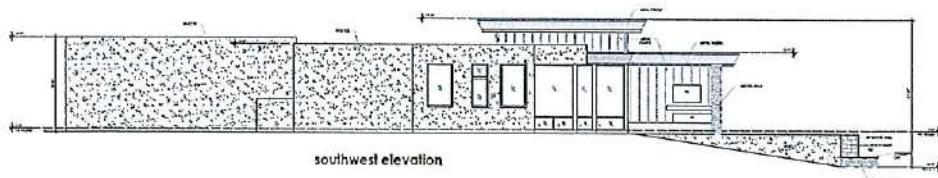
northwest elevation



southeast elevation



northeast elevation



southwest elevation

Driveway

A concrete unit paver driveway will be installed along a gradient of approximately 15%; the main garage area and guest parking will be essentially level. A crossing at the existing culvert is necessary to maintain current drainage patterns. The driveway has been reviewed and approved by Rural Metro.

Lot coverage and Disturbed Area

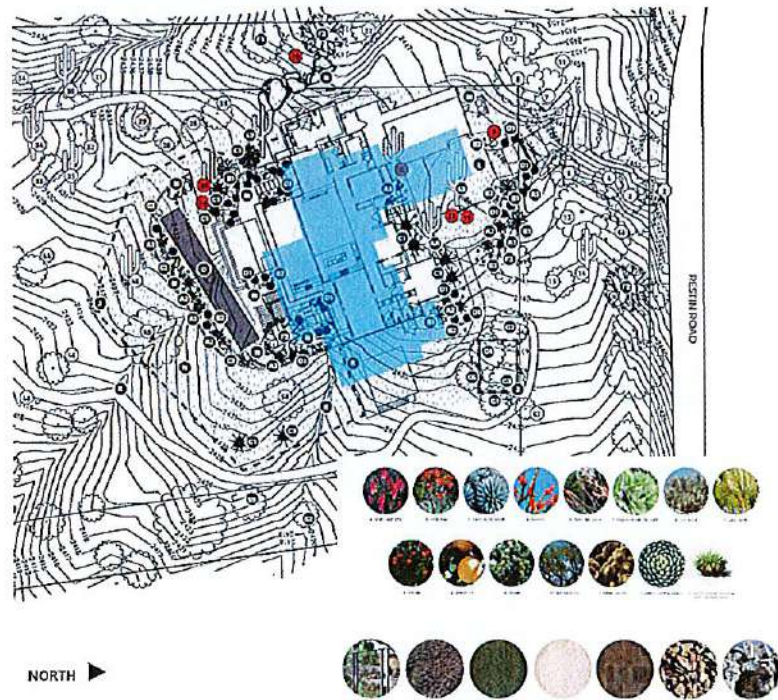
Maximum 13% lot coverage and maximum 39% disturbed area are allowed in Rural-70 Zoning District. The proposed project complies, with 5.1% lot coverage (6.1% future lot coverage) and approximately 26.11% disturbed area, which includes the driveway, septic system, rear yard, and other graded areas.

Building Setbacks

Required building setbacks in Rural-70 Zoning are 60 feet front/rear and 30 feet on the sides measured from the property lines as shown on the attached plans. The building and pool are within the developable area of the property. The residence itself is setback 93.1 feet from the property line along Restin Road, 90.6 feet from the east property line, 30 feet from the west property line, and 258 feet from the south property line.

Landscaping

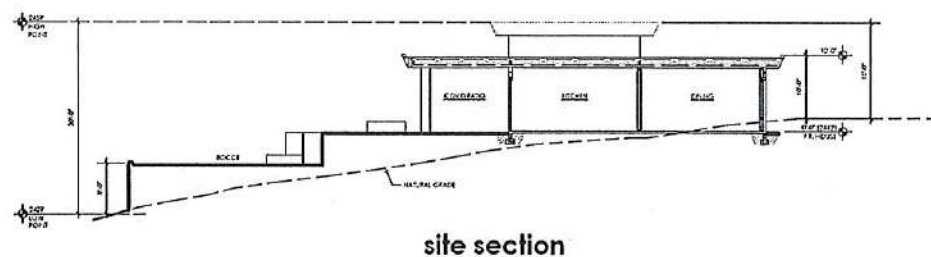
Landscaping is important in Mountainside properties, in particular, to salvage protected plants, revegetate disturbed areas, screen terraced retaining walls, and transition the development from the interior "oasis" near the home to a more natural desert areas further from the residence. A preliminary salvage inventory and a landscape plan have been submitted in association with this application.



A combination of drought tolerant plant material and salvaged plants are incorporated into the landscape plan. The owners are interested in planting fruit trees, which are allowed but not within any building setback area. A final landscape and lighting plan with supporting salvage planting information will be required at the building permit phase.

Building Height

The building complies with the 40-foot maximum cumulative height for Mountainside developments with a measurement of 30 feet. The project also meets the 24-foot maximum building height above natural and finished grade directly below.



Cut:Fill Ratio

The quantity of cut exceeds the quantity of fill by 50 cubic yards as required under the Zoning Ordinance. The total quantity of cut equals 251 cubic yards; the quantity of fill equals 201 cubic yards. Excess cut will be removed from the property.

Grading & Drainage

The project is designed to facilitate stormwater flows around the residence heading in line with natural, historic flows. The proposed finished floor will be safe from inundation during the 100-year peak runoff event. The Town Engineer has reviewed the grading plans and drainage report as part of this Mountainside case. Refined Grading and Drainage Plans shall be submitted under a future building permit.

Site Utilities

The subject property will be serviced by the Town of Carefree for water and an onsite septic system for sewer. When a building permit is submitted, the location of the water line and septic system shall be included on the plans. Disturbance is limited to 3 feet on either side of the water service line, which shall follow the alignment of the driveway; and 5 feet for septic facilities. The plans include a proposed location for the septic system, and part of the disturbance calculation. The dry utilities (electric, phone, gas, cable if applicable) will be located underground below the onsite driveway as required by Zoning.

Citizen Participation

The Citizen Participation requirements have been met. The applicant distributed a letter notifying surrounding property owners and homeowners' associations (HOAs) within a 500-foot radius of the application. The letters

were mailed on June 14, 2022, by the applicant. The applicant spoke with one neighbor about drainage, however, there was no stated opposition to the proposed development. There is no HOA associated with this property.

DRB

If the Development Review Board approves this application, the attached Conditions for Approval are provided for the Board's consideration.

Attachments:

- ❖ Conditions for Approval
- ❖ Citizen Participation Report
- ❖ Plans
 - Renderings
 - Slope Analysis
 - Grading Plan
 - Landscape Plan
 - Elevations

EXHIBIT "A"
CONDITIONS FOR APPROVAL
DRB Case #21-21-MS
6915 Restin Road, Carefree
Maricopa County Tax Parcel #216-32-016

1. All plans submitted to the Building Department for a building permit shall be consistent with the plans associated with this application and attached to this report as well as the conditions approved by the Development Review Board on October 17, 2022.
2. The granting of this Mountainside application shall be null and void if the building permit is not issued within one (1) year of approval.
3. The configuration of the septic system in the final permit plans shall be consistent with the configuration exhibited on the Grading and Drainage Plan submitted with this application and attached to this report.
4. Disturbed areas for the septic system installation shall be restored to existing grade and revegetated in a manner that is consistent with the plant type and density of the surrounding natural environment and as noted on the landscape plans. A final landscape plan which includes the associated revegetation plan shall be submitted and approved by the Town of Carefree prior to issuance of a building permit.
5. All retaining walls and/or site walls shall be designed consistent with the plans associated with this application and attached to this report, and according to Section 10.06 *Walls and Fences* of the Carefree Zoning Ordinance.
6. Driveway grading shall be designed consistent with the plans associated with this application and attached to this report and according to Section 10.06 *Site Disturbance and Driveways* of the Carefree Zoning Ordinance.
7. Exterior lighting shall meet all provisions of Article IX, Section 9.12.
8. Landscaping shall meet all provisions of Article IX, Section 9.13.

Citizen Participation Report

The Williams Residence

6915 Restin Road
Carefree, Arizona 85377

Existing Use of Property: Residence

Request: Mountainside approval

Owner: Ben and Julie Williams
PO Box 5083
Ketchikan, Alaska 99901
phone: 503-730-8602

Applicant: Tyler Green
11480 N. 85th Street
Scottsdale, Arizona 85260
phone: 480-348-2691

Contact: applicant

Responses:

The parties listed were notified by mail on June 14, 2022. See attached.

Stacey Bridge-Denzak

From: Tyler Green <tyler@greenstudioaz.com>
Sent: Wednesday, August 31, 2022 7:39 AM
To: Stacey Bridge-Denzak
Cc: Kara Cox; Mark Milstone; ben.williams@akproudteam.com;
julie.williams@akproudteam.com
Subject: Re: Feedback for APN: 216-32-016

Hi Kara,

I went by the site to look at the drainage situation and reviewed the plan with the civil engineer. The development of this home shouldn't alter the drainage that comes down near the road and deposits gravel near the transformer. Please let me know if you have any other questions.

Thanks,

On Sun, Jul 31, 2022 at 3:45 PM Tyler Green <tyler@greenstudioaz.com> wrote:

Hi Kara,

Thank you for the note. Please feel free to call me any time on my cell phone at 602-697-4246.

Thanks,

On Fri, Jul 29, 2022 at 2:05 PM Stacey Bridge-Denzak <Stacey@carefree.org> wrote:

Thank you Kara,

I will pass along your comments to the Town Engineer and place it in the case file. I'm not sure why you were not able to reach me, but my contact information is below.

Regards,

Stacey

Stacey Bridge-Denzak

Planning Director and Zoning Administrator

Town of Carefree

Email: stacey@carefree.org

Phone: 480-488-3686 Fax: 480-488-3845

PO Box 740, 8 Sundial Circle, Carefree, AZ 85377

www.carefree.org



From: Kara Cox <karamarx@cox.net>

Sent: Friday, July 29, 2022 11:16 AM

To: tyler@greenstudioaz.com; Stacey Bridge-Denzak <Stacey@carefree.org>

Subject: Feedback for APN: 216-32-016

July 28, 2022

RE: 6915 Restin Road

APN: 216-32-016

Mountainside Case Number 21-21-MS

To: Tyler Green at Green Studio & Stacey Bridge-Denzak, Planning Director Zonig Administrator

Please be advised that I have tried to call the both of you after receiving the letter of Citizen Participation and unfortunatley we have not been unable to connect. I would like to advise of my knowledge of this adjoining property to my lot and the ongoing issues related to the slope of the property and that when it rains heavy that mudslides can occur. The mud typically comes down the mountain and flows close to the road in a natural wash area. Within the wash area are utility boxes for APS. The purpose of me sharing this information is to notify for appropriate planning for drainage on the lot and placement of septic.

Thank you for this opportunity to share,

Kara Marx

6929 East Restin Rd.

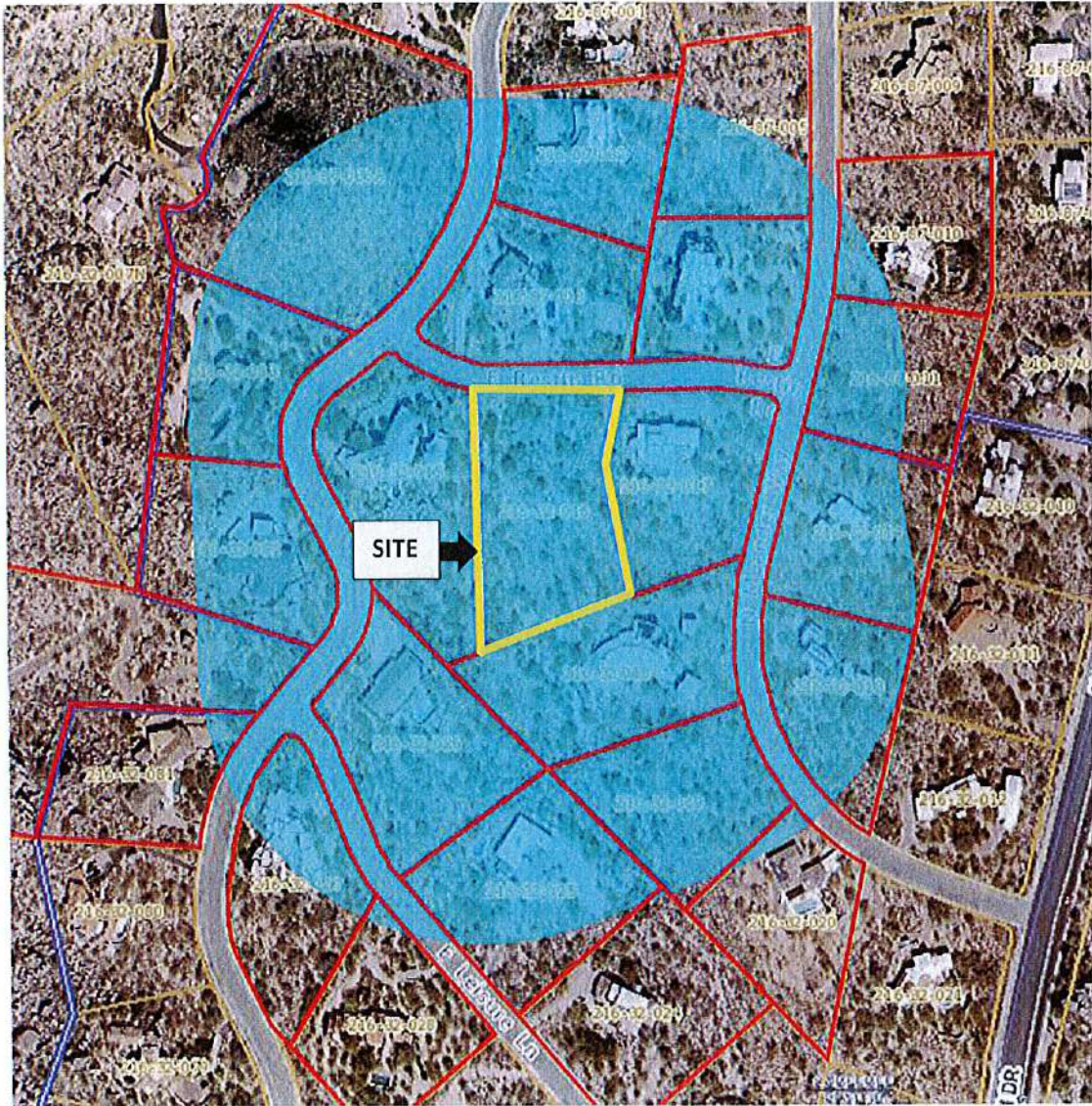
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Tyler
greenstudio
11480 N. 85th Street
Scottsdale, Arizona 85260
602-697-4246
greenstudioaz.com

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Tyler
greenstudio
11480 N. 85th Street
Scottsdale, Arizona 85260
602-697-4246
greenstudioaz.com

PROPERTIES WITHIN 500' OF
216-32-016
21-21-MS

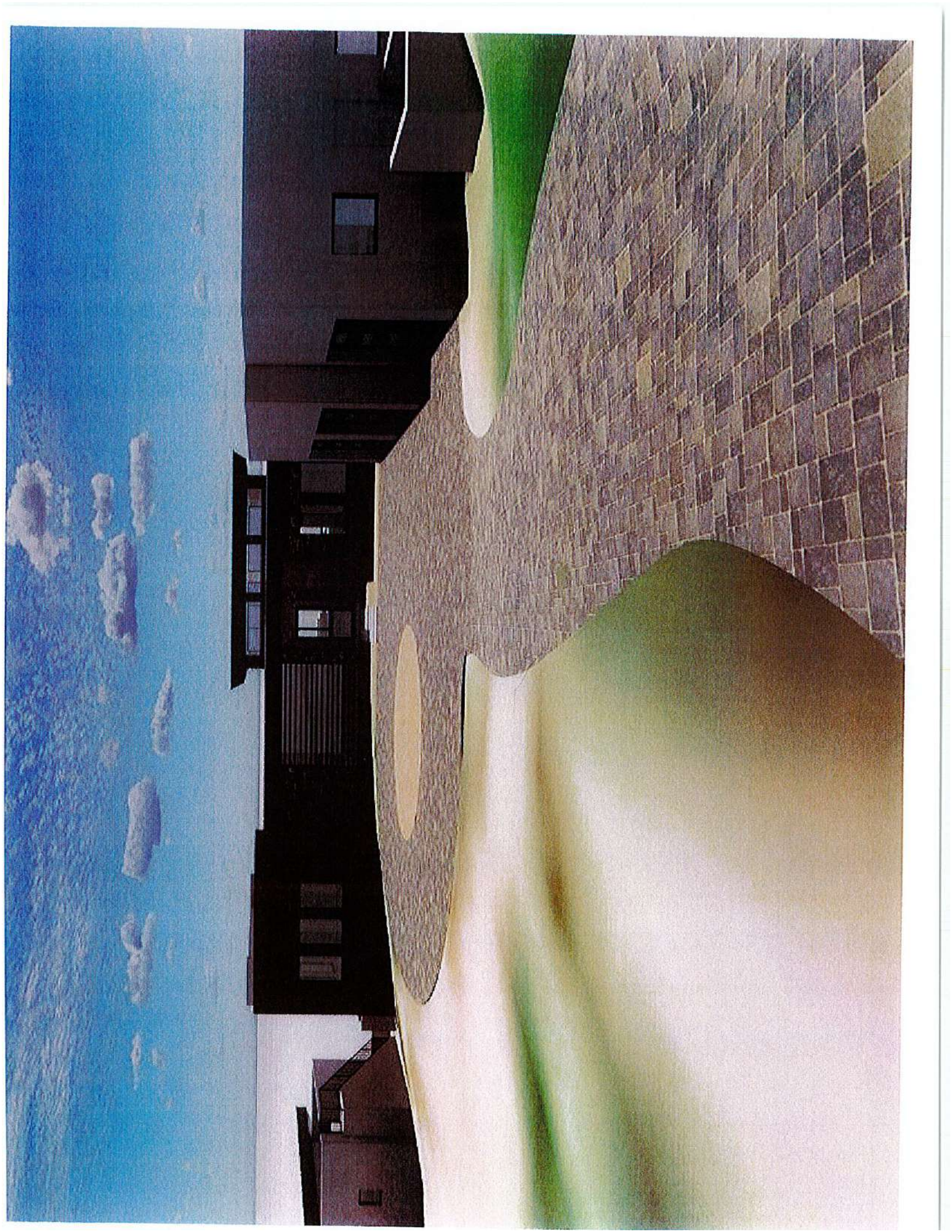


**PROPERTIES WITHIN 500' OF
216-32-016
21-21-MS**

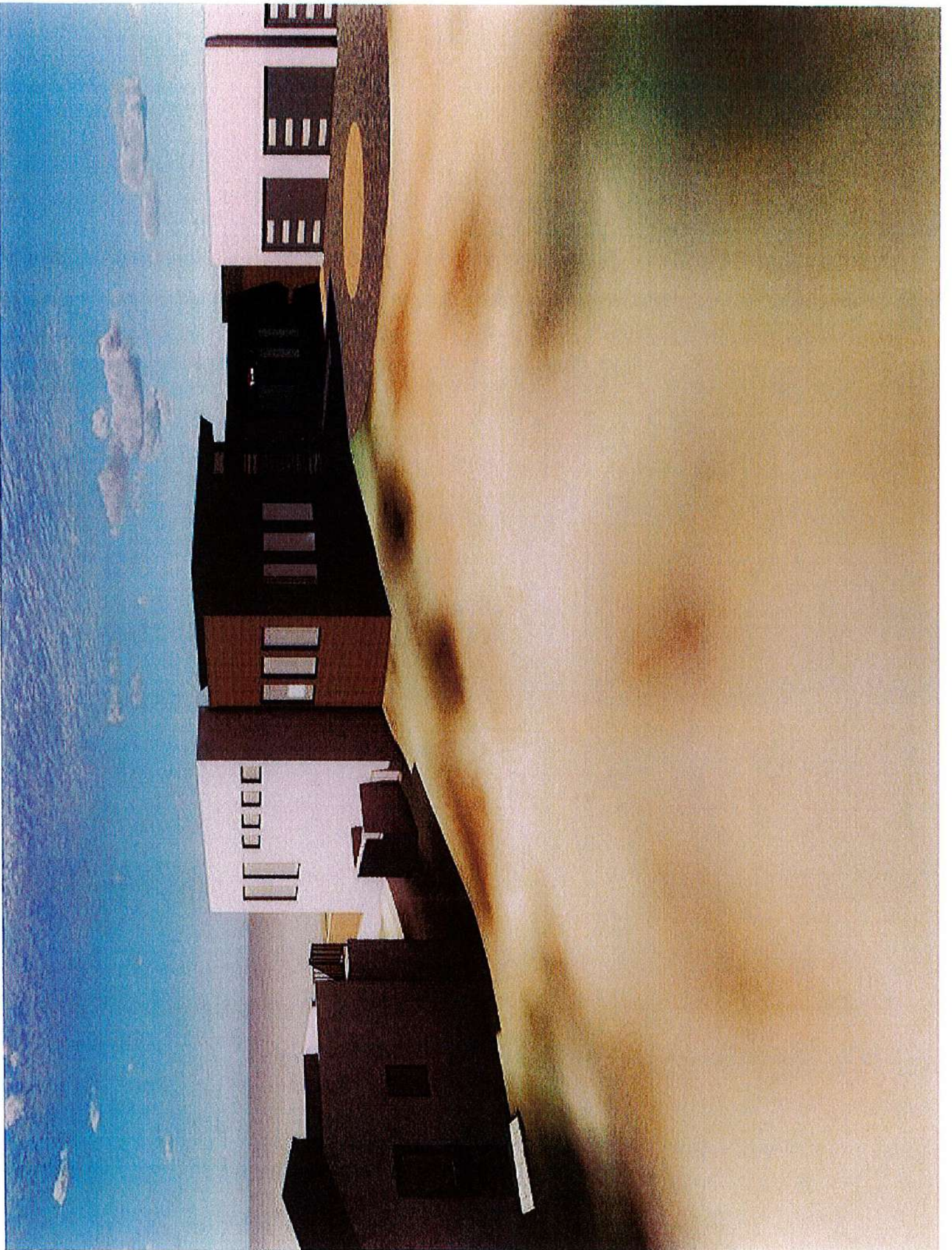
APN	PROPERTY OWNER/MAILING ADDRESS	PROPERTY ADDRESS
216-32-007U	MORRIS KENNETH R/LINDA A TR PO BOX 5766 CAREFREE AZ 85377	6964 E STAGECOACH PASS CAREFREE 85377
216-32-013	SOROHAN GARY/MARGARET PO BOX 3225 CAREFREE AZ 85377	LOT 603 35635 N MEANDER WY CAREFREE 85377
216-32-014	ANDREAS HOEPFNER FAMILY TRUST 3644 WARNER DR SAN JOSE CA 95127-4440	LOT 604 35655 N MEANDER WY CAREFREE 85377
216-32-015	RICHARD G GALGANO DECLARATION OF TRUST 24 W DONWOOD DR NAPERVILLE IL 60540	LOT 605 6901 E RESTIN RD CAREFREE 85377
216-32-016	WILLIAMS BEN F/JULIANA MARIE PO BOX 5083 KETCHIKAN AK 99901	LOT 606 6915 E RESTIN RD CAREFREE 85377
216-32-017	MARX KARA E PO BOX 1173 CAREFREE AZ 85377	LOT 607 6929 E RESTIN RD CAREFREE 85377
216-32-018	DAILEY-MEHTA LISA/MEHTA STEVEN S 35646 N MEANDER WY CAREFREE AZ 85377	LOT 608 35646 N MEANDER WY CAREFREE 85377
216-32-019	HOLLIS ROBERT/TIANA 3701 JESTER CT NW OLYMPIA WA 98502	LOT 609
216-32-020	RUSSELL L WITTENBERG LIVING TRUST PO BOX 913 CAREFREE AZ 85377	LOT 610 35626 N MEANDER WY CAREFREE 85377
216-32-024	LYNDA F CLINGER REVOCABLE TRUST PO BOX 2800 CAREFREE AZ 85377	LOT 614 7002 E LEISURE LN CAREFREE 85377
216-32-025	MILLER ALLEN 28309 N 156TH WAY SCOTTSDALE AZ 85262	LOT 615 6930 E LEISURE LN CAREFREE 85377
216-32-026	CHASTEK GARY R/CATHRYN E P O BOX 5948 CAREFREE AZ 85377	LOT 616 6969 E STAGECOACH PASS CAREFREE 85377
216-32-027	JOSEPH A BLISS TRUST 6600 BOSTON RD NORTH ROYALTON OH 44133	LOT 617 6951 E STAGECOACH PASS CAREFREE 85377

**PROPERTIES WITHIN 500' OF
216-32-016
21-21-MS**

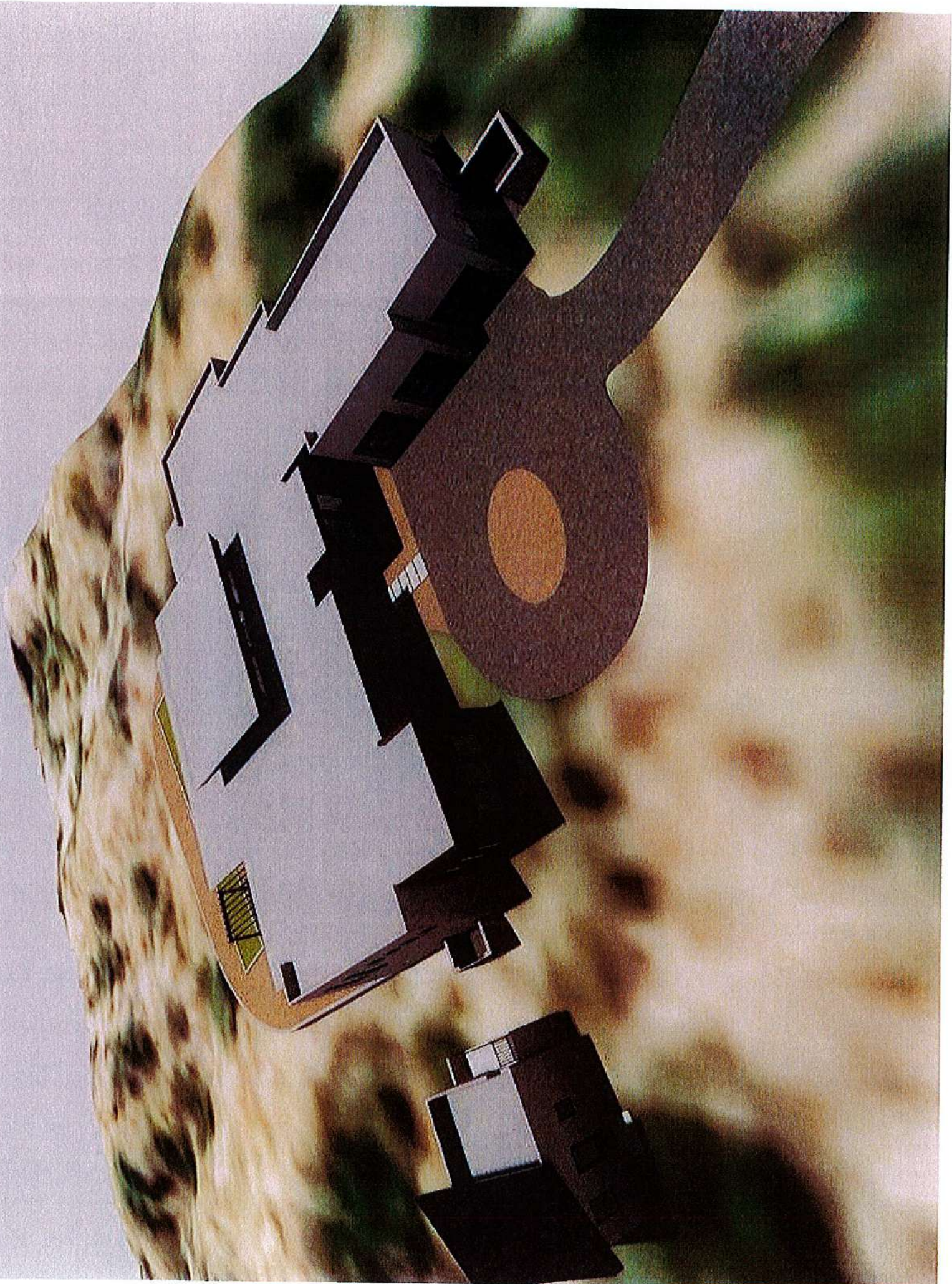
216-32-028	WETTA GERALD B/JUDITH D PO BOX 5341 CAREFREE AZ 85377	LOT 618 6929 E LEISURE LN CAREFREE 85377
216-32-081	APPLE 96 TRUST PO BOX 26780 SCOTTSDALE AZ 85255	LOT 671 6956 E STAGECOACH PASS CAREFREE 85377
216-32-082	SPEAR JANET E/LUKASZEK THEODORE J 6972 E STAGECOACH PASS CAREFREE AZ 85377	LOT 672 6972 E STAGECOACH PASS CAREFREE 85377
216-32-083	HAWN GATES H/MARY E PO BOX 1411 CAREFREE AZ 85377	LOT 673 6980 E STAGECOACH PASS CAREFREE 85377
216-87-002	DOMONT MARIE L PO BOX 1293 CAREFREE AZ 85377	LOT 501 7021 E STAGECOACH PASS CAREFREE 85377
216-87-003	MERRITT DAVID PO BOX 1076 CAREFREE AZ 85377	LOT 502 7001 E STAGECOACH PASS CAREFREE 85377
216-87-004	35802 MEANDER YOHRE LLC 35802 N MEANDER WAY CAREFREE AZ 85377	LOT 503 35802 N MEANDER WY CAREFREE 85377
216-87-005	SPIER BEATRICE REV TR 1500 SHERIDAN RD UNIT 1B WILMETTA IL 60091	LOT 504
216-87-010	BRADFORD D SMART TRUST/MARY H SMART TRUST 37202 N BLACK VELVET LN WADSWORTH IL 60083	LOT 509 35821 N MEANDER WY CAREFREE 85377
216-87-011	IOAN JOHN AND LIDIA TICA FAMILY TRUST 5410 E JUNIPER CANYON DR CAREFREE AZ 85377	LOT 510
216-87-036A	GRODZICKI ZBIGNIEW M 6833 E GRANDVIEW RD SCOTTSDALE AZ 85254	LOT 535 7020 E STAGECOACH PASS CAREFREE 85377
	TOWN OF CAREFREE PO BOX 740 CAREFREE AZ 85377	

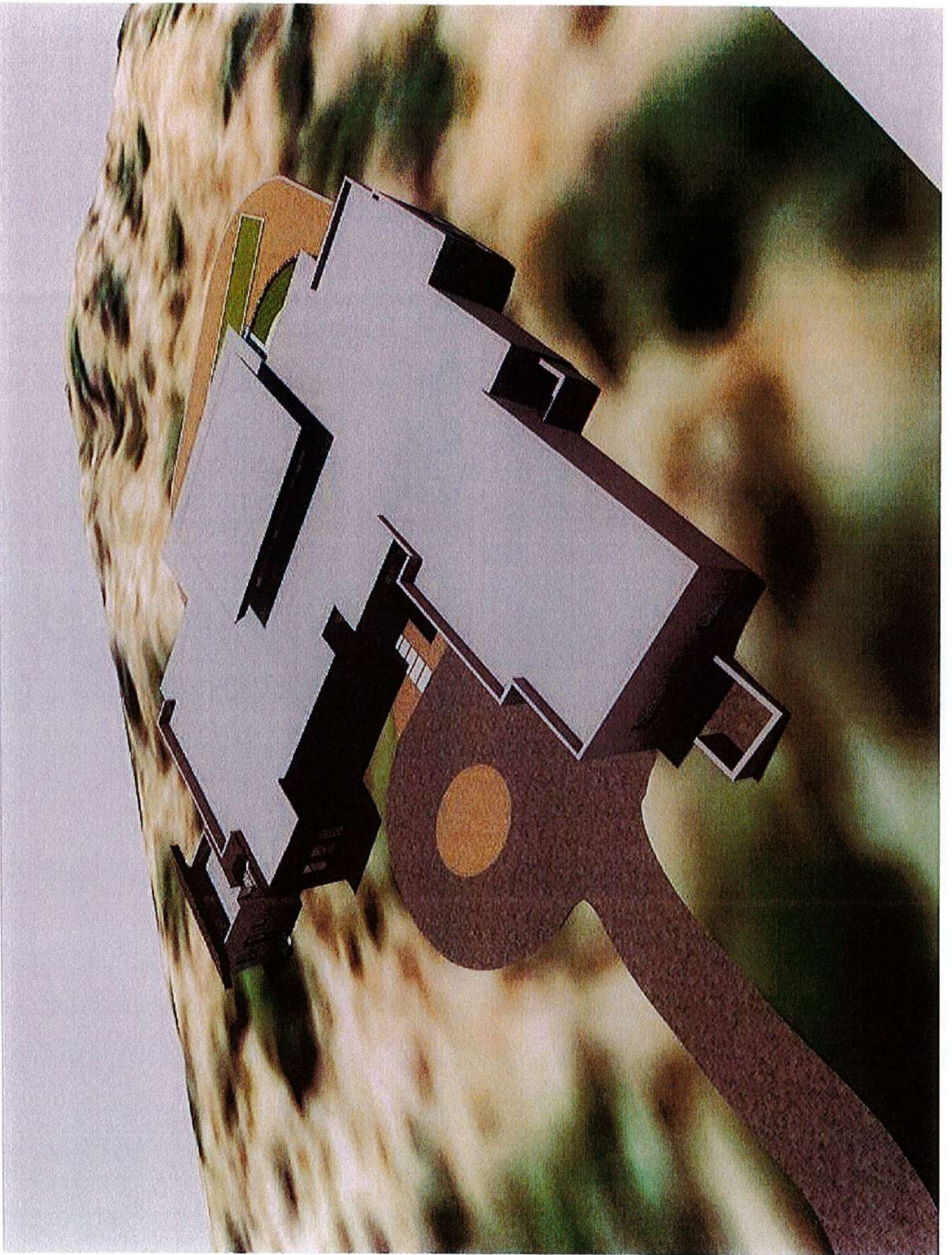




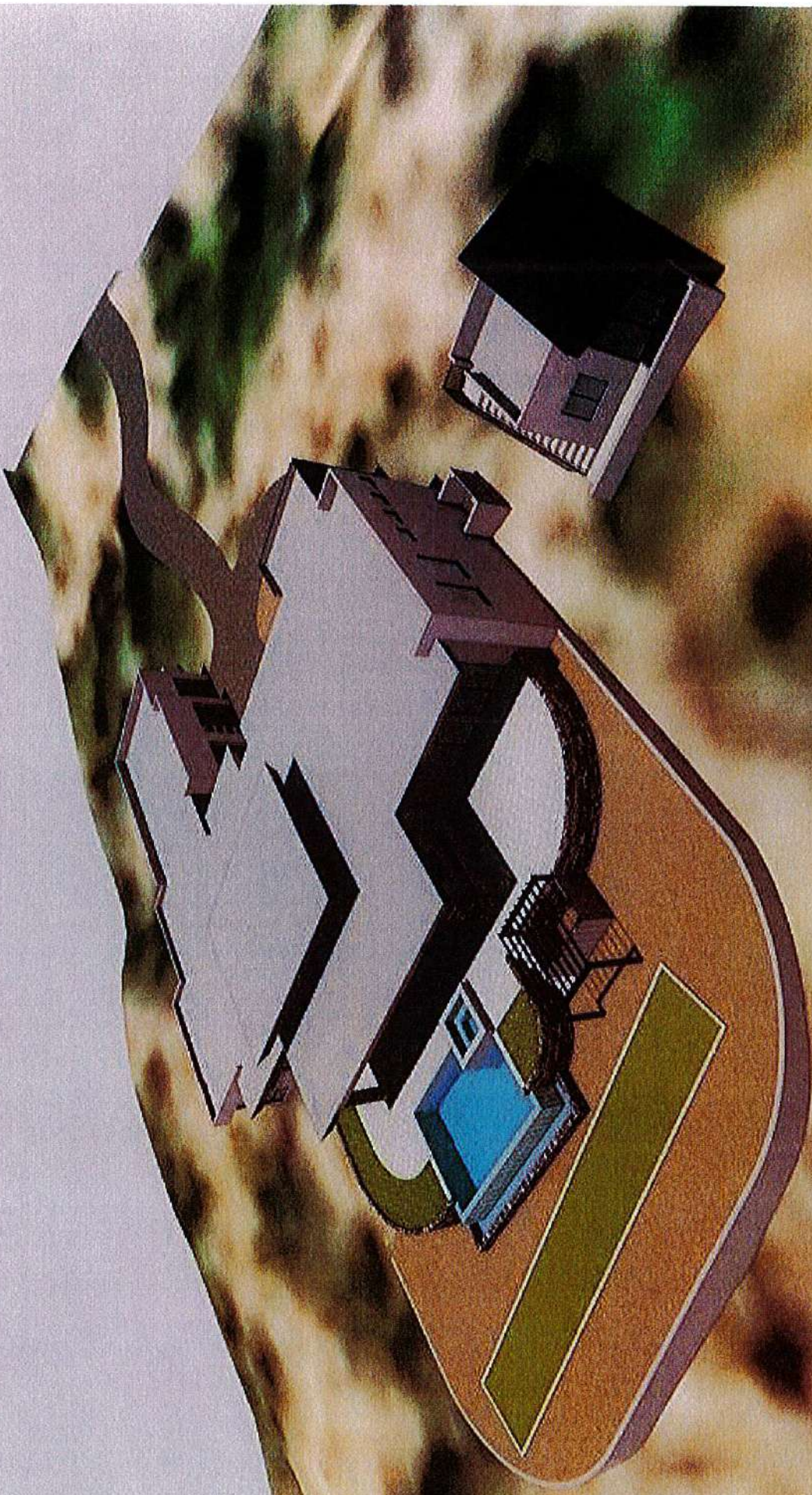




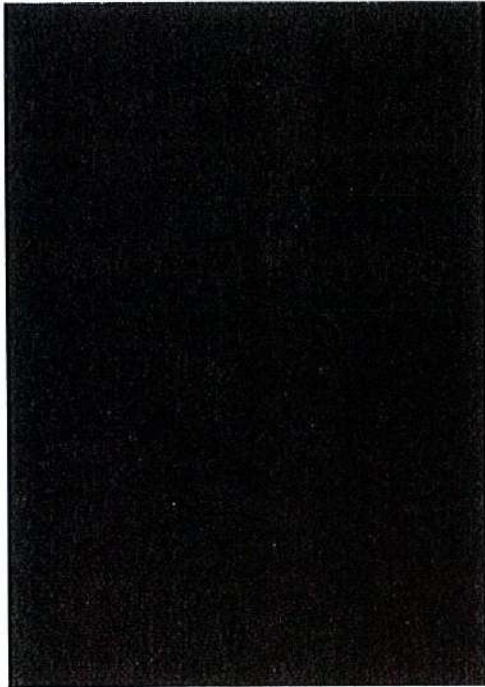




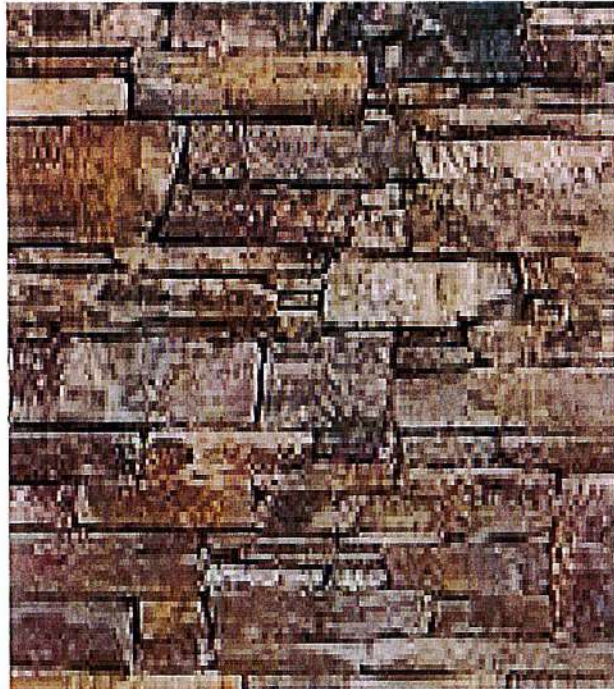




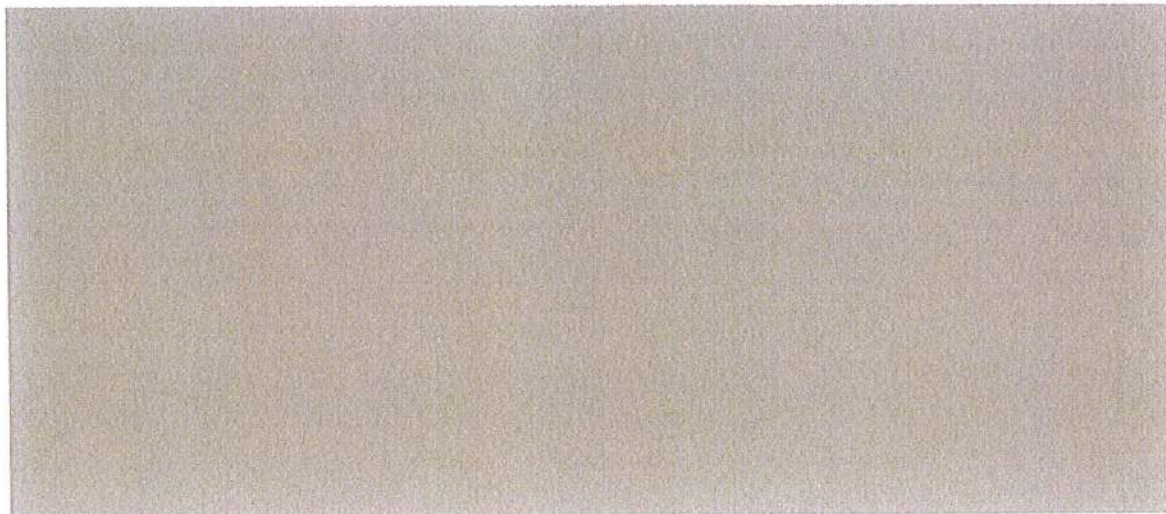




Metal Fascia -
OCM "Iron Ore"



Stone Veneer -
Ironwood Ledge Stone



Stucco Color -
Dunn Edwards DE6214 "Pigeon Gray" LRV=43



Driveway Pavers -
Belgard Dublin Cobble
Paver "Victorian"



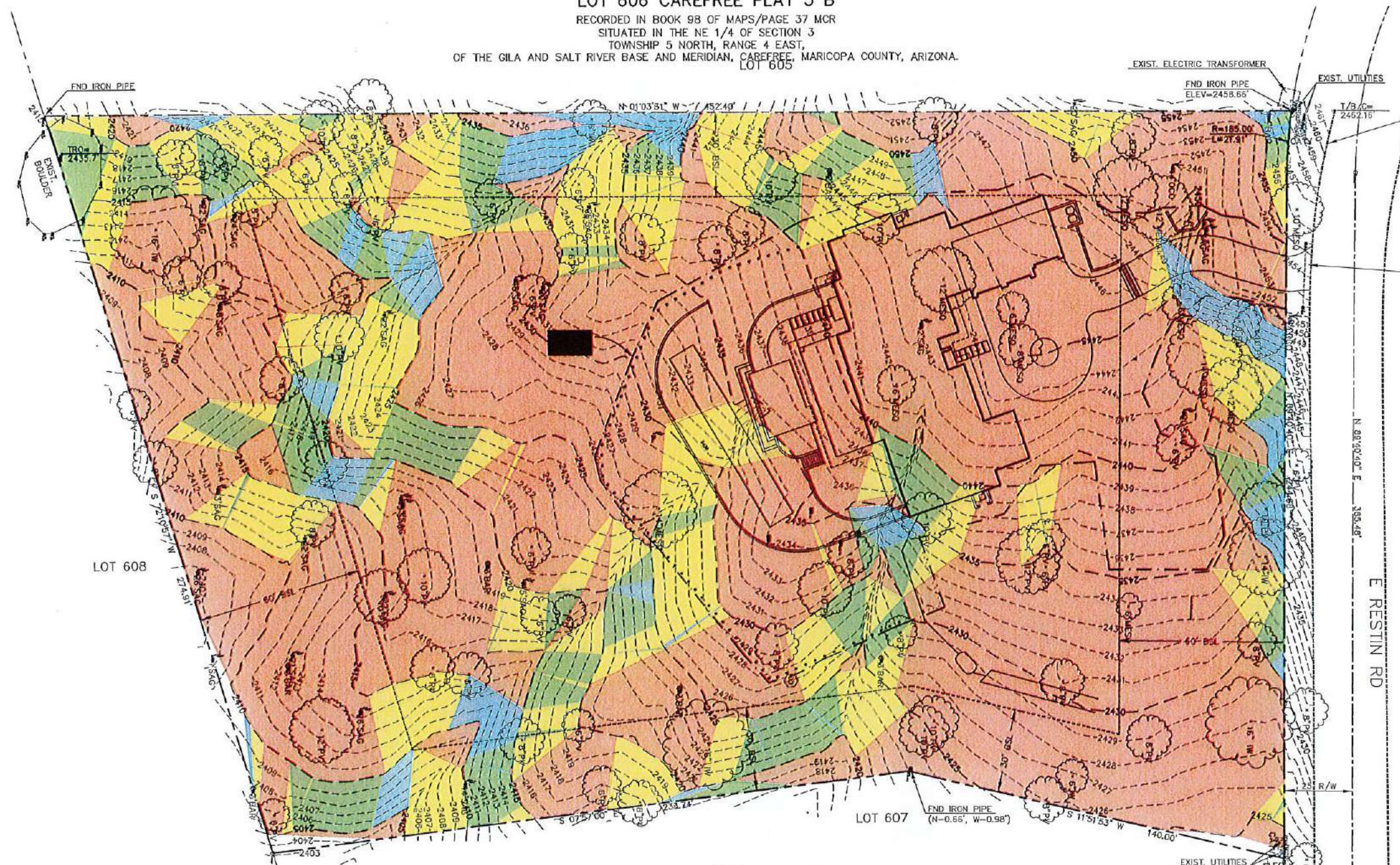
Metal Wall Panels -
Rusted Steel

The Williams Residence

6915 E. Restin Road

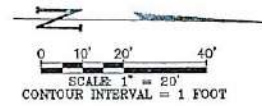
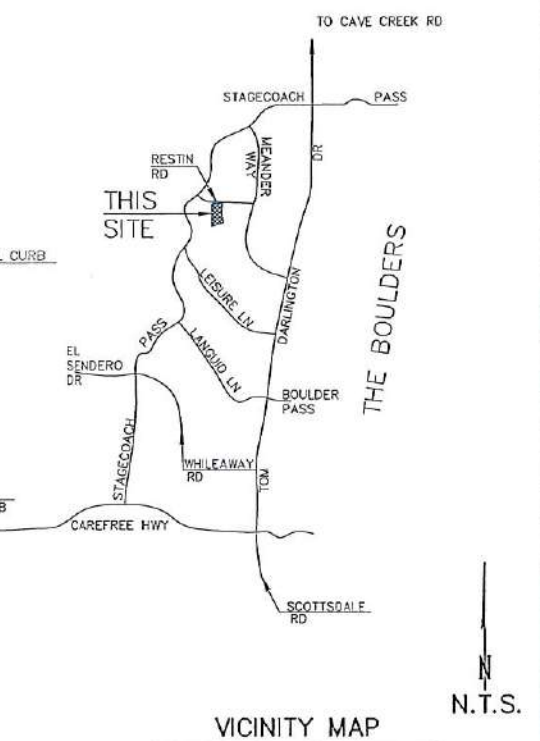
SLOPE ANALYSIS

LOT 606 CAREFREE PLAT 3 B
 RECORDED IN BOOK 98 OF MAPS/PAGE 37 MCR
 SITUATED IN THE NE 1/4 OF SECTION 3
 TOWNSHIP 5 NORTH, RANGE 4 EAST,
 OF THE GILA AND SALT RIVER BASE AND MERIDIAN, CAREFREE, MARICOPA COUNTY, ARIZONA.
 LOT 605



CAREFREE PLAT 3A AMENDED
 BOOK-96, PAGE 13 MCR

Color	Range Beg.	Range End	Percent	Area
Brown	0.00	19.99	67.5	69566
Yellow	20.00	24.99	18.7	19202
Green	25.00	29.99	9.5	9756
Blue	30+		4.3	4433



OWNER & CLIENT:
 BEN & JULIANA WILLIAMS
 PO BOX 5083
 KETCHIKAN, ALASKA 99901

SITE ADDRESS:
 6915 E RESTIN RD.
 CAREFREE, AZ. 85377

ASSESSORS PCL. NO.:
 215-32-018

ZONING:
 RURAL-70

LOT DATA:
 AREA - 102,957 S.F. / 2.36 ACRES ±

NOTES:

IF A DISCREPANCY IS FOUND BETWEEN ENGINEER'S PLAN OR SURVEYOR'S STAKING AND THE ARCHITECTURAL PLAN, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. FAILURE TO NOTIFY ENGINEER SHALL NEGATE ENGINEER'S LIABILITY.

AREAS OUTSIDE THE WALL AND CUT AND FILL SLOPES SHALL BE REVEGETATED WITH SIMILAR PLANT TYPES AND DENSITIES FOUND ON THE SITE. REVEGETATION SHALL BE COMPLETED PRIOR TO OCCUPANCY AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

A SECOND AS-BUILT SURVEY PREPARED BY A LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA WILL BE SUBMITTED PRIOR TO FRAMING INSPECTION AND SURVEY WILL VERIFY MAXIMUM STRUCTURE HEIGHT ABOVE NATURAL GRADE AND FINISH GRADE.

MECHANICAL EQUIPMENT SHALL BE SCREENED TO A MINIMUM OF ONE FOOT ABOVE TOP OF EQUIPMENT.

THIS SITE PLAN IS NOT A BOUNDARY SURVEY.

BEARINGS AND DISTANCES ARE RECORD PER PLAT UNLESS OTHERWISE NOTED.

ANY FUTURE IMPROVEMENTS SHOWN HEREON SHALL REQUIRE A SEPARATE PERMIT.

ALL EXISTING UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION, CALL BLUE STAKE AT 263-1100.

ANY POINTS OF DRAINAGE CONCENTRATION SHOULD BE PROTECTED AGAINST EROSION.

THIS PLAN IS DESIGNED TO SHOW SITE GRADING AND DRAINAGE. CONTRACTOR SHALL USE THE ARCHITECTURAL SITE PLAN TO DETERMINE FINAL HOUSE LOCATIONS AND ELEVATIONS, WALL, STEP, ETC..

ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, CONCRETE CHANNELS OR ANY OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR OTHER PROPERTIES FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURES BEING BUILT.

ALL STORM DRAINAGE FACILITIES, INCLUDING WASHES, THAT EXIST PRIOR TO CONSTRUCTION MUST REMAIN OPEN AND FUNCTIONAL WITHOUT DIMINISHED CAPACITY FOR THE DURATION OF CONSTRUCTION AND UNTIL FINAL DRAINAGE FEATURES ARE COMPLETED.

HYDROLOGIC ANALYSIS OF THIS SITE INCLUDES SURFACE RUNOFF ONLY.

ANY PROPOSED PIPES ON THIS SITE PLAN SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

POOL ENCLOSURES:

- A. POOLS SHALL BE PROTECTED BY AN ADEQUATE ENCLOSURE TO MAKE IT REASONABLY INACCESSIBLE TO SMALL CHILDREN.
- B. THE ENCLOSURE, INCLUDING GATES, SHALL NOT BE LESS THAN 5'0" ABOVE FINISH GRADE, MEASURED ON THE EXTERIOR SIDE OF THE ENCLOSURE.
- C. GATES:
 - 1. GATES SHALL BE SELF CLOSING AND SELF LATCHING.
 - 2. LATCHES SHALL BE LOCATED ON THE INSIDE OF THE ENCLOSURE AND SHALL HAVE NO MEANS OF OPENING THE GATE FROM THE OUTSIDE OTHER THAN BY THE PERSON REACHING OVER THE ENCLOSURE.
- D. GATES AND ENCLOSURE SHALL BE DESIGNED SUCH THAT A 4 INCH SPHERE CANNOT PASS THROUGH.

NOTES:

ALL EXTERIOR LIGHTING WILL BE SHIELDED TO CONFORM TO SECTION 9.12 OF THE "CAREFREE ZONING ORDINANCE".

FINISHED FLOOR ELEVATION IS A MINIMUM OF ONE FOOT ABOVE THE 100-YEAR STORM WATER SURFACE ELEVATION.

EXCESS CUT MATERIAL SHALL BE REMOVED FROM THE SITE.

A PRE-GRADING INSPECTION IS REQUIRED AFTER THE PERMIT IS ISSUED AND BEFORE ANY GRADING BEGINS. ALL PROTECTED PLANTS ARE TO BE MOVED INTO THE DESIGNATED AREAS, THE CONSTRUCTION FENCE IS TO BE IN PLACE AND THE BUILDING DEPARTMENT IS TO BE CALLED FOR AN INSPECTION.

ALL LANDSCAPING SHALL BE COMPLETED PRIOR TO FINAL INSPECTION AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

DRIP IRRIGATION WILL BE USED FOR ALL LANDSCAPED PLANT MATERIAL.

A LETTER FROM A SURVEYOR REGISTERED IN THE STATE OF ARIZONA SHALL BE SUBMITTED VERIFYING THAT THE 6-FOOT CONSTRUCTION FENCE HAS BEEN INSTALLED ALONG THE DISTURBED AREA SHOWN ON THE PLAN PRIOR TO EXCAVATION AND GRADING.

MEASURES MUST BE TAKEN DURING CONSTRUCTION TO AVOID SEDIMENT RUN OFF FROM ANY DISTURBED AREA

AN AS-BUILT SURVEY PREPARED AND CERTIFIED BY A SURVEYOR REGISTERED IN THE STATE OF ARIZONA WILL BE SUBMITTED PRIOR TO POURING THE FLOOR, AND WILL VERIFY SETBACKS AND FINISHED FLOOR ELEVATIONS.

DISTURBANCE FOR UTILITY TRENCHES IS CONFINED TO 4 FEET EITHER SIDE.

HISTORICAL ENTRANCE AND EXIT POINTS AND HYDRAULIC PROPERTIES OF ALL EXISTING DRAINAGE CHANNELS SHALL BE PRESERVED IN THEIR NATURAL CONDITIONS.

ALL PLANTS PROTECTED BY THE TOWN OF CAREFREE, INCLUDING SMALL CACTI, SHALL BE SALVAGED AND RELOCATED TO DESIGNATED PLACES.

A 6-FOOT CHAIN LINK CONSTRUCTION FENCE SHALL BE PLACED ON THE DISTURBED AREA BOUNDARY PRIOR TO EXCAVATION AND GRADING.

ALL PLANTS PROTECTED BY THE TOWN OF CAREFREE, INCLUDING SMALL CACTI, SHALL BE SALVAGED AND RELOCATED TO DESIGNATED PLACES. SAGUARO TRANSPLANTING METHODOLOGY RECOMMENDED BY THE TOWN OF CAREFREE WILL BE USED.

HYAC UNITS AND MECHANICAL EQUIPMENT INCLUDING POOL EQUIPMENT SHALL BE SCREENED BY SOLID WALLS AND GATED PURSUANT TO SECTION 9.07 OF THE CAREFREE ZONING ORDINANCE AND IN CONFORMANCE WITH CAREFREE BUILDING CODE.

CIVIL GRADING & DRAINAGE PLAN

LOT 606 CAREFREE PLAT 3 B

RECORDED IN BOOK 98 OF MAPS/PAGE 37 MCR

SITUATED IN THE NE 1/4 OF SECTION 3

TOWNSHIP 5 NORTH, RANGE 4 EAST,

OF THE GILA AND SALT RIVER BASE AND MERIDIAN, CAREFREE, MARICOPA COUNTY, ARIZONA.

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION:

COMMUNITY NUMBER	PANEL NUMBER AND DATE	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEV (IN AO ZONE, USE DEPTH)
040126	882 (10/16/13)	L	(11/04/15)	X	N/A

ENGINEER'S CERTIFICATION: THE LOWEST FLOOR ELEVATION(S) AND/OR FLOOD PROOFING ELEVATION(S) ON THIS PLAN, ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY A 100 YEAR STORM

LEGEND:

- A/C AIR CONDITIONING EQUIPMENT
- ACP ASBESTOS-CEMENT PIPE
- BAR BARREL CACTUS
- BDR BOULDER
- BJ BOULDER JUMBLE
- BSL BUILDING SETBACK LINE
- CABLE TELEVISION
- CATV CAT CLAW
- CC CHAIN FRUIT CHOLLA
- CFC CUBIC FEET PER SECOND
- CFS CRUCIFIXION THORN
- CT DENOTES CALCULATED
- (C) DENOTES MEASURED
- (M) DENOTES RECORDED
- (R) DIRECTION OF DRAINAGE
- ← DRAINAGE EASEMENT
- DE EDGE OF DISTURBED AREA
- EDA EDGE OF PAVEMENT
- E/P
- (EXIST) ELECTRIC
- ELEC.
- (00)--- EXISTING CONTOUR
- (00.0) EXISTING ELEVATION
- (EXIST) EXISTING FIRE HYDRANT
- FF FINISHED FLOOR
- FND FOUND
- ◇ FOUND BUILDING ENVELOPE STAKE
- FOUND MONUMENT
- GPE GENERAL PURPOSE EASEMENT
- IW IRONWOOD
- (ICV) IRRIGATION CONTROL VALVE
- MESQ MESQUITE
- OCOT Ocotillo
- PV PALO VERDE
- (00)--- PROPOSED CONTOUR
- 00.0 PROPOSED ELEVATION
- PUE PUBLIC UTILITIES EASEMENT
- RECORD MONUMENT
- RO ROCK OUTCROP
- SAG SAGUARO CACTUS
- (EXIST) TELEPHONE RISER
- TR
- T/B/C TOP BACK OF CURB
- TF TOP OF FOOTING
- TR TOP OF RAIL
- TW TOP OF WALL
- TOF TOP OF FENCE
- VNAE VEHICULAR NON-ACCESS EASEMENT
- (1) WALL OPENING FOR DRAINAGE (8"x16")
- (WB) WATER METER BOX
- (WS) WATER METER BOX WITH SERVICE
- WV WATER VALVE
- YUCCA
- YUCCA CLUMP
- YC YUCCA(S) under 6' in height (unless otherwise indicated)

RIP-RAP NOTE:

ALL CONSTRUCTED SLOPES SHALL BE EROSION PROTECTED WITH RIP-RAP & PLANTS.

PLACE RIP-RAP EROSION PROTECTION AT ALL POINTS WHERE RUNOFF FROM ROOFS OR OTHER IMPERVIOUS AREAS ENTERS THE NATURAL GRADE

AS-BUILT CERTIFICATION:

I HEREBY CERTIFY THAT THE AS-BUILT DIMENSIONS AND ELEVATIONS SHOWN HEREON ARE CORRECT AND ACCURATE

AS-BUILT TOP OF STEM WALL & BUILDING SETBACKS _____ Date _____

AS-BUILT HEIGHT OF BUILDING _____ Date _____

BENCHMARK:

UNIQUE POINT ID: 9318 POINT ID: 42599-1
 FND 3" MARICOPA COUNTY BRASS CAP AT THE NORTHEAST CORNER OF SECTION 3, T5N, R4E.
 ELEVATION=2369.98' (NAV088)

T.B.M.:

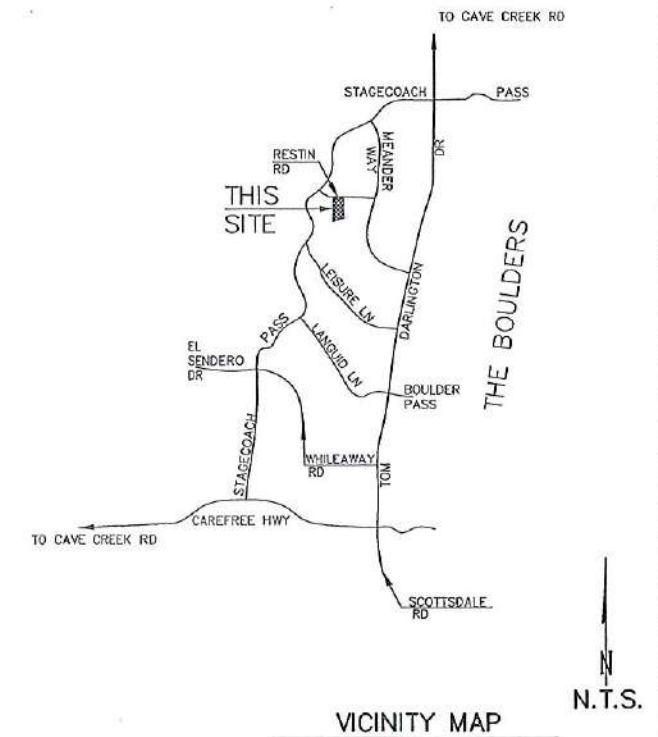
FND IRON PIPE AT THE NORTHWEST CORNER OF LOT 606 CAREFREE PLAT 3B.
 ELEVATION=2458.66' (NAV088)

UTILITIES NOTE:

HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES SHOWN IN THE PLAN ARE APPROXIMATE ONLY AND WILL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION WORK. CALL BLUE STAKE @ 811 OR GO TO ARIZONA811.COM

ENGINEERS CERTIFICATION:

THIS IS TO CERTIFY THAT THE ENGINEERING INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION.



OWNER & CLIENT:

BEN & JULIANA WILLIAMS
 PO BOX 5065
 KETCHIKAN, ALASKA 99901

SITE ADDRESS:

6915 E RESTIN RD.
 CAREFREE, AZ. 85377

ASSESSORS PCL. NO.:

216-32-016

ZONING:

RURAL-70

LOT DATA:

AREA - 102,957 S.F. / 2.36 ACRES ±	
DISTURBED AREA	28,683 S.F. (26.11%)
MAX. DRIVEWAY WIDTH	16 FT.
AVG. DRIVEWAY WIDTH	12 FT.
DRIVEWAY LENGTH	102 LF.
PARKING AREA	726 S.F.
MAX DRIVEWAY CUT	4 FT.
MAX DRIVEWAY FILL	N/A
LENGTH OF RET. WALLS	365 LF.
MAX HGT. RET. WALLS	6 FT.
AVG. HGT. RET. WALLS	4 FT.
LENGTH OF NON RET. WALLS	42 LF.

CUT & FILL:

BUILDING PAD

CUT 251 C.Y.
 FILL 201 C.Y.
 NET CUT 50 C.Y.

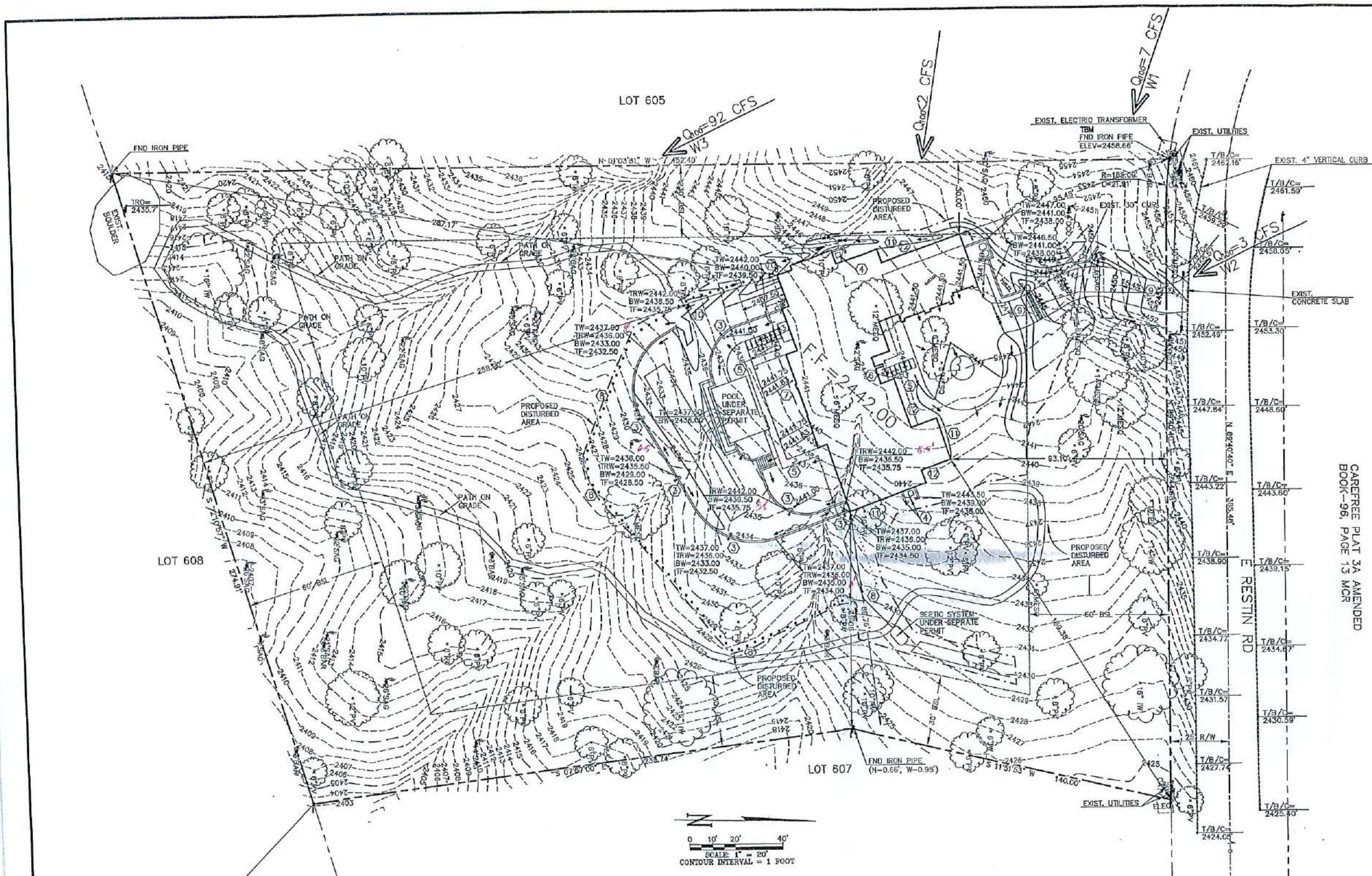
Note: Quantities shown are approximate only. Engineer makes no guarantee as to the accuracy of the quantities shown herein. Contractor shall verify quantities independently prior to bidding. Quantities do not include compaction, ground accretion, shrink or swell factors.

DATE:

PHASE 1	8/29/18	MP
G&D	04-25-22	PS
CAREFREE	07-19-22	PS

GRAHAM SURVEYING & ENGINEERING INC.

Civil Engineers & Land Surveyors
 P.O. BOX 1240, Carefree, Arizona 85377
 (480) 488-4393



- CONSTRUCTION NOTE:**
- ① TRENCH DRAIN PER DETAIL 1 ON C-3
 - ② WATERPROOF WALL TO 1.5' MINIMUM ABOVE OUTSIDE FINISHED GRADE. WALL TO BE SOLID GROUT C.M.U. WITH WATERPROOF COATING AGAINST SOIL.
 - ③ LANDSCAPE DRAIN PER DETAIL 2 ON C-3
 - ④ THE PAD ELEVATIONS OF ALL A/C AND/OR ELECTRO-MECHANICAL UNITS WILL BE SET REASONABLY HIGHER THAN THE ADJACENT GRADES TO PROVIDE FLOOD PROTECTION UNDER THE 100-YR STORM EVENT
 - ⑤ ROOF OVERHANG
 - ⑥ ENTRY
 - ⑦ COVERED PATIO
 - ⑧ 5' HIGH STICKS IN THE DESERT REFER TO LANDSCAPE PLANS FOR DETAILS
 - ⑨ ELEC, TEL, CATV
 - ⑩ SEE TYPICAL SWALE DETAIL THIS SHEET
 - ⑪ INSTALL RIP RAP SPLASH PADS AT ALL ROOF SCUPPER LOCATIONS PER DETAIL 3 THIS SHEET.
 - ⑫ PROVIDE 6" OF FALL WITHIN 10' OF DISTANCE AT ALL EXTERIOR BUILDING WALLS.

CAREFREE PLAT 3A AMENDED
BOOK-96, PAGE 13 MCR

ENGINEERS CERTIFICATION:
THIS IS TO CERTIFY THAT THE ENGINEERING INFORMATION SHOWN HEREON WAS EXECUTED UNDER MY DIRECTION. I HEREBY CERTIFY THAT ALL FLOOR ELEVATIONS SHOWN ON THIS PLAN ARE 1 FOOT ABOVE THE 100-YEAR WATER SURFACE ELEVATION.



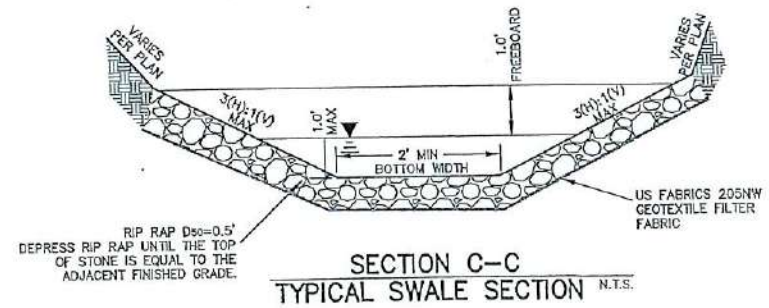
DATE:

PHASE 1	8/29/18	MP
G&D	04-25-22	FS
CAREFREE	07-19-22	FS

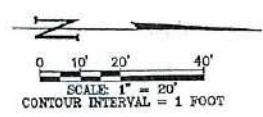
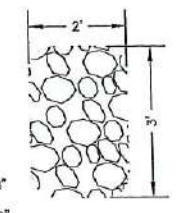
GRAHAM SURVEYING & ENGINEERING INC.
Civil Engineers & Land Surveyors
P.O. BOX 1240, Carefree, Arizona 85377
(480) 488-4393
LOT 606 CAREFREE PLAT 3 B, SHT. 2 OF 2, JOB #21-110p20

BENCHMARK:
UNIQUE POINT ID: 8318 POINT ID: 42599-1
FND 3" MARICOPA COUNTY BRASS CAP AT THE NORTHEAST CORNER OF SECTION 3, T5N, R4E.
ELEVATION=2369.89' (NAVD88)

T.B.M.:
FND IRON PIPE AT THE NORTHWEST CORNER OF LOT 606
CAREFREE PLAT 3B.
ELEVATION=2458.66' (NAVD88)



- 3 RIP RAP UNDERNEATH SCUPPERS**
- RIP RAP NOTES:**
1. HAND PLACE THE FLAT FACE OF THE ROCK UP IN A CONCAVE SHAPE.
 2. EXPOSED RIP RAP SURFACES ARE TO BE TREATED WITH EPOXY OR OTHER ACCEPTABLE DESERT VARNISH.
 3. NO INDIVIDUAL ROCK SMALLER THAN 8" DIAMETER WITH A THICKNESS OF 8".
 4. PROVIDE 12" COVER OVER THE NEW 12" HDPE STORMPIPE TO THE BOTTOM OF STONE.





- LANDSCAPE + LIGHTING NOTES:**
- a. A pre-grading inspection is required after the permit is issued and before any grading begins. All protected plants are to be moved into designated areas, the construction fence is to be in place and the Build Department is to be called for an inspection.
 - b. All plants protected by the Town of Carefree, including small cacti, shall be salvaged and relocated to designated places.
 - c. Any protected plants remaining in place within the disturbed area shall be cordoned off and protected during construction.
 - d. Drip irrigation shall be applied to newly installed plants and salvaged trees.
 - e. At a minimum, disturbed areas shall be revegetated with native plants that conform to the density of plants in the surrounding natural environment and/or according to the Landscape Plan. Typically, locate 4 plants and/or cacti per 150 square feet and 1 tree per 450 square feet. Revegetation shall include hydroseeding.
 - f. All Saguaro to be salvaged shall be transplanted according to the Saguaro Salvage and Transplanting Recommended by the Town of Carefree methodology.
 - g. All exterior lighting will be shielded to comply with Section 9.12 of the Carefree Zoning Ordinance.
 - h. All landscaping shall be completed prior to final inspection and issuance of a Certificate of Occupancy.
 - i. All exterior wall and surface mounted light fixtures shall be fully shielded. Mounting height of wall fixtures shall not exceed 8 feet.

- GRADING + DRAINAGE NOTES:**
- a. A letter from a surveyor registered in the State of Arizona shall be submitted verifying that the 6-foot construction fence has been installed along the disturbed area shown on the plan prior to excavation and grading.
 - b. Restore existing grade at new septic system and provide for revegetation per the landscape plan.

- WALLS + FENCES NOTES:**
- a. Walls and fences that are otherwise permissible in Article IX, (A)Section 9.09 are prohibited on mountainsides with slopes of twenty percent (20%) or greater unless otherwise specified within this section.
 - b. Courtyard enclosures within the buildable area (outside of the 6' required yards) shall not exceed a height of six (6) feet (measured from outside finished grade). Any associated gate shall not exceed a height of ten (10) feet. All areas within a courtyard enclosure shall be included with the disturbed area calculations.
 - c. No solid masonry wall is permitted in a required front yard 7' (front yard building setback).

TOWN OF CAREFREE HYDRO-SEED MIX TABLE

BOTANICAL NAME	COMMON NAME	NURSERY SIZE	LB PER ACRE
<i>Ambrosia deltoidea</i>	Triangle Leaf Borage	Seed	3 lbs
<i>Acacia constricta</i>	Whitehorn Acacia	Seed	1 lbs
<i>Bahya multinedata</i>	Desert Marigold	Seed	2 lbs
<i>Cassia covillei</i>	Desert Sericea	Seed	1 lbs
<i>Dryasodia pentacheta</i>	Osgoodweed	Seed	1 lbs
<i>Eriogonum fasciculatum</i>	Turpentine Bush	Seed	1 lbs
<i>Escholtzia mexicana</i>	Mexican Poppy	Seed	1 lbs
<i>Lecanostemum tenax</i>	Blunewood	Seed	1 lbs
<i>Larrea tridentata</i>	Crocoite	Seed	2 lbs
<i>Phacelia campanularia</i>	California Bluebell	Seed	2 lbs
<i>Simmondsia chinensis</i>	Jajoba	Seed	1 lbs
<i>Sphaeralcea ambigua</i>	Desert Globemallow	Seed	1 lbs

THESE DRAWINGS AND SPECIFICATIONS SHALL NOT BE REPRODUCED OR DUPLICATED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION OF DESIGN TEAM.

NATIVE PLANT INVENTORY + COMMENTS

Native plant survey indicates all existing varieties through tags indicating health and location plans.
 WHITE (remain in place)
 BLUE (unsalvageable)
 RED (salvageable to re-locate)
 All RED plants to be re-located according to plan layout - see L-01 for details.
 Select native plants to be re-located per owner request noted in comments.

SURVEY COMPLETED 2/14/2022 BY:
 TREE RELOCATORS, INC
 6502 N 81ST PLACE
 SCOTTSDALE, AZ 85250
 480-947-6118

PLANT TOTALS	TREE	CACTI
REMAIN IN PLACE	37	11
SALVAGE	1	6
DESTROY	12	1
TOTAL	50	18

OVERALL TOTALS	
REMAIN IN PLACE	48
SALVAGE	7
DESTROY	13
TOTAL	68

NATIVE PLANT INVENTORY - COMMENTS

TAG	SIZE	SPECIES	CONDITION	DISPOSITION	ARMS	COMMENTS	TAG	SIZE	SPECIES	CONDITION	DISPOSITION	ARMS	COMMENTS
1	10"	MESQUITE	FAIR	REMAIN IN PLACE			35	9"	PALO VERDE	POOR	REMAIN IN PLACE		
2	15"	OCOTILLO	GOOD	REMAIN IN PLACE			36	10"	PALO VERDE	POOR	REMAIN IN PLACE		
3	10"	IRONWOOD	POOR	REMAIN IN PLACE			37	8"	PALO VERDE	POOR	REMAIN IN PLACE		
4	10"	PALO VERDE	POOR	REMAIN IN PLACE			38	8"	PALO VERDE	POOR	REMAIN IN PLACE		
5	8"	MESQUITE	POOR	REMAIN IN PLACE			39	12"	PALO VERDE	POOR	REMAIN IN PLACE		
6	8' LF	SAGUARO	GOOD	SALVAGABLE	2		40	12"	PALO VERDE	POOR	REMAIN IN PLACE		
7	10"	MESQUITE	FAIR	REMAIN IN PLACE			41	68' LF	SAGUARO	GOOD	REMAIN IN PLACE	7	
8	10"	MESQUITE	POOR	REMAIN IN PLACE			42	10"	PALO VERDE	POOR	REMAIN IN PLACE		
9	3'	BARREL	GOOD	SALVAGABLE			43	42' LF	SAGUARO	GOOD	REMAIN IN PLACE	2	
10	8"	YUCCA ELATA	GOOD	SALVAGABLE			44	12"	PALO VERDE	POOR	REMAIN IN PLACE		
11	14'	OCOTILLO	GOOD	REMAIN IN PLACE			45	80' LF	SAGUARO	GOOD	REMAIN IN PLACE	10	
12	8"	PALO VERDE	POOR	REMAIN IN PLACE			46	8"	PALO VERDE	POOR	REMAIN IN PLACE		
13	12"	MESQUITE	POOR	REMAIN IN PLACE			47	38' LF	SAGUARO	GOOD	REMAIN IN PLACE	4	SEE RELOCATION PLAN
14	38' LF	SAGUARO	GOOD	REMAIN IN PLACE	2		48	3"	BARREL	GOOD	REMAIN IN PLACE		
15	10"	PALO VERDE	POOR	REMAIN IN PLACE			49	15"	MESQUITE	POOR	REMAIN IN PLACE		
16	7"	ACACIA	POOR	UNSAVAGABLE		MISTLETOE	50	8"	MESQUITE	POOR	UNSAVAGABLE		DIE BACK
17	11"	OCOTILLO	GOOD	SALVAGABLE			51	4"	BARREL	POOR	UNSAVAGABLE		DISEASE
18	8"	ACACIA	POOR	UNSAVAGABLE		MISTLETOE	52	8"	ACACIA	POOR	UNSAVAGABLE		MISTLETOE
19	12"	MESQUITE	GOOD	SALVAGABLE			53	10"	PALO VERDE	POOR	UNSAVAGABLE		SPLIT TRUNK
20	15"	SAGUARO	GOOD	SALVAGABLE			54	8"	PALO VERDE	POOR	UNSAVAGABLE		STRUCTURE
21	12"	PALO VERDE	POOR	UNSAVAGABLE		TRUNK DISEASE	55	14"	PALO VERDE	POOR	UNSAVAGABLE		MISTLETOE
22	10"	PALO VERDE	POOR	REMAIN IN PLACE			56	12"	PALO VERDE	POOR	UNSAVAGABLE		TRUNK DISEASE
23	5' LF	BARRELS	GOOD	SALVAGABLE	2		57	8"	PALO VERDE	POOR	UNSAVAGABLE		SLOPE
24	12"	PALO VERDE	FAIR	REMAIN IN PLACE		SEE RELOCATION PLAN	58	14"	PALO VERDE	POOR	REMAIN IN PLACE		
25	10"	PALO VERDE	POOR	REMAIN IN PLACE			59	12"	PALO VERDE	POOR	REMAIN IN PLACE		SEE RELOCATION PLAN
26	8"	PALO VERDE	POOR	REMAIN IN PLACE			60	10"	PALO VERDE	POOR	REMAIN IN PLACE		
27	6"	PALO VERDE	POOR	UNSAVAGABLE		LATERAL ROOT	61	10"	PALO VERDE	POOR	REMAIN IN PLACE		
28	8"	PALO VERDE	POOR	REMAIN IN PLACE			62	8"	PALO VERDE	POOR	REMAIN IN PLACE		SEE RELOCATION PLAN
29	10"	PALO VERDE	POOR	REMAIN IN PLACE			63	8"	MESQUITE	POOR	REMAIN IN PLACE		
30	95' LF	SAGUARO	POOR	REMAIN IN PLACE	6	SEE RELOCATION PLAN	64	10"	PALO VERDE	POOR	REMAIN IN PLACE		
31	10"	PALO VERDE	POOR	REMAIN IN PLACE			65	8"	PALO VERDE	POOR	REMAIN IN PLACE		
32	10"	PALO VERDE	POOR	REMAIN IN PLACE			66	8"	IRON WOOD	FAIR	REMAIN IN PLACE		
33	40' LF	SAGUARO	GOOD	REMAIN IN PLACE	4	SEE RELOCATION PLAN	67	8"	PALO VERDE	POOR	REMAIN IN PLACE		MULTIPLE TRUNKS
34	50' LF	SAGUARO	GOOD	REMAIN IN PLACE	4	SEE RELOCATION PLAN	68	12"	MESQUITE	POOR	REMAIN IN PLACE		

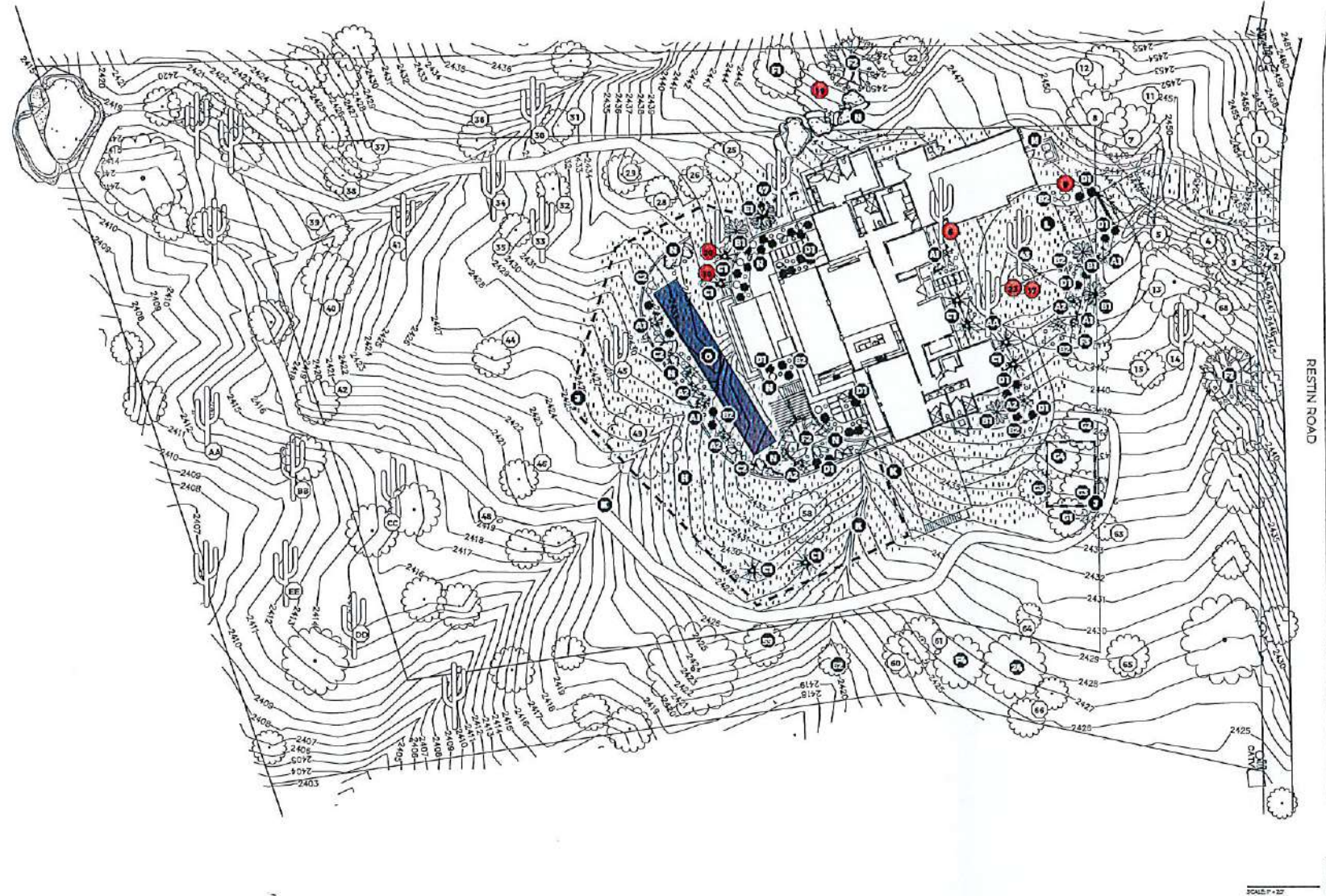
LF = LINEAR FEET

A COUPLE OF GREEN THUMBS
 LANDSCAPING
 RESIDENTIAL + COMMERCIAL
 608 E. CAVE CREEK RD. #3
 CAVE CREEK, AZ 85318
 624-832-2256
 INFO@COUPLEGREENTHUMBS.COM
 WWW.COUPLEGREENTHUMBS.COM

LANDSCAPING CUSTOM HOME
 WILLIAMS RESIDENCE
 5915 RESTIN RD.
 CAREFREE, AZ 85777
 LANDSCAPING SITE PLAN

DATE:
 07-07-2022 - REVISED

L-00



LANDSCAPE + LIGHTING NOTES:
 a. A pre-grading inspection is required after the permit is issued and before any grading begins. All protected plants are to be moved into designated areas, the construction fence is to be in place and the Build Department is to be called for an inspection.
 b. All plants protected by the Town of Carefree, including small cacti, shall be salvaged and relocated to designated places.
 c. Any protected plants remaining in place within the disturbed area shall be cordoned off and protected during construction.
 d. Drip irrigation shall be applied to newly installed plants and salvaged trees.
 e. At a minimum, disturbed areas shall be revegetated with native plants that conform to the density of plants in the surrounding natural environment and/or according to the Landscape Plan. Typically, locate 4 plants and/or cacti per 150 square feet and 1 tree per 450 square feet. Revegetation shall include hydroseeding.
 f. All Saguaros to be salvaged shall be transplanted according to the Saguardo Salvage and Transplanting Recommended by the Town of Carefree methodology.
 g. All exterior lighting will be shielded to comply with Section 9.12 of the Carefree Zoning Ordinance.
 h. All landscaping shall be completed prior to final inspection and issuance of a Certificate of Occupancy.
 i. All exterior wall and surface mounted light fixtures shall be fully shielded. Mounting height of wall fixtures shall not exceed 8 feet.

GRADING + DRAINAGE NOTES:
 a. A letter from a surveyor registered in the State of Arizona shall be submitted verifying that the 6-foot construction fence has been installed along the disturbed area shown on the plan prior to excavation and grading.
 b. Restore existing grade at new septic system and provide for revegetation per the landscape plan.

WALLS + FENCES NOTES:
 a. Walls and fences that are otherwise permissible in Article IX (A) Section 9.09 are prohibited on mountainsides with slopes of twenty percent (20%) or greater unless otherwise specified within this section.
 b. Courtyard enclosures within the buildable area (outside of the 5' required yards) shall not exceed a height of six (6) feet (measured from outside finished grade). Any associated gate shall not exceed a height of ten (10) feet. All areas within a courtyard enclosure shall be included with the disturbed area calculations.
 c. No solid masonry wall is permitted in a required front yard 7' (front yard building setback).

TOWN OF CAREFREE HYDRO-SEED MIX TABLE

BOTANICAL NAME	COMMON NAME	NURSERY SIZE	LB PER ACRE
<i>Ambrosia deltoidea</i>	Triangle Leaf Burweed	Seed	3 lbs
<i>Acacia constricta</i>	Whitehorn Acacia	Seed	1 lb
<i>Salvia multiradiata</i>	Desert Marigold	Seed	2 lbs
<i>Cassia crassi</i>	Desert Senna	Seed	1 lb
<i>Dryasofia pentachaeta</i>	Dogweed	Seed	1 lb
<i>Eriogonum fasciculatum</i>	Turpentine Bush	Seed	1 lb
<i>Eschscholzia mexicana</i>	Mexican Poppy	Seed	1 lb
<i>Isocoma tenuisecta</i>	Bluemeadow	Seed	1 lb
<i>Larrea tridentata</i>	Cresote	Seed	2 lbs
<i>Phacelia campanularia</i>	California Bluebell	Seed	2 lbs
<i>Simmondsia chinensis</i>	Jujoba	Seed	1 lb
<i>Sphaeralcea ambigua</i>	Desert Globemallow	Seed	1 lb

THESE DRAWINGS AND SPECIFICATIONS SHALL NOT BE REPRODUCED OR DUPLICATED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION OF DESIGN TEAM.

LANDSCAPE PLAN

Plan indicates re-location placement for all salvageable existing native plants. Natural arrangement for boulder retaining wall north of primary dwelling (key-1). Limited list of in-fill planting provided for primary entry - xeriscape selections do not require irrigation and align with city of Carefree plant recommendations.

NEW PLANTING + HARDSCAPE + IRRIGATION

KEY	COMMON NAME	LATIN NAME	SIZE	QUANTITY
A1	SAFARI ROSE ALOE	<i>aloe x 'safari rose'</i>	5 GAL	x5
A2	CORAL ALOE	<i>aloe striata</i>	5 GAL	x5
B1	BLACK SPINE AGAVE	<i>agave macrocarantha</i>	5 GAL	x6
B2	QUEEN VICTORIA AGAVE	<i>agave victoriana</i>	1 GAL	x68
C1	OCOTILLO	<i>foenicularia splendens</i>	5 GAL	x8
C2	BARREL CACTUS	<i>echinocactus grusonii</i>	5 GAL	x4
D1	TEXAS RED YUCCA	<i>hesperaloe</i>	5 GAL	x39
E1	PIGMY DATE PALM	<i>phoenix roebelenii</i>	24" BOX	x1
F1	PINON TREE	<i>pinus edulis</i>	24" BOX	x1
F2	CHILEAN MESQUITE	<i>prosopis chilensis</i>	24" BOX	x3
F3	MELALEUCA (TEA TREE)	<i>melaleuca linariifolia</i>	24" BOX	x1
F4	DESERT HACKBERRY	<i>calis pallida</i>	24" BOX	x1
G1	BROWN SELECT SATSUMA	<i>citrus reticulata</i>	24" BOX	x1
G2	ORO BLANCO GRAPEFRUIT	<i>citrus x paradise</i>	24" BOX	x1
G3	KUMQUAT	<i>citrus japonica</i>	24" BOX	x1
G4	PINEAPPLE GUAVA	<i>fujiia sellowiana</i>	24" BOX	x1
G5	BEARSS LIME	<i>citrus x latifolia</i>	24" BOX	x1
H	RE-SEED AREA (SEE TOWN OF CAREFREE TABLE)			
I	CORTEN STEEL PLANTER			
J	FENCING (HEIGHT NOT TO EXCEED 6' ABOVE GROUND WITH 6" BURIED POSTS)			
K	NATURAL PATH QUARTER MINUS MADISON GOLD			
L	PARKING + DRIVEWAY MATERIAL			
M	IRRIGATION CONTROL			
N	BOULDER DECORATIVE + RETENTION			
O	COLD DECOMPOSED GRANITE 1/4" MINUS OYSTER SHELL BLEND OR TURF			

NATIVE PLANT INVENTORY - COMMENTS

COMMENTS: TAGS 59 + 62 TO BE RELOCATED AWAY FROM PLANNED FENCE AND PATHWAY

TAG	SIZE	SPECIES	CONDITION	DISPOSITION	ARMS	COMMENTS
1	10"	MESQUITE	FAIR	REMAIN IN PLACE		
2	15"	OCOTILLO	GOOD	REMAIN IN PLACE		
3	10"	IRONWOOD	POOR	REMAIN IN PLACE		
4	10"	PALO VERDE	POOR	REMAIN IN PLACE		
5	8"	MESQUITE	POOR	REMAIN IN PLACE		
6	8' LF	SAGUARO	GOOD	SALVACABLE	2	
7	10"	MESQUITE	FAIR	REMAIN IN PLACE		
8	10"	MESQUITE	POOR	REMAIN IN PLACE		
9	3"	BARREL	GOOD	SALVACABLE		
10	8"	YUCCA ELATA	GOOD	SALVACABLE		
11	14"	OCOTILLO	GOOD	REMAIN IN PLACE		
12	8"	PALO VERDE	POOR	REMAIN IN PLACE		
13	12"	MESQUITE	POOR	REMAIN IN PLACE		
14	38' LF	SAGUARO	GOOD	REMAIN IN PLACE	2	
15	10"	PALO VERDE	POOR	REMAIN IN PLACE		
16	7"	ACACIA	POOR	UNSAVACABLE		
17	11"	OCOTILLO	GOOD	UNSAVACABLE		MISTLETOE
18	8"	ACACIA	POOR	UNSAVACABLE		MISTLETOE
19	12"	MESQUITE	GOOD	SALVACABLE		
20	15"	SAGUARO	GOOD	SALVACABLE		
21	12"	PALO VERDE	POOR	UNSAVACABLE		TRUNK DISEASE
22	10"	PALO VERDE	POOR	REMAIN IN PLACE		
23	5' LF	BARREL	GOOD	SALVACABLE	2	
24	12"	PALO VERDE	FAIR	REMAIN IN PLACE		SEE RELOCATION PLAN
25	10"	PALO VERDE	POOR	REMAIN IN PLACE		
26	8"	PALO VERDE	POOR	REMAIN IN PLACE		
27	6"	PALO VERDE	POOR	UNSAVACABLE		LATERAL ROOT
28	8"	PALO VERDE	POOR	REMAIN IN PLACE		
29	10"	PALO VERDE	POOR	REMAIN IN PLACE		
30	95' LF	SAGUARO	POOR	REMAIN IN PLACE	6	
31	10"	PALO VERDE	POOR	REMAIN IN PLACE		
32	10"	PALO VERDE	POOR	REMAIN IN PLACE		
33	40' LF	SAGUARO	GOOD	REMAIN IN PLACE	4	
34	50' LF	SAGUARO	GOOD	REMAIN IN PLACE	4	
35	9"	PALO VERDE	POOR	REMAIN IN PLACE		
36	10"	PALO VERDE	POOR	REMAIN IN PLACE		
37	8"	PALO VERDE	POOR	REMAIN IN PLACE		
38	8"	PALO VERDE	POOR	REMAIN IN PLACE		
39	12"	PALO VERDE	POOR	REMAIN IN PLACE		
40	12"	PALO VERDE	POOR	REMAIN IN PLACE		
41	68' LF	SAGUARO	GOOD	REMAIN IN PLACE	7	
42	10"	PALO VERDE	POOR	REMAIN IN PLACE		
43	42' LF	SAGUARO	GOOD	REMAIN IN PLACE	2	SEE RELOCATION PLAN
44	12"	PALO VERDE	POOR	REMAIN IN PLACE		
45	80' LF	SAGUARO	GOOD	REMAIN IN PLACE	10	
46	8"	PALO VERDE	POOR	REMAIN IN PLACE		
47	39' LF	SAGUARO	GOOD	REMAIN IN PLACE	4	SEE RELOCATION PLAN
48	3"	BARREL	GOOD	REMAIN IN PLACE		
49	15"	MESQUITE	POOR	REMAIN IN PLACE		
50	8"	MESQUITE	POOR	UNSAVACABLE		DIE BACK
51	4"	BARREL	POOR	UNSAVACABLE		DISEASE
52	8"	ACACIA	POOR	UNSAVACABLE		MISTLETOE
53	10"	PALO VERDE	POOR	UNSAVACABLE		SPLIT TRUNK
54	8"	PALO VERDE	POOR	UNSAVACABLE		STRUCTURE
55	14"	PALO VERDE	POOR	UNSAVACABLE		MISTLETOE
56	12"	PALO VERDE	POOR	UNSAVACABLE		TRUNK DISEASE
57	8"	PALO VERDE	POOR	UNSAVACABLE		SLOPE
58	14"	PALO VERDE	POOR	REMAIN IN PLACE		
59	12"	PALO VERDE	POOR	REMAIN IN PLACE		SEE RELOCATION PLAN
60	10"	PALO VERDE	POOR	REMAIN IN PLACE		
61	10"	PALO VERDE	POOR	REMAIN IN PLACE		
62	8"	PALO VERDE	POOR	REMAIN IN PLACE		SEE RELOCATION PLAN
63	8"	MESQUITE	POOR	REMAIN IN PLACE		
64	10"	PALO VERDE	POOR	REMAIN IN PLACE		
65	8"	PALO VERDE	POOR	REMAIN IN PLACE		
66	9"	IRONWOOD	FAIR	REMAIN IN PLACE		
67	8"	PALO VERDE	POOR	UNSAVACABLE		MULTIPLE TRUNKS
68	12"	MESQUITE	POOR	REMAIN IN PLACE		
AA	16"	SAGUARO	GOOD	MOVE PER OWNER REQUEST		SEE RELOCATION PLAN
BB	TBD	SAGUARO	GOOD	REMAIN IN PLACE		
CC	TBD	SAGUARO	GOOD	REMAIN IN PLACE		
DD	TBD	SAGUARO	GOOD	REMAIN IN PLACE		
EE	TBD	SAGUARO	GOOD	REMAIN IN PLACE		

LF = LINEAR FEET

A COUPLE OF GREEN THUMBS

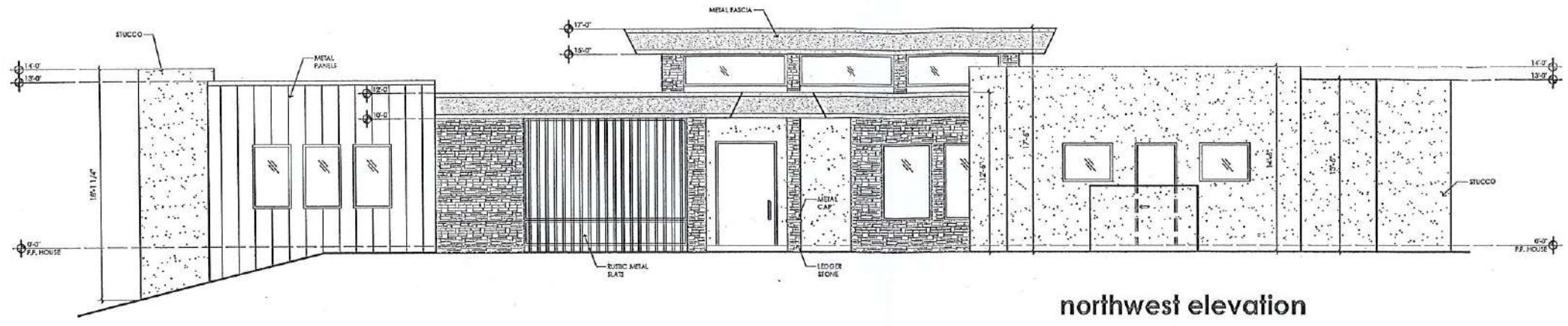
LANDSCAPING
 RESIDENTIAL + COMMERCIAL
 6505 E CAVE CREEK RD. #3
 CAVE CREEK, AZ 85731
 928-482-8288
 INFO@ACOUPLEROFGREENTHUMBS.COM
 WWW.ACOUPLEROFGREENTHUMBS.COM

LANDSCAPING CUSTOM HOME

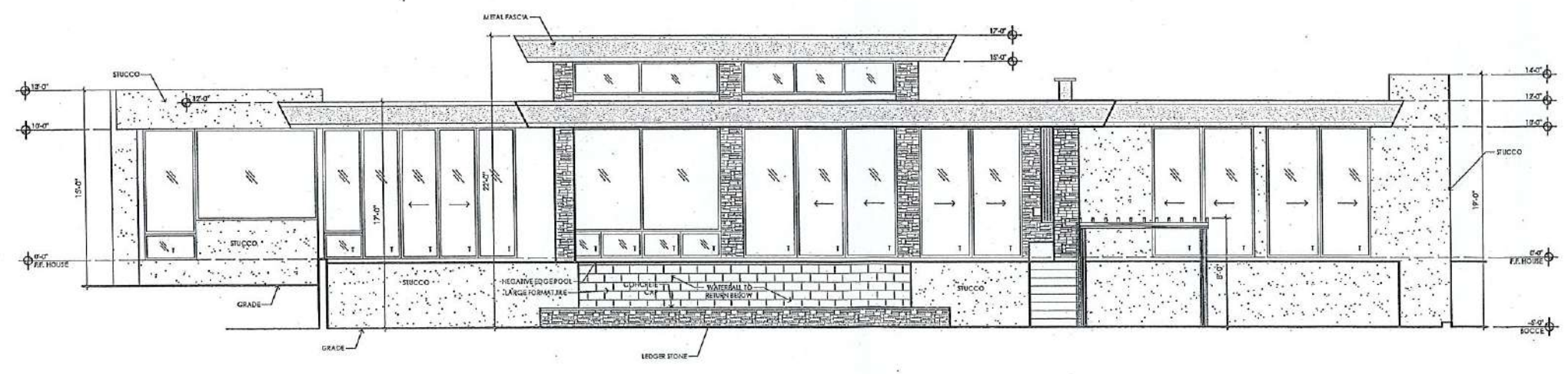
WILLIAMS RESIDENCE
 5915 E RESTIN RD.
 CAREFREE, AZ 85977
 LANDSCAPING SITE PLAN

DATE:
 07-07-2022 - REVISED

L-01

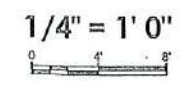


northwest elevation



southeast elevation

building elevations



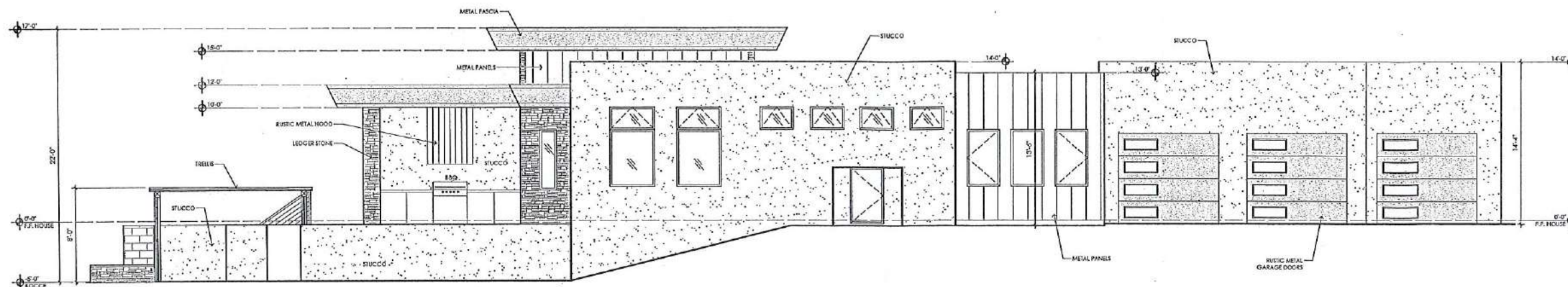
The Williams Residence
 6915 E. Restin Road, Lot 606
 Carefree, Arizona



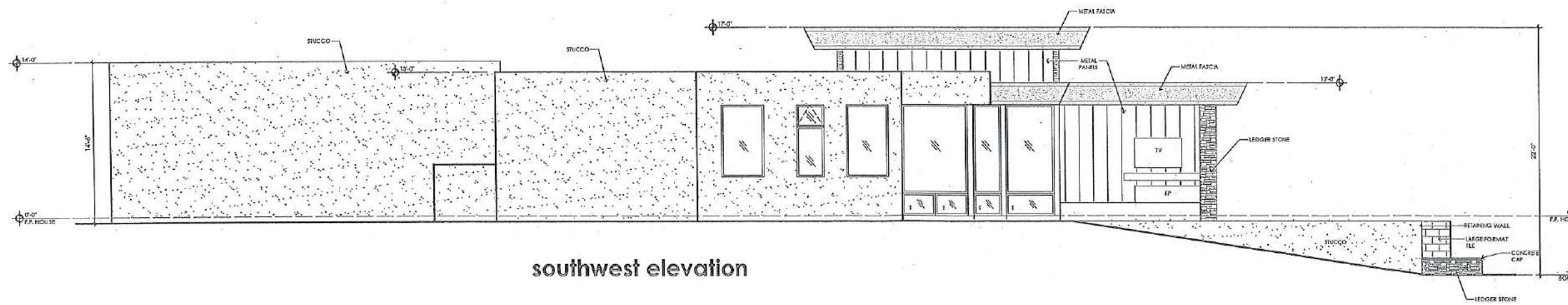
greenstudio
 (602) 937-4549
 info@greenstudio.com
 1145 N. 15th St.
 Scottsdale, AZ 85260
 greenstudio.com

date: 7/1/2022
 revised:

A4



northeast elevation



southwest elevation

building elevations

1/4" = 1' 0"
 0 4 8

The Williams Residence

6915 E. Restin Road, Lot 606
 Carefree, Arizona



greenstudio

1 (602) 838-0208
 tyler@greenstudio.com
 2801 N. 30th St.
 Scottsdale, AZ 85251
 greenstudio.com

date: 7/1/2023
 rev: 01

A5

DEVELOPMENT REVIEW BOARD - STAFF REPORT



MEETING DATE: October 17, 2022

Item No. 3

SUBJECT Mountainside Single-Family Residence, DRB Case #21-26-MS

REQUEST Pursuant to Article X of the Zoning Ordinance, this is a request for approval of a single-family residence in a Mountainside Zoning District overlay. The Mountainside overlay applies to properties in Carefree which contain a 20% percent slope or greater over a 50-foot length perpendicular to such slope. The philosophy of the Mountainside District is twofold: (1) encourage development to be placed in the least environmentally sensitive areas of a site; and (2) the proposed development is strategically integrated into the hillside.

Key Items for Consideration:

- The property is located at 37102 Never Mind Trail, Carefree, Maricopa County Tax Parcel #216-28-073.
- The parcel is approximately 2.98 acres (129,834 sf) in size and zoned Rural-70 Single Family Residential.
- A single-level home with a three-car split garage and attached workshop, detached casita, covered patios, pool and spa, terraced retaining walls, and natural landscaping.
- Building materials include rusted Cor-ten steel cladding, stone veneer and painted stucco with metal fascia and accent panels. Project includes a concrete unit paver driveway and painted stucco retaining walls.
- Access to the site is from Never Mind Trail, a public street, as permitted on the revised plat.
- There are environmentally sensitive features on the site including steep slopes, protected plant species and a wash.
- The site meets the cut-to-fill ratio requirement of cut exceeding fill.
- Landscaping is proposed to revegetate disturbed areas and transition from the structures to the natural desert.
- The lot will be served by the Town of Carefree for water and an individual septic system provided by the Owner.
- The driveway location complies with the Town of Carefree Resolution 2022-14 related to easement abandonments.
- Citizen Participation requirements have been met.

**APPLICANT/
OWNER**

Owners

David and Lisa Black
7336 E. Soaring Eagle Wy
Scottsdale, AZ 85266

Applicant

Mr. Ken Bartels
KCBA Architecture
P.O. Box 45438
Phoenix, AZ 85016

Civil Engineer

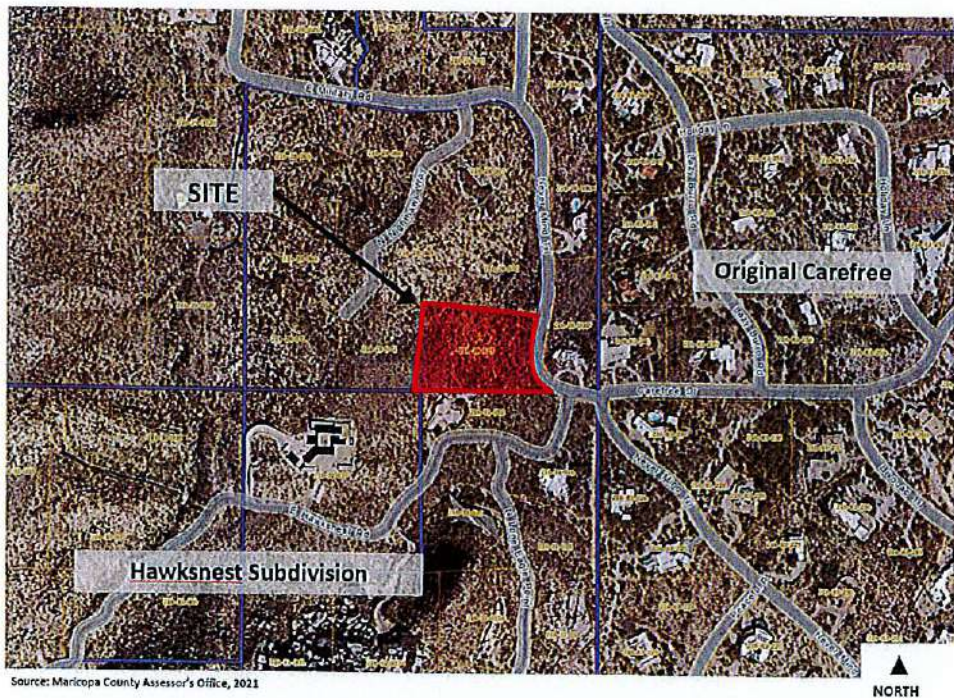
Mr. George Everland
Everett Alan Group
6300 E. Cave Creek Rd.
Cave Creek, AZ 85331

**LOCATION/
CONTEXT**

The subject property is a vacant parcel located at 37102 Never Mind Trail. The Carefree General Plan designates it and the surrounding lots in Carefree as Very Low Density Residential (approximately 2-acre minimum lots). The property is in Zoning District Rural-70 Single Family Residential (minimum 70,000 square foot lot size) as well as the lots adjacent to the site. The Nighthawk subdivision was platted in 2004 and subsequently replatted in 2006 to allow for vehicular access from Never Mind Trail. Each lot's building envelope is defined by the Town's current setback requirements. The adjacent land uses are as follows:

- North: 1 Single-family vacant lot
- South: 1 Single-family residence
- West: 1 Single-family vacant lot
- East: Right-of-way and 1 Single-family residence

**Aerial Context Map:
County Tax Parcel #216-28-073, 37102 Never Mind Trail**



**SENSITIVE
FEATURES**

The vacant parcel generally slopes downward from south to north, although steeply from the southwest corner, with 3 minor drainage channels that cross the site. The channels each have a flow rate below 50 cubic feet per second. A large boulder feature lies on the site's southern border midway up along the property line. No impacts to this area are proposed. The building envelope takes advantage of the shallower slopes (less than 19%) and orients the home to maximize view to the north (see Diagrams 1 and 2).

Diagram 1:

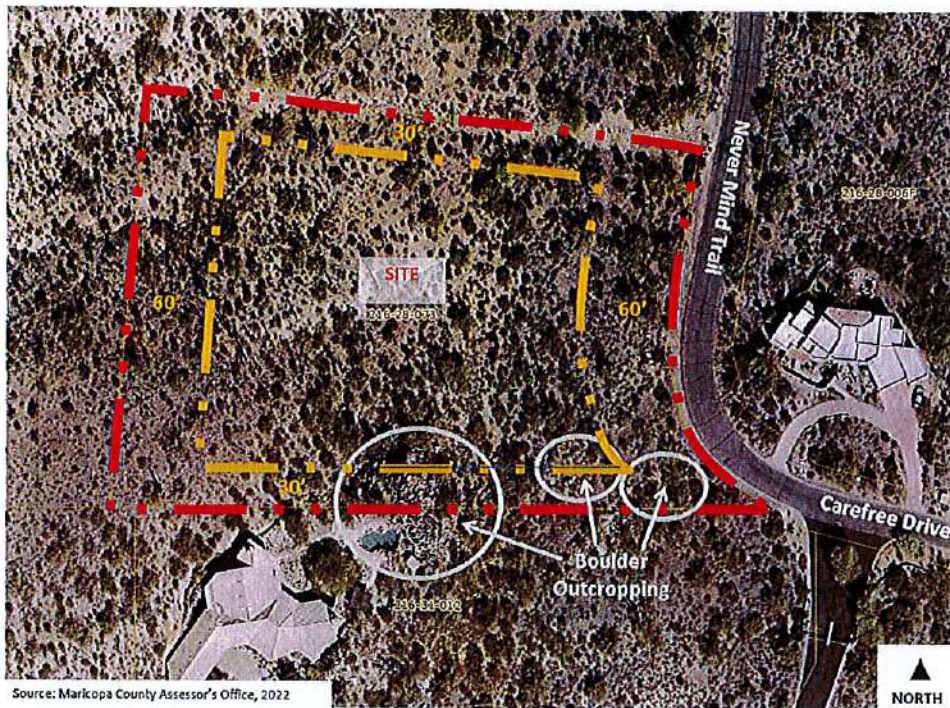
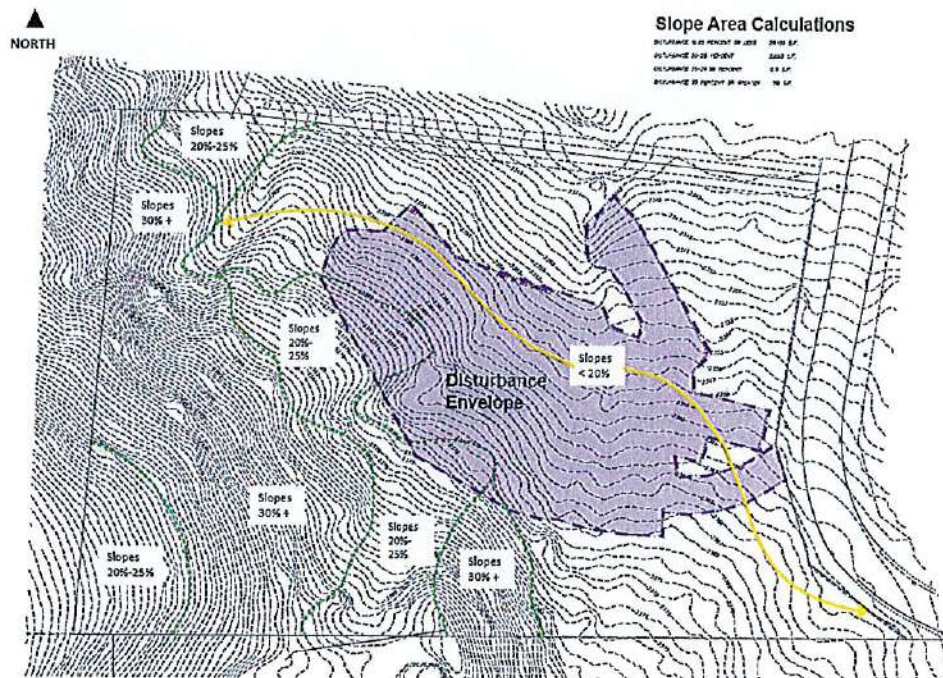


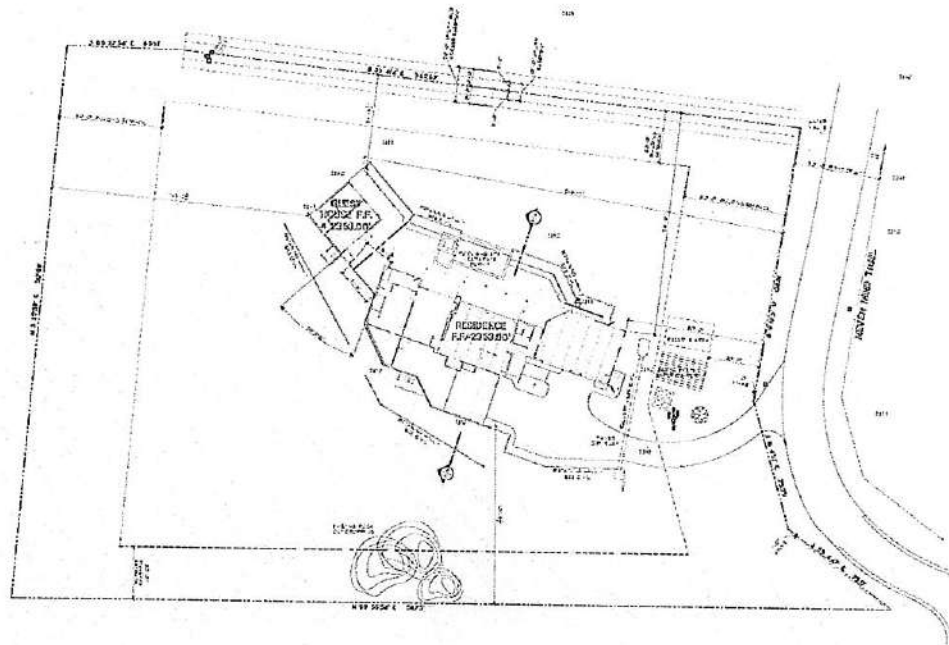
Diagram 2:



**DEVELOPMENT
PLAN**

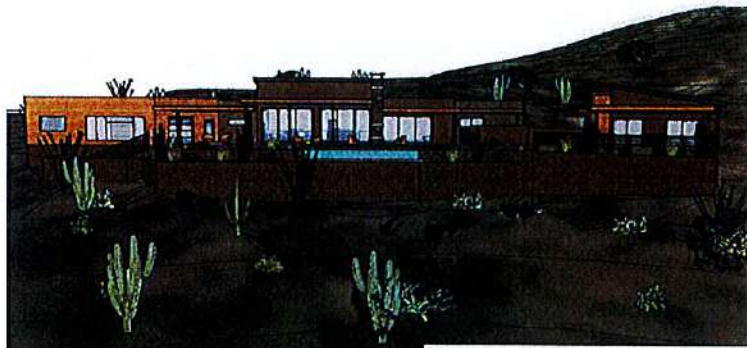
Summary

The proposed single-family residence is composed of a main house and detached guest house. Rusted Cor-ten steel cladding reflects the remains of objects you might find in the desert and the ground face block offers an exposed granular surface that is similar to the desert floor. A ledgestone veneer mirrors the colors of the natural rock outcroppings and offers a contrast to the exterior sand finish stucco walls. The windows are random in size and placement but located to take advantage of the mountain views. A negative edge pool at the edge of the courtyard expands the view from the main living areas.

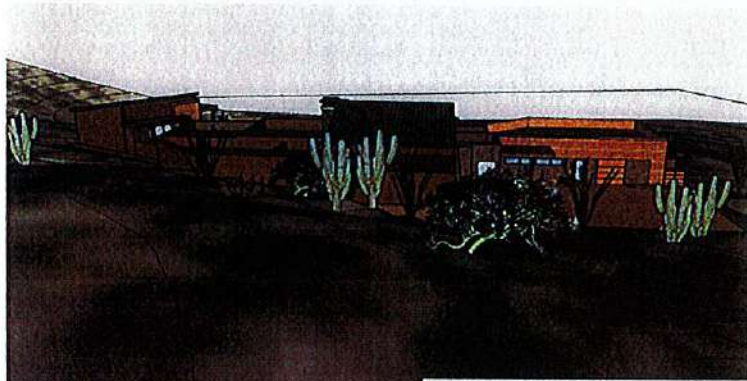


The total area under roof of the main residence is 7,792 square feet with a livable area of 3,095 square feet. The remainder of the area under roof is garage, workshop, mechanical, storage and covered patios respectively. The guest house is 1,323 square feet with a livable area of 904 square feet. This project has been designed with regards to the Town's high development standards. The intent is to create a home that enhances the values of Carefree; this is evident by the contextual materials and colors and thoughtful placement on the lot. Included with the design are Cor-ten Steel metal panels, integral colored ground face block, stone veneer, and painted stucco.

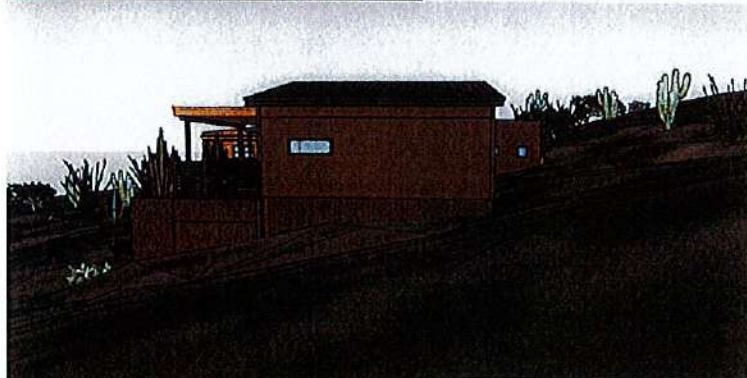
A negative edge pool at the back of the paver courtyard extends the view from the main living areas. Retaining and site walls shall be painted stucco to match the home. The driveway is designed with minimal disturbance to the natural grade. Utilities from the street will be located in the driveway and the driveway surface will consist of earth tone concrete pavers. The driveway has been reviewed and approved by Rural Metro.



North Elevation



South Elevation



West Elevation



East Elevation



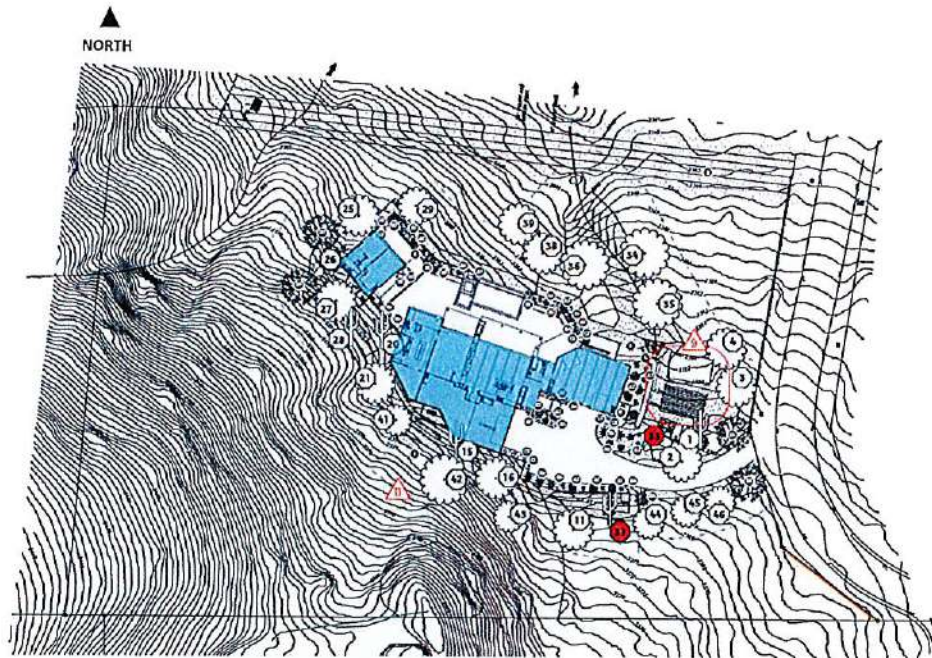
Building Materials



Hardscape Materials

Landscaping

Landscaping is important in Mountainside properties, in particular, to salvage protected plants, revegetate disturbed areas, screen terraced retaining walls, and transition the development from the interior "oasis" near the home to a more natural desert areas further from the residence. A preliminary salvage inventory and a landscape plan have been submitted in association with this application.



A combination of drought tolerant plant material and salvaged plants are incorporated into the landscape plan. Plantings are emphasized on the south side of the lot to buffer neighboring property. A final landscape and lighting plan with supporting salvage planting information will be required at the building permit phase.

Lot coverage and Disturbed Area

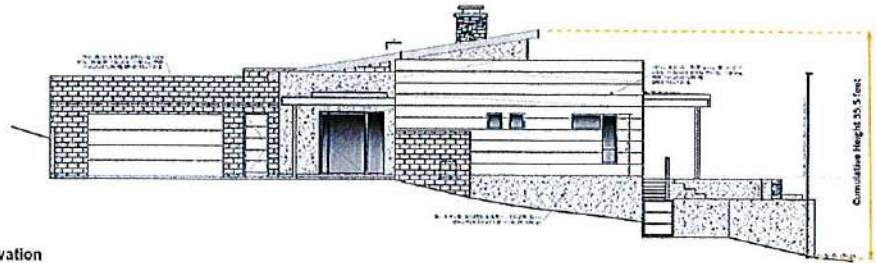
Maximum 13% lot coverage and maximum 39% disturbed area are allowed in Rural-70 Zoning District. The proposed project complies, with 7% lot coverage and 25% disturbed area, which includes the driveway, septic system, rear yard, and other graded areas.

Building Setbacks

Required building setbacks in Rural-70 are 60 feet front/rear and 30 feet on the sides measured from the property lines as shown on the attached plans. The building is within the developable area of the property. Disturbance occurs only within the developable area with the exception of the driveway and the septic system, which is permissible. The septic area will be stabilized by vegetation.

Building Height

The buildings comply with the 40-foot maximum cumulative height for Mountainside developments with a measurement of 35.5 feet. The project also meets the 24-foot maximum building height above natural and finished grade directly below for the main residence, and 16 feet for the guest house.



East Elevation

Cut:Fill Ratio

The quantity of cut exceeds the quantity of fill by 2097 cubic yards as required under the Zoning Ordinance. The total quantity of cut equals 401 cubic yards; the quantity of fill equals 192 cubic yards. Excess cut will be removed from the property.

Grading & Drainage

The project is designed to facilitate stormwater flows around the residence heading to the north. Per the Grading and Drainage plan, there are no adverse effect on adjacent parcels and all flows associated with the site will remain historic in nature. There is a proposed culvert at the driveway sized to exceed the 100-year storm event and safely convey design flows. The proposed finished floor will be safe from inundation during the 100-year peak runoff event. The Town Engineer has reviewed the grading plans and drainage report as part of this Mountainside case. Refined Grading and Drainage Plans shall be submitted under a future building permit.

Site Utilities

The subject property will be serviced by the Town of Carefree for water and an onsite septic system for sewer. When a building permit is submitted, the location of the water line and septic system shall be included on the plans. Disturbance is limited to 3 feet on either side of the water service line, which shall follow the alignment of the driveway; and 5 feet for septic facilities. The plans include a proposed location for the septic system, and part of the disturbance calculation. The dry utilities (electric, phone, gas, cable if applicable) will be located underground below the onsite driveway as required by Zoning. No new utilities are permitted in the existing utility easement planned for future abandonment.

Citizen Participation

The Citizen Participation requirements have been met. The applicant distributed a letter notifying surrounding property owners and homeowners' associations (HOAs) within a 500-foot radius of the application. The letters were mailed on April 19, 2022, by the applicant. The applicant communicated with the neighbor directly south of the property answering his concerns. There were no stated opposition to the proposed development. The HOA provided its approval of this project.

DRB

If the Development Review Board approves this application, the attached Conditions for Approval are provided for the Board's consideration.

Attachments:

- ❖ Conditions for Approval
- ❖ Citizen Participation Report
- ❖ Plans
 - Perspective Renderings
 - Slope Analysis
 - Grading and Drainage Plans
 - Landscape Plan
 - Elevations

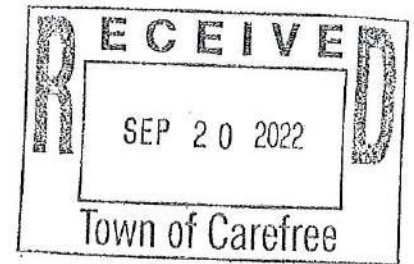
EXHIBIT "A"
CONDITIONS FOR APPROVAL
DRB Case #21-26-MS
37102 Never Mind Trail, Carefree
Maricopa County Tax Parcel #216-28-073

1. All plans submitted to the Building Department for a building permit shall be consistent with the plans associated with this application and attached to this report as well as the conditions approved by the Development Review Board on October 17, 2022.
2. The granting of this Mountainside application shall be null and void if the building permit is not issued within one (1) year of approval.
3. Prior to issuance of a building permit, the property owner shall record a new document that rededicates the VNAE except for 20 feet at the proposed driveway entrance.
4. The configuration of the septic system in the final permit plans shall be consistent with the configuration exhibited on the Grading and Drainage Plan submitted with this application and attached to this report.
5. Disturbed areas for the septic system installation shall be restored to existing grade and revegetated in a manner that is consistent with the plant type and density of the surrounding natural environment and as noted on the landscape plans. A final landscape plan which includes the associated revegetation plan shall be submitted and approved by the Town of Carefree prior to issuance of a building permit.
6. All retaining walls and/or site walls shall be designed consistent with the plans associated with this application and attached to this report, and according to Section 10.06 *Walls and Fences* of the Carefree Zoning Ordinance.
7. Driveway grading and materials shall be designed consistent with the plans associated with this application and attached to this report and according to Section 10.06 *Site Disturbance and Driveways* of the Carefree Zoning Ordinance.
8. Exterior lighting shall meet all provisions of Article IX, Section 9.12.
9. Landscaping shall meet all provisions of Article IX, Section 9.13.

Architecture
Planning
Interior Design

PO Box 45438
Phoenix, Arizona 85064
602 263 8488
kcbainc@aol.com

KCBA Architecture LLC



RE-SUBMITTAL ²

September 12, 2022,

Town of Carefree
Planning and Zoning Department
PO Box 740
8 Sundial Circle, Carefree AZ 85377

Re: Mountainside Design Review Case No. 21-26 MS
Black Residence 37102 Never Mind Trail, Carefree AZ 85377

Citizen's Participation Summary

Residents located within 500 FT of the property were notified by letter on April 19th 2022 of the proposed project. Four letters were returned with no forwarding address. One neighbor, Steve Dow did contact my office by phone and email. I have attached my reply to Mr. Dow's email. I have not received any other emails or contact from the adjacent neighbors regarding this project.

Sincerely,



Ken Bartels
KCBA Architecture LLC

Below is the email that I sent to the adjacent neighbor, Steve Dow. My response to his questions are highlighted in red. I also sent him the 3D renderings that were included in the Mountainside Design Review submittal.

Hello Ken, Hello Stacey,

In the interest of efficiency and transparency I'm addressing this email to you both. I hope you don't mind.

Thank you Ken for sending over the information about the design for Lot #9, which is included below.

I do have some comments / concerns, which I'll explain here. They all stem from the spirit of the HOA's Design Guidelines, which, by the way, are very similar to those of Hawksnest, where I live on the lot adjacent to the subject development.

Essentially, the objective of the Design Guidelines is to maintain the area in its most natural condition, with buildings that fit into the contours and colors of the land and which are used in ways that create the least possible disturbance. Hence these questions:

1. The design seems to have unusual emphasis on garages, work space and storage, which raises the question of its intended use; Will it always be used solely as a residence? The structure will only be used as a residence. The owners are retired and the workshop nearest the street will be used as a 'man cave' with an area to restore motorcycles. The restoration of vehicles will be those of the owner and completed within the workshop. There will be no commercial use of the workshop.
2. Given the terrain, the roof is highly visible from other lots both within Nighthawk and Hawksnest, including my own. Will the proposed design blend into the landscape when viewed from above? What color will it be? The flat roofs will be tinted a dark color and the sloped shed roofs will be a dark anodized standing-seam metal roof.
3. When viewed from other properties, and from the street, will the development blend into the landscape? I realize I'm looking at the 3D model only on a computer screen which may not show the colors accurately, but the Corten Panels and garage doors look to be rather orange. The corten panels will rust to a dark-reddish brown. They will not be as orange as the 3D model. The exterior stucco will be a desert tan and the ground face masonry block will be desert brown in color.

I gather that the design and approval process is at an early stage and that many important details are still to be determined. However, I want to bring these concerns up in a timely manner so they can be dealt with while you still have maximum flexibility.

Looking forward to hearing from you.

Regards,
Steve Dow
248 778 7968

Begin forwarded message:

From: KENNETH BARTELS <kcbainc@aol.com>
Subject: Fwd: 37102 Never Mind Trail Lot 9
Date: June 22, 2022 at 6:08:44 PM EDT
To: "SteveDow@comcast.net" <SteveDow@comcast.net>
Reply-To: KENNETH BARTELS <kcbainc@aol.com>

Hi Steve, thank you for your call today. I have attached the elevations, site plan and photos of the sample materials for you to review. I also attached a 3D conceptual model of the house. Let me know if you have any other comments.

Architecture
Planning
Interior Design

PO Box 45438
Phoenix, Arizona 85064
602 263 8488
kcbainc@aol.com

KCBA | ARCHITECTURE

April 19, 2022

Town of Carefree
PO Box 740
Carefree, AZ 85377

Re: 37102 Never Mind Trail, Carefree, Arizona 85377
Parcel # 216-25-073 Lot # 9
Mountainside Review Case # 21-26MS

As part of the mandatory Citizen Participation procedures for Mountainside Development Review in the Town of Carefree, all surrounding property owners within 500 feet of the subject property must be notified by the applicant. Therefore KCBA Architecture is advising you of our application to develop a single family residence on the property referenced above.

If you wish to comment or have any questions, you may contact me by email at kcbainc@aol.com. You may also respond to Ms Stacey Bridge-Denzak, Planning Director & Zoning Administrator for the Town of Carefree in writing, in person or by telephone. Her contact information is as follows:

Address: P.O. Box 740, 8 Sundial Circle, Carefree, Arizona 85377

Email: stacey@carefree.org

Phone: 480-488-3686

No response is necessary if you do not have any comments or objections.

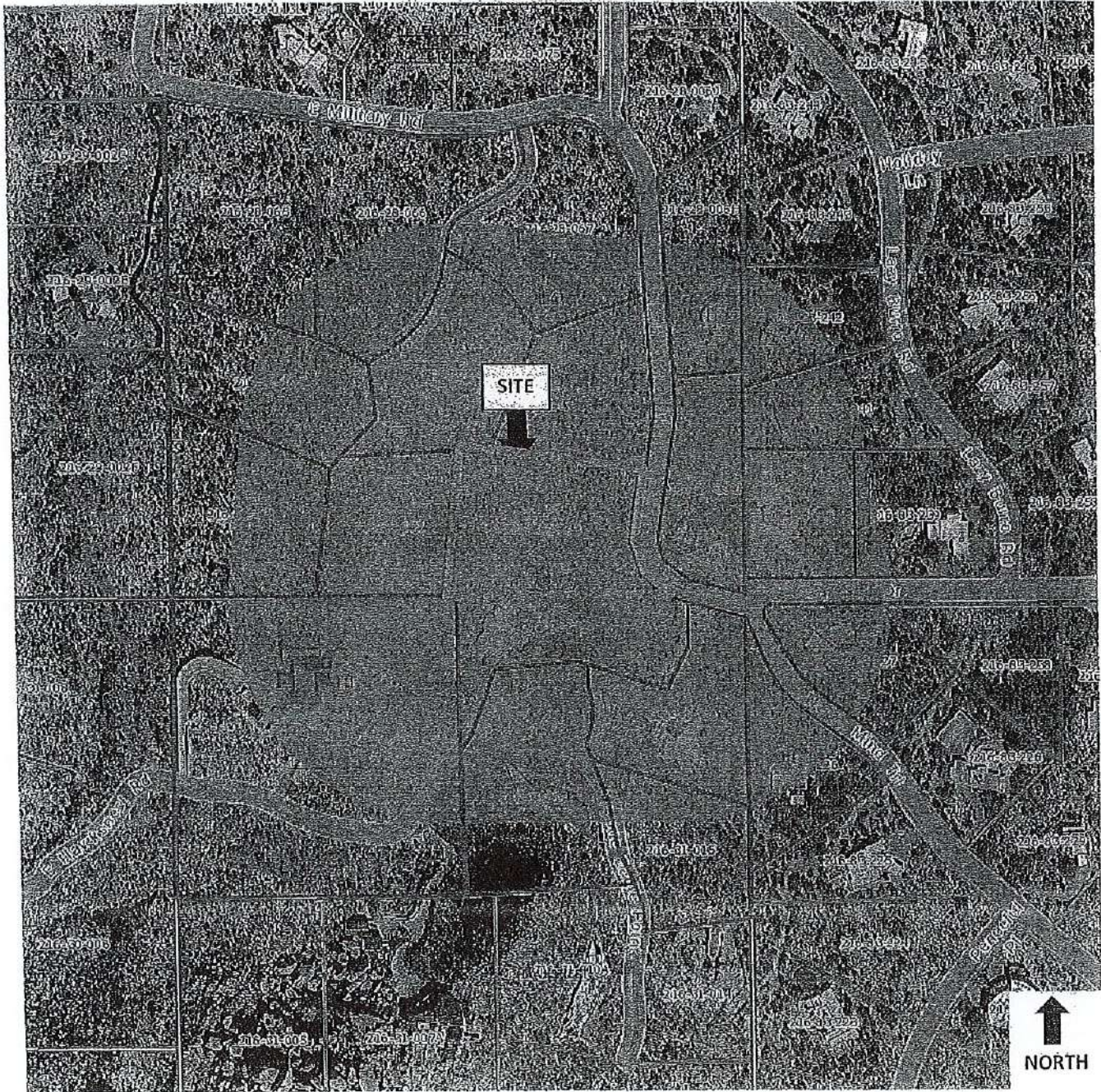
Copies of the site plan and exterior elevations associated with this request are enclosed.

Sincerely,



Kenneth C Bartels
KCBA Architecture

PROPERTIES WITHIN 500' OF
216-28-073
37102 N NEVERMIND TRAIL
21-26-MS



CASE # 21-26-MS
DEMARCO FAMILY TRUST (8-27-90)
PO BOX 3226
CAREFREE AZ 85377

CASE # 21-26-MS
BRANDY LAND LIMITED PARTNERSHIP
137 MARCO BAY RD
SOMERS MT 59932

CASE # 21-26-MS
NIGHTHAWK ON BLACK MTN
LLC/BULLINGTON J ETAL 3409 E
CLAREMONT PARADISE VALLEY AZ
85253

CASE # 21-26-MS
DOW STEPHEN/JANET ELIZABETH 1184
NORTHOVER DR
BLOOMFIELD HILLS MI 48304

CASE # 21-26-MS
INNER SUNRISE LLC
PO BOX 5250
CAREFREE AZ 85377

CASE # 21-26-MS
FLORES NICHOLAS E
36780 N LONE EAGLE POINT
CAREFREE AZ 85377

CASE # 21-26-MS
TOWN OF CAREFREE
PO BOX 740
CAREFREE, AZ 85377

CASE # 21-26-MS
REBOLLO ROBERT G/JOANNE H
PO BOX 5623
CAREFREE AZ 85377

CASE # 21-26-MS
AGUILERA GABRIEL/CONKLIN CODY
6979 E HAWKSNEST RD
CAREFREE AZ 85377

CASE # 21-26-MS
CAREFREE CASITA LLC
39 POLECAT DR
ASPEN CO 81611

CASE # 21-26-MS
ALLEN SHERI ELIZABETH TR
PO BOX 5651
CAREFREE AZ 85377

CASE # 21-26-MS
DAGOSTINO NICOLINO/KRISTEN E
107 BESSBOROUGH DR
EAST YORK ON CANADA M3G 3J5

CASE # 21-26-MS
BICKERDYKE H PAUL/SUE
P O BOX 5688
CAREFREE AZ 85377

CASE # 21-26-MS
LRN AZ-17 PERSONAL RESIDENCE
TRUST ETAL
8585 E HARTFORD DR SUITE 115
SCOTTSDALE AZ 85255

CASE # 21-26-MS
FOWLER
ANDREW/MICHELLE/PHILIP/CHRISTINE
7002 CAREFREE DR
CAREFREE AZ 85377

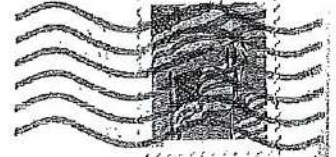
ICON Injection Molding, Inc.
c/o: Philip Kleitsch
23034 North 17th Drive
Phoenix, Arizona 85086

DOW STEPHEN/JANET ELIZABETH
1184 NORTHOVER DRIVE
BLOOMFIELD HILLS, MI 48304

NIGHTHAWK ON BLACK MTN
LLC/BULLINGTON J ETAL
3409 EAST CLAREMONT
PARADISE VALLEY AZ 85253

KCBA Architecture
PO Box 45438
Phoenix, Arizona 85064-5438

PHOENIX AZ 852
2 MAY 2022 PM 5 L



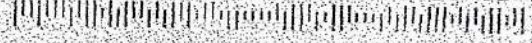
FOWLER
ANDREW/MICHELLE/PHILIP/CHRISTINE
7002 CAREFREE DR
CAREFREE AZ 85377

NIXIE 850 DE 1 0005/05/22

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UNABLE TO FORWARD

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850645438

BC: 85064543838 *1914-00499-02-54



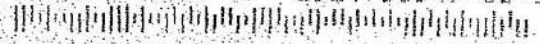
FLORES NICHOLAS E
36780 N LONE EAGLE POINT
CAREFREE AZ 85377

NIXIE 850 DE 1 0005/05/22

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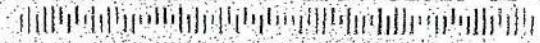
AGUILERA GABRIEL/CONKLIN CODY
6979 E HAWKSNEST RD
CAREFREE AZ 85377

NIXIE 850 DE 1 0005/05/22

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BC: 85064543838 *2514-02015-02-36



KCBA Architecture
PO Box 45438
Phoenix, Arizona 85064-5438

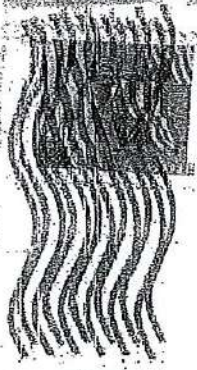
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back to Sender
Wrong address

PHOENIX AZ 8532
2-PMX-2032 PM-4 L



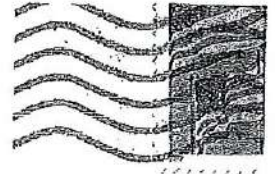
LRN AZ-17 PERSONAL FINANCE
TRUST ETAL
8585 E HARTFORD DR SUITE 115
SCOTTSDALE AZ 85255

9427000063036672 ANK
88255-547240



KCBA Architecture
PO Box 45438
Phoenix, Arizona 85064-5438

PHOENIX AZ 852
2 MAY 2022 PM 5 L



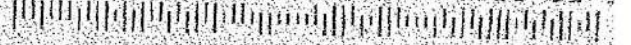
FOWLER
ANDREW/MICHELLE/PHILIP/CHRISTINE
7002 CAREFREE DR
CAREFREE AZ 85377

NIXIE 850 DE 1 0005/05/2

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UNABLE TO FORWARD

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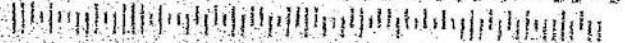
FLORES NICHOLAS E
36780 N LONE EAGLE POINT
CAREFREE AZ 85377

NIXIE 850 DE 1 0005/05/2

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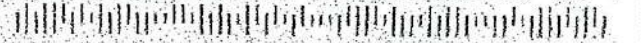
AGUILERA GABRIEL/CONKLIN CODY
6979 E HAWKSNEST RD
CAREFREE AZ 85377

NIXIE 850 DE 1 0005/05/2

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85064543838

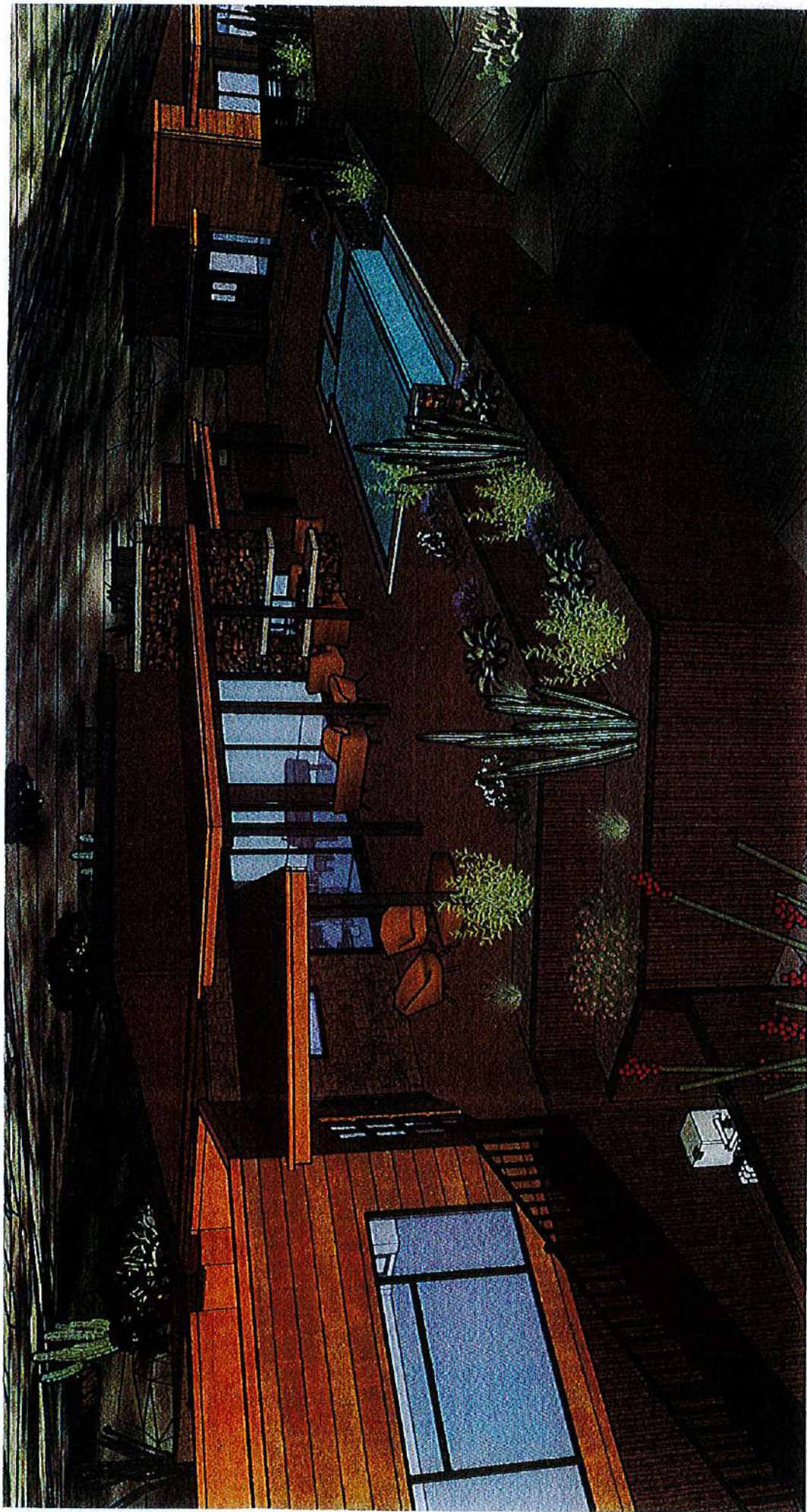
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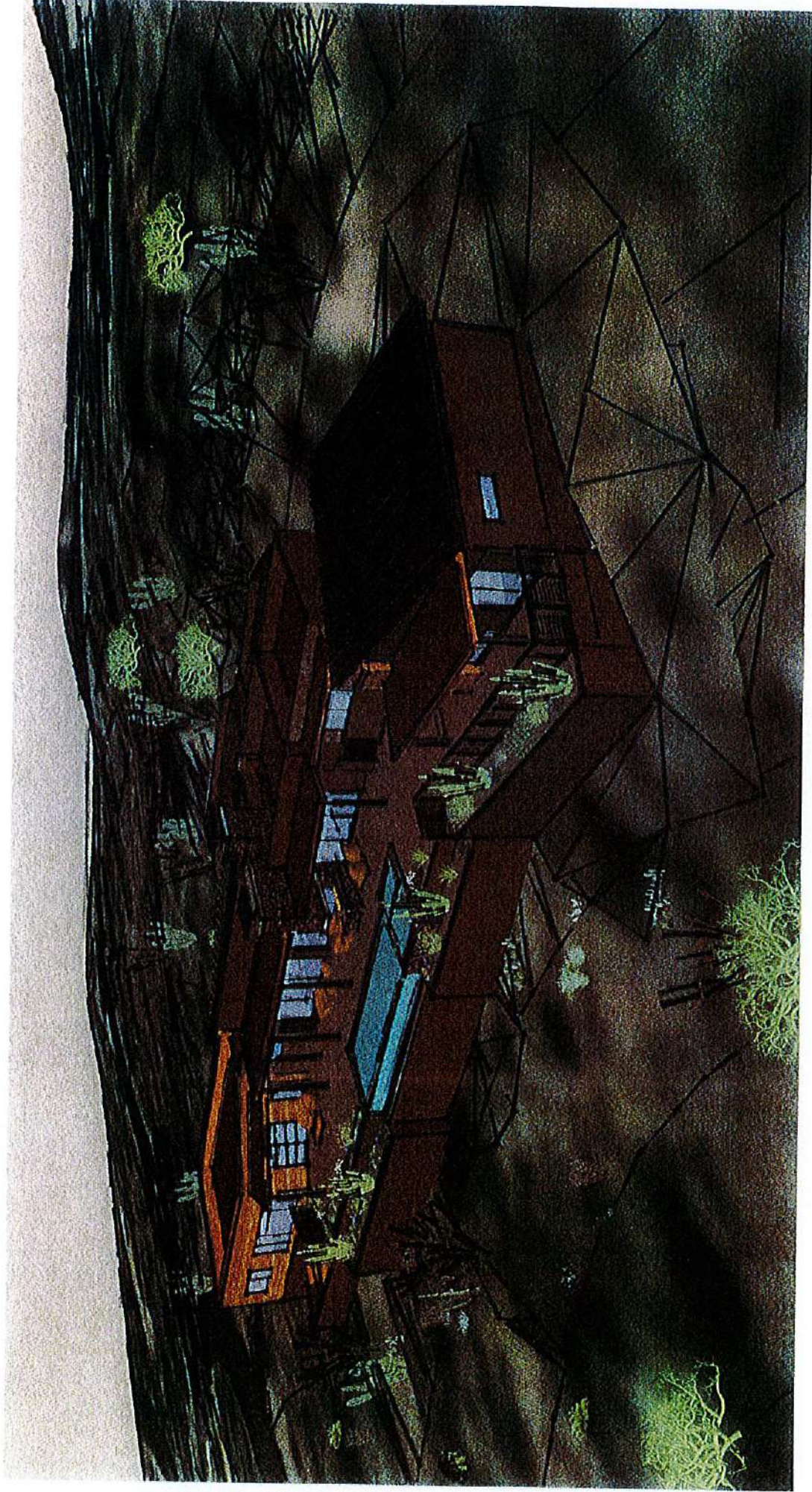
RECEIVED

SEP 6 2022

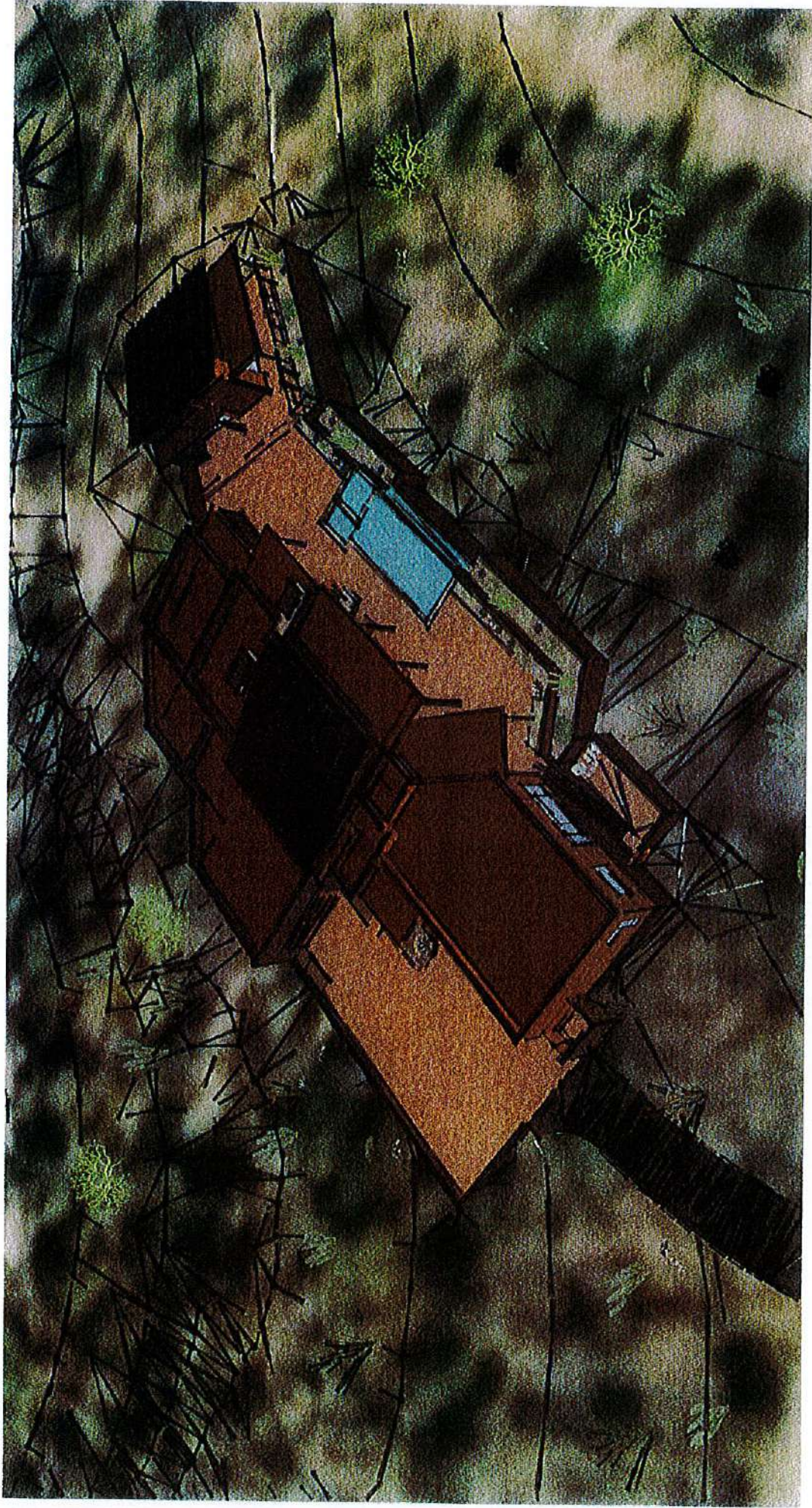
Town of Carefre



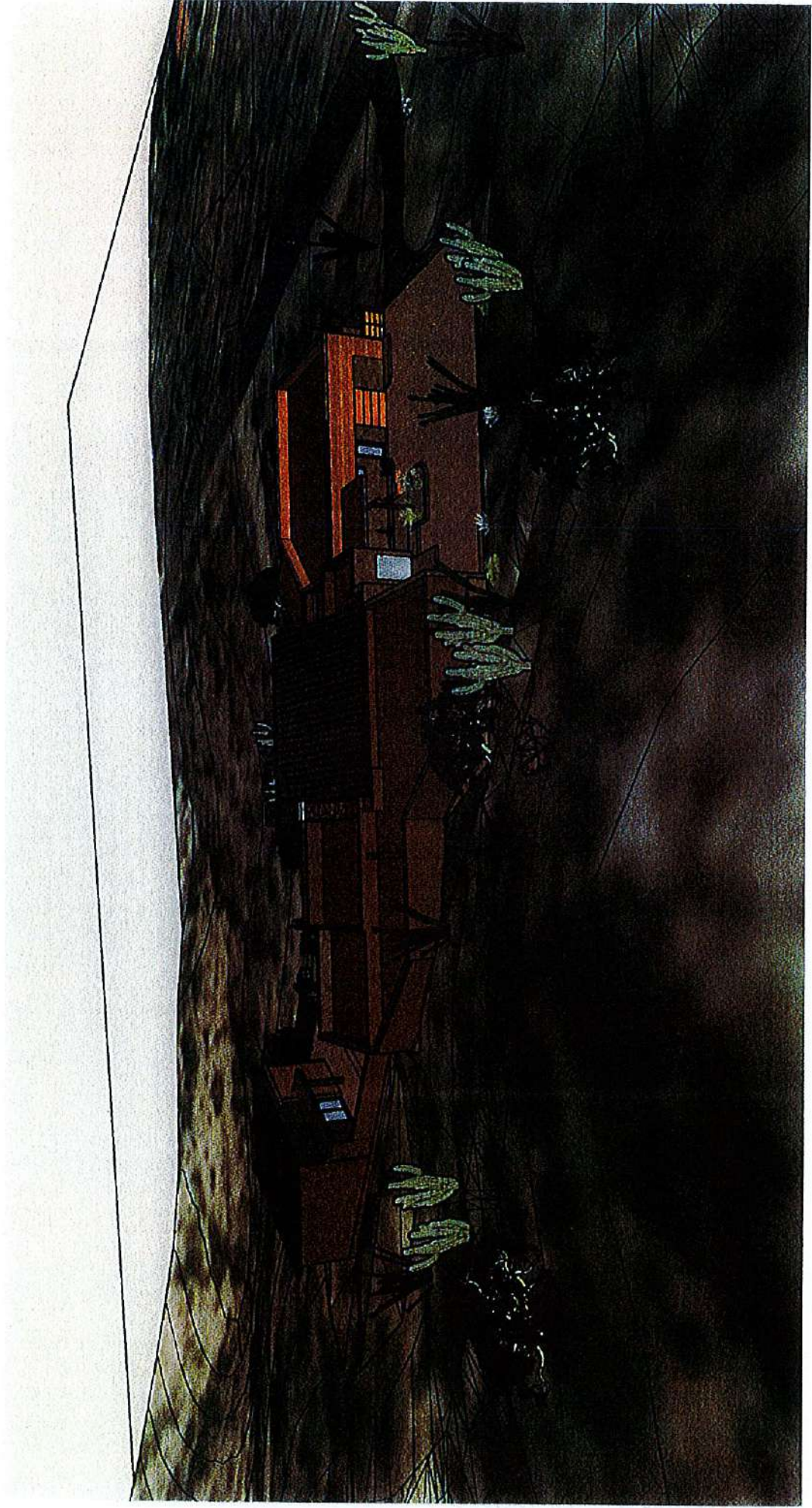
Rear Patio view



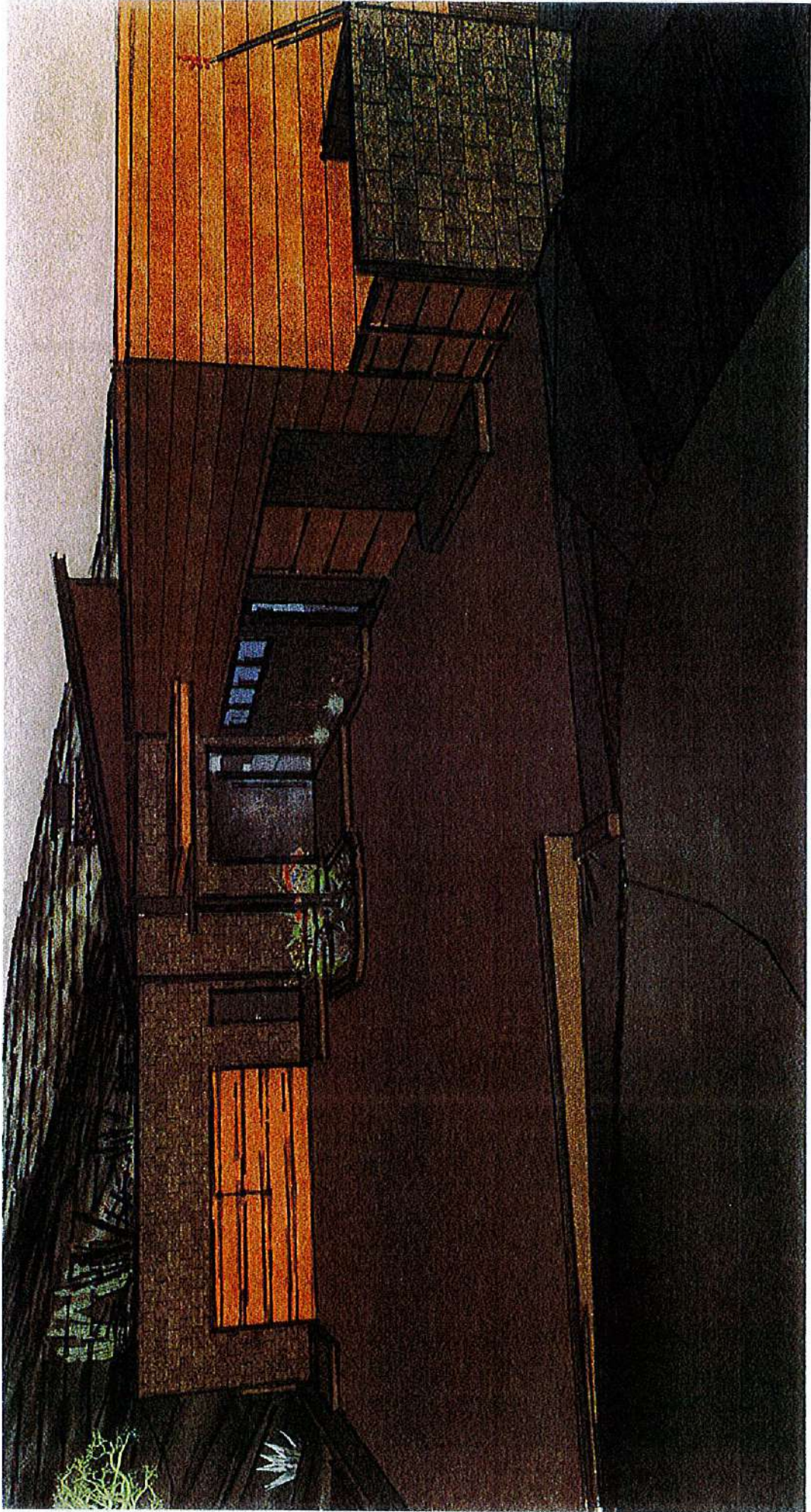
Aerial View from Northwest



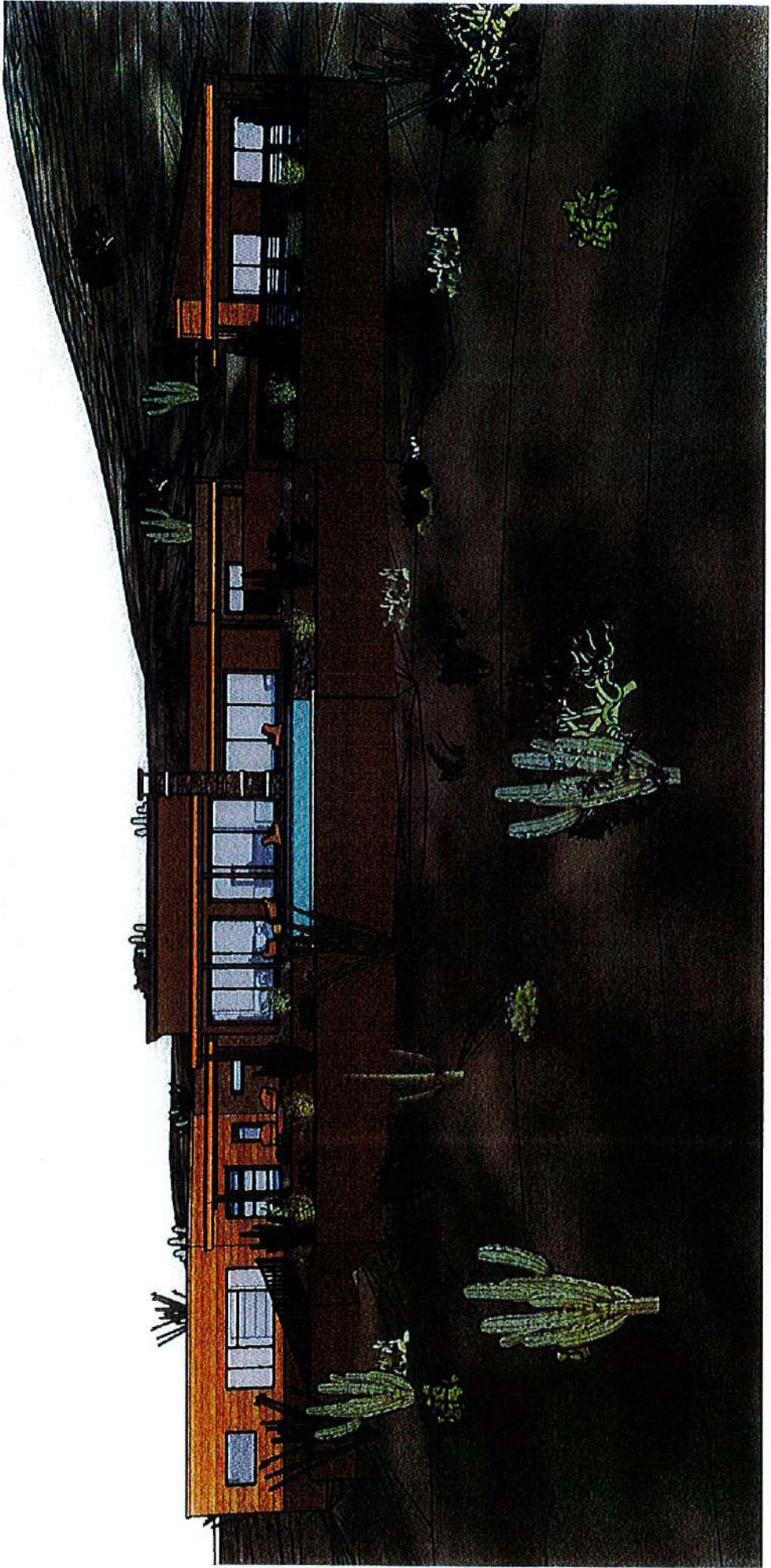
Aerial View 2



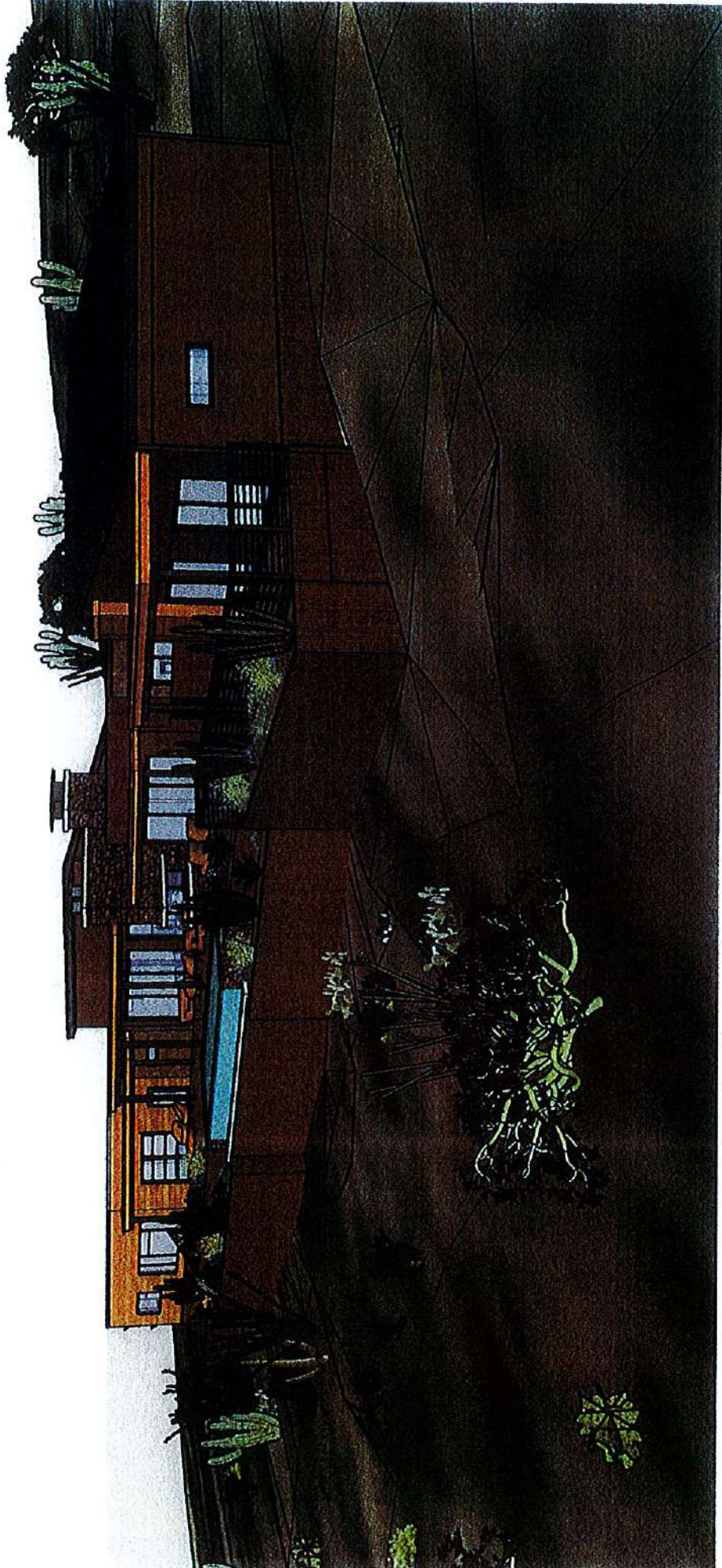
Aerial View from South 1



Entry View



North Elevation



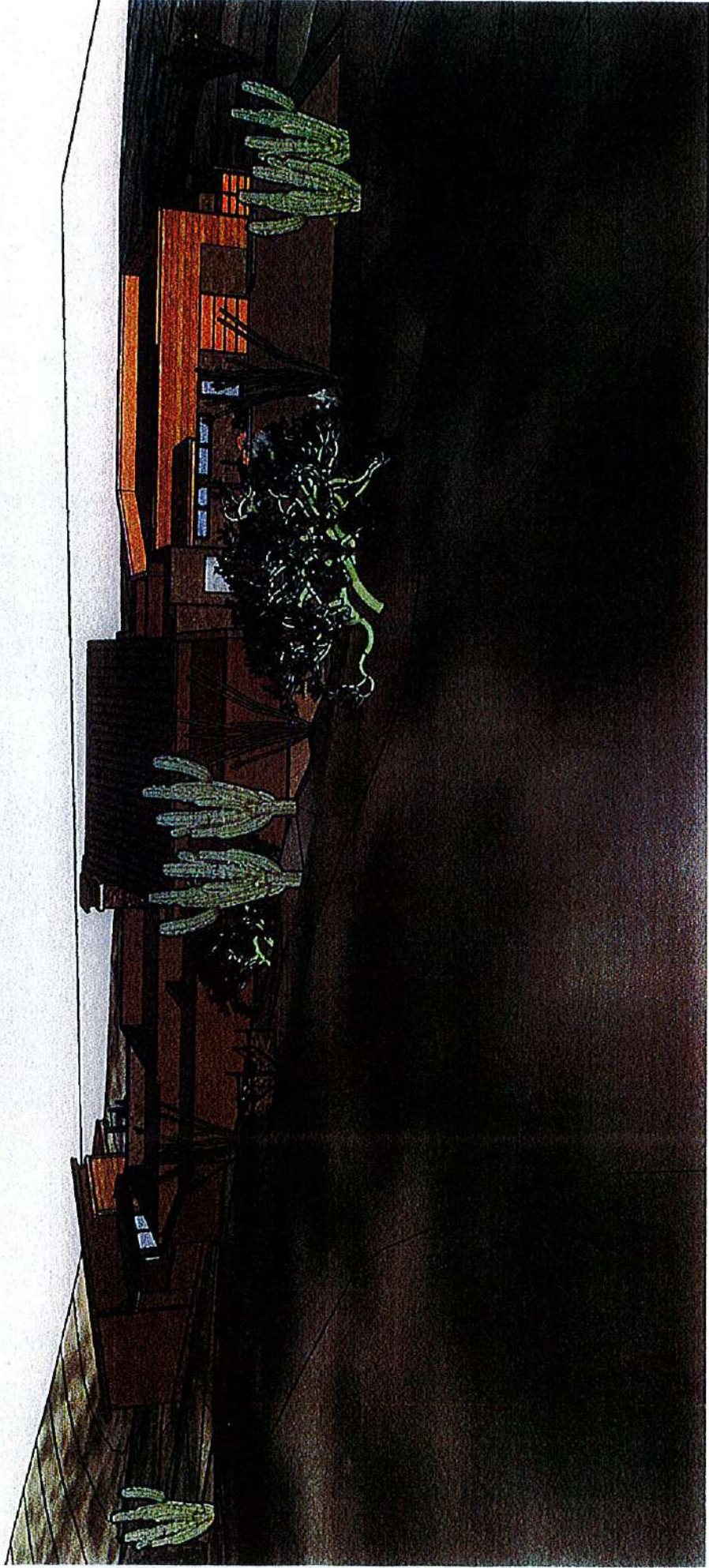
Northwest Elevation



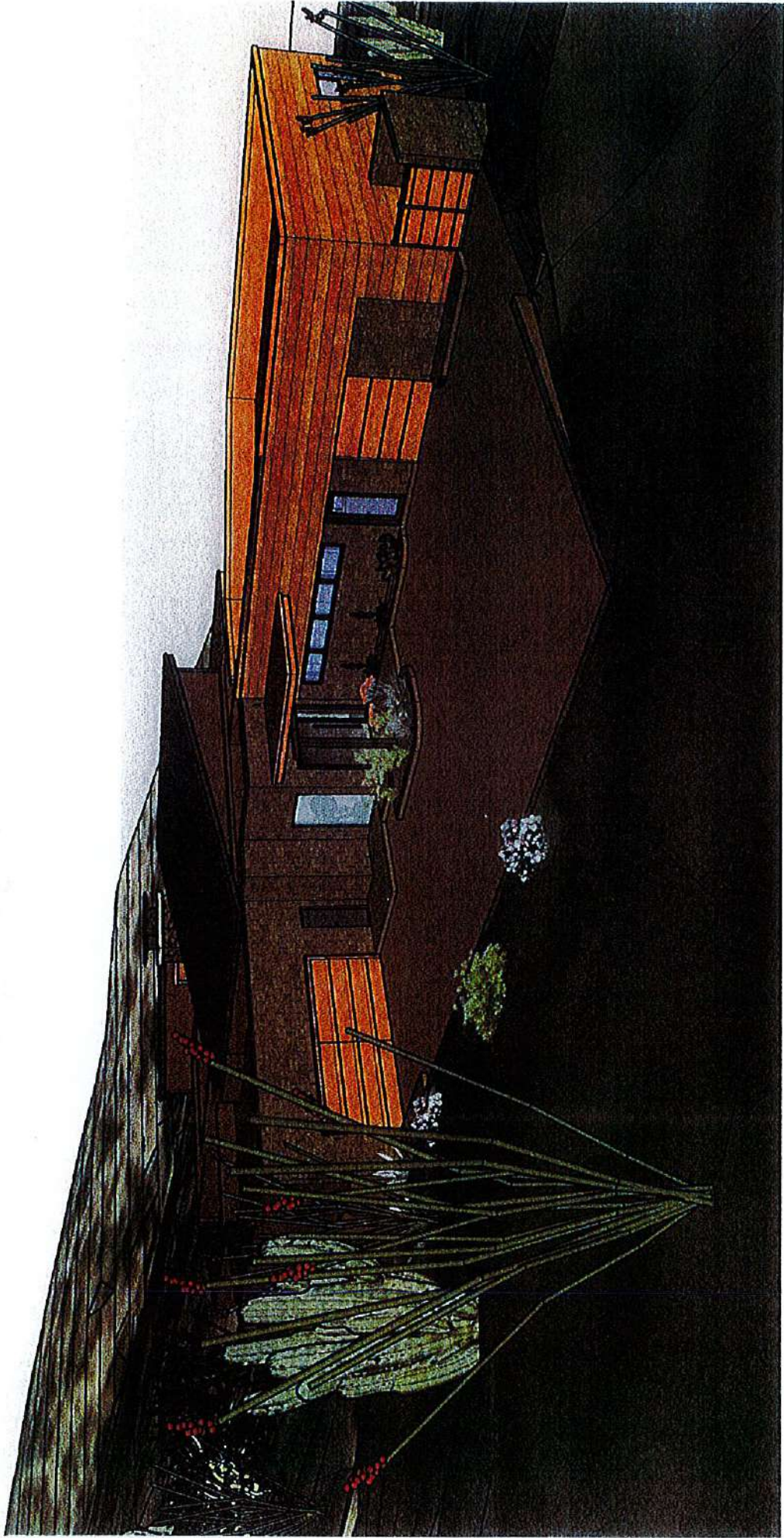
West Elevation



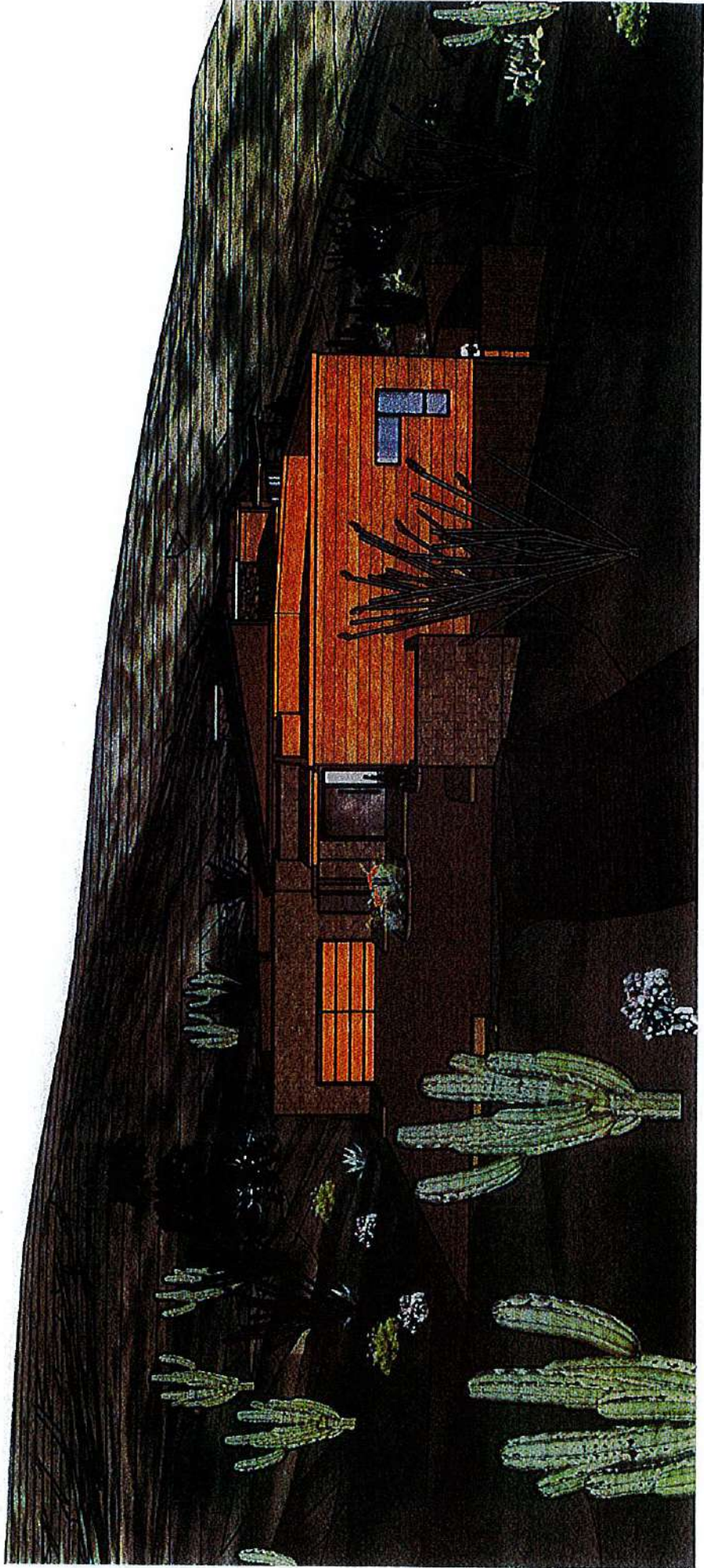
Southwest Elevation



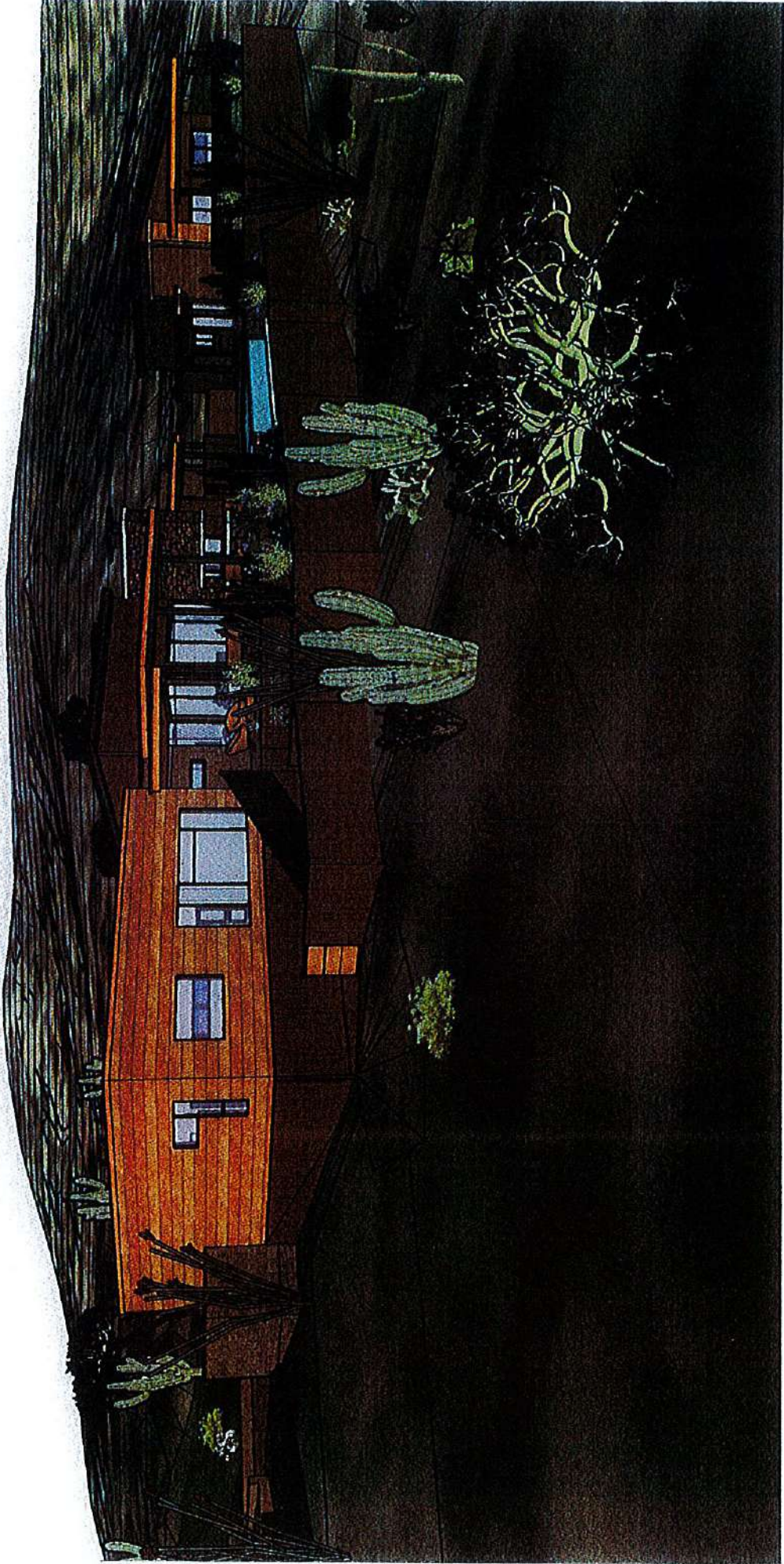
South Elevation



Southeast Elevation



East Elevation



Northeast Elevation

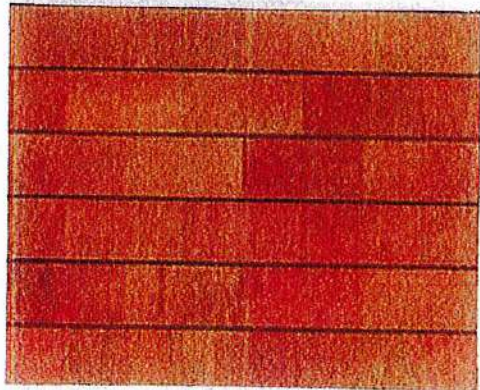
21-26-MS

Black Residence
37102 Never Mind Trail, Carefree Arizona 85377

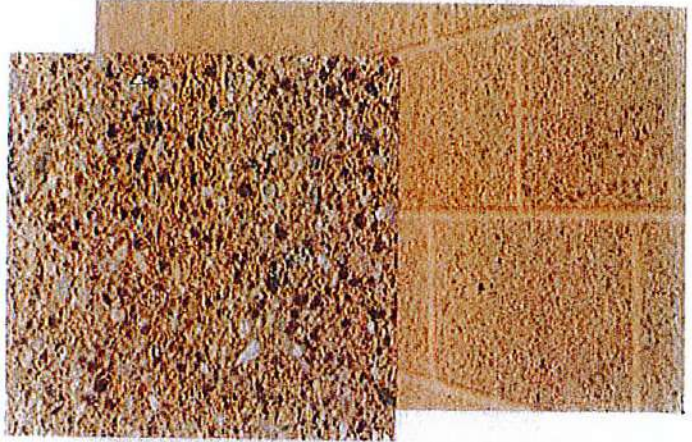
Color Board 1 of 4



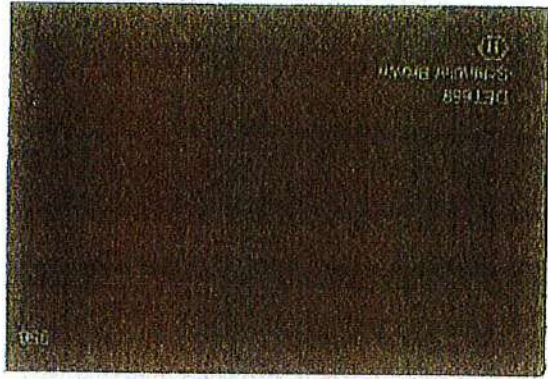
Corten Metal Siding
18 Gauge Panels
Panel Heights 8", 10"
12"



Ground Face Block
Desert Yellow



Stucco Field Color
Dunn Edwards
DET659
Schindler Brown
LRV 17



Black Residence

37102 Never Mind Trail, Carefree Arizona 85377

Color Board 2 of 4

Standing Seam Metal Roof
Western States Metal
Roofing - 12" wide panels
Burnished slate



Burnished Slate

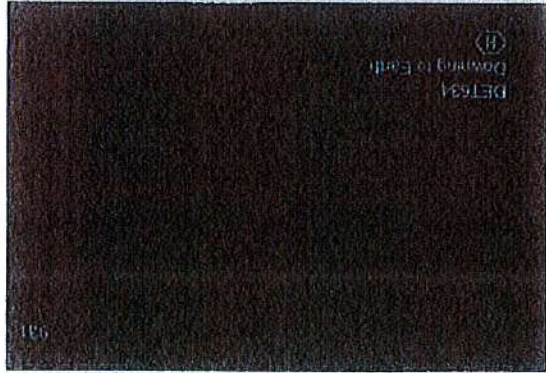
Stone Veneer at Fireplace
Little Tree Ranch
Ledgestone Dry Stack



Black Residence
37102 Never Mind Trail, Carefree Arizona 85377

Color Board 3 of 4

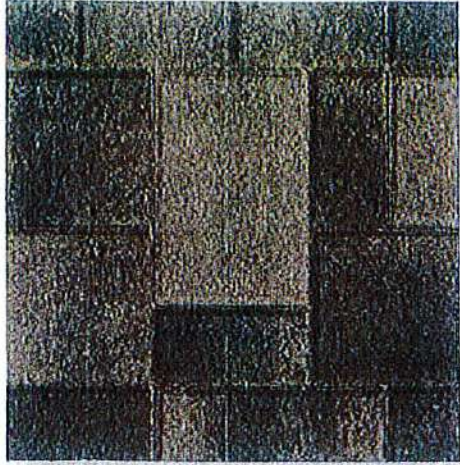
Exposed Structural and
Decorative Steel Color
Dunn Edwards
DET634
Downing to Earth
LRV 10



Driveway Concrete
Paver Belgard
Bergerac Paver "Bella"

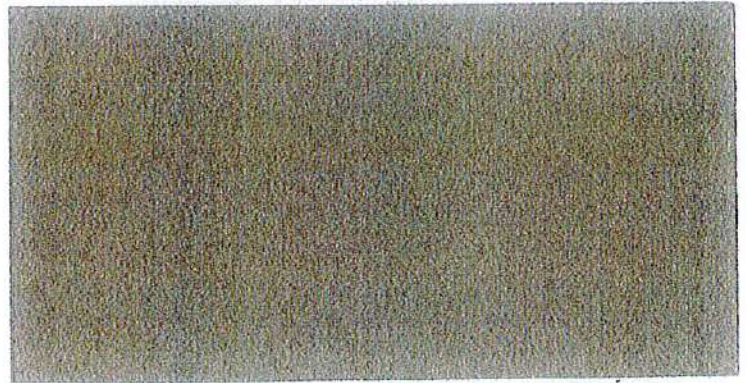


Rear Patio and Front
Entry Paver Belgard
Catlina Stone "Rio"

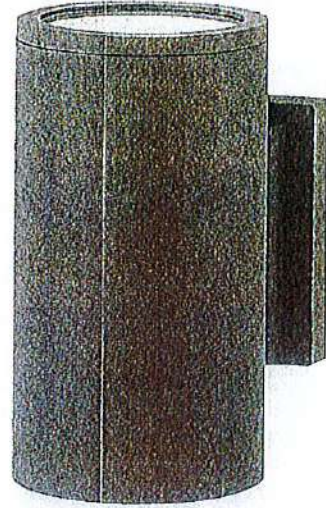


Black Residence
37102 Never Mind Trail, Carefree Arizona 85377

Color Board 4 of 4



**Foam Roof
Benjamin Moore
"Kingsport Gray" LRV 24**



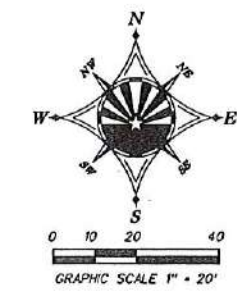
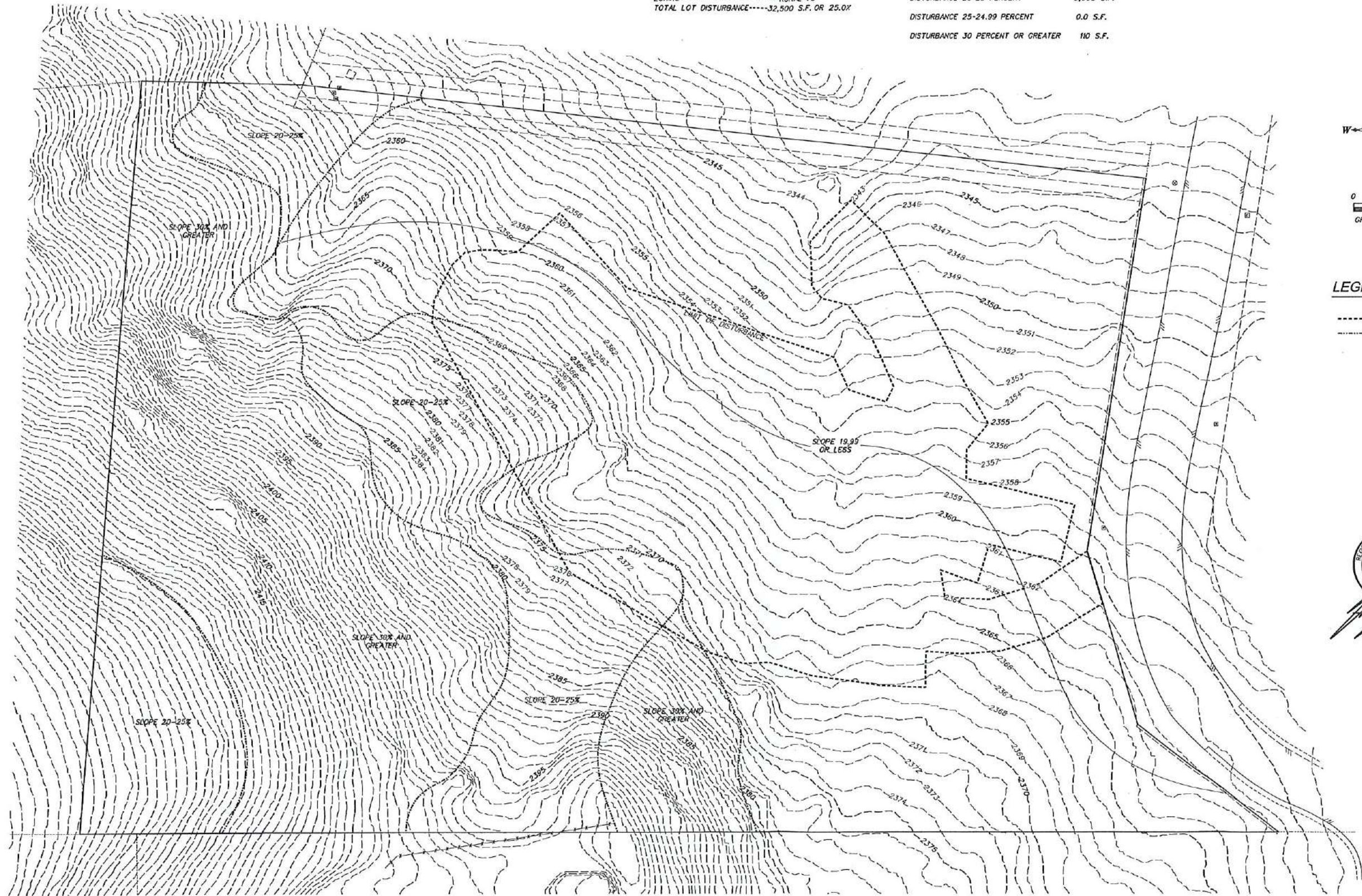
**Exterior Surface
Mounted Light Fixture
Silo Outdoor Downlight
Wall Sconce 8" Height**

SITE DATA

A.P.N.-----216-28-073
 SITE ADDRESS-----37102 NEVER MIND TRAIL
 GROSS AREA OF LOT-----129,834 S.F.
 ZONING-----RURAL-70
 TOTAL LOT DISTURBANCE-----32,500 S.F. OR 25.0%

SLOPE AREA CALCULATIONS

DISTURBANCE 19.99 PERCENT OR LESS 29,138 S.F.
 DISTURBANCE 20-25 PERCENT 3,003 S.F.
 DISTURBANCE 25-24.99 PERCENT 0.0 S.F.
 DISTURBANCE 30 PERCENT OR GREATER 110 S.F.



LEGEND

- LIMIT OF DISTURBANCE
- BOUNDARY OF SLOPE



SLOPE ANALYSIS FOR BLACK GRADING AND DRAINAGE PLAN
 A PORTION OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 6 NORTH, RANGE 4
 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



EVERETTALAN
{ GROUP }



JAMES ALAN GUYTON
 830 S. GUYTON
 CLAYTON, ARIZONA 85301
 PHONE: 480.360.0545
 FAX: 480.360.0545
 WWW.EVERETTLANGROUP.COM

PROJECT NO.
210641

ISSUANCE: 2 LOTS
 CAD WORK: 1 LOT

SHEET NO.
1 of 1

TOWN OF CAREFREE NOTE

ALL PLANTS PROTECTED BY THE TOWN OF CAREFREE, INCLUDING SMALL CACTI, SHALL BE SALVAGED AND RELOCATED TO DESIGNATED PLACES. SAGUARO TRANSPLANTING METHODOLOGY RECOMMENDED BY THE TOWN OF CAREFREE WILL BE USED.

A PRE-GRADING INSPECTION IS REQUIRED AFTER THE PERMIT IS ISSUED AND BEFORE ANY GRADING BEGINS. ALL PROTECTED PLANTS ARE TO BE MOVED INTO THE DESIGNATED AREAS, THE CONSTRUCTION FENCE IS TO BE IN PLACE, AND THE BUILDING DEPARTMENT IS TO BE CALLED FOR AN INSPECTION.

HISTORICAL ENTRANCE AND EXIT POINTS AND HYDRAULIC PROPERTIES OF ALL EXISTING DRAINAGE CHANNELS SHALL BE PRESERVED IN THEIR NATURAL CONDITIONS.

HVAC UNITS AND MECHANICAL EQUIPMENT INCLUDING POOL EQUIPMENT SHALL BE SCREENED BY SOLID WALLS AND GATED PURSUANT TO SECTION 9.07 OF THE CAREFREE ZONING ORDINANCE AND IN CONFORMANCE WITH THE CAREFREE BUILDING CODE.

ALL LANDSCAPING SHALL BE COMPLETED PRIOR TO FINAL INSPECTION AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

PREPARED FOR

DAVID BLACK
37102 NEVER MIND TR
CAREFREE, AZ, 85377
PH: 509-995-7777
EMAIL: dave@nevermindtr.com

SITE DATA

A.P.N.-----216-28-073
SITE ADDRESS-----37102 NEVER MIND TRAIL
GROSS AREA OF LOT-----128,834 S.F.
ZONING-----RURAL-70
TOTAL LOT DISTURBANCE-----32,500 S.F. OR 25.0%

UTILITIES

ELECTRIC ARIZONA PUBLIC SERVICE
GAS SOUTHWEST GAS
WATER CAREFREE WATER COMPANY
SEWER SEPTIC
TELEPHONE QUEST
CABLE TV COX COMMUNICATIONS

SUMMARY TABLE

RESIDENCE/GARAGE L-----4,008 S.F.
GUEST HOUSE-----784 S.F.
WORKSHOP-----1,344 S.F.
PORCH/PATIO-----1,696 S.F.
TOTAL-----7,832 S.F. OR 7.8%

LEGAL DESCRIPTION

LOT 9, OF THE FINAL PLAT OF NIGHAWK ON BLACK MOUNTAIN, ACCORDING TO BOOK 721 OF MAPS, PAGE 35 AND RECORDED IN BOOK 857 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA.

EARTHWORK UNDER BUILDING PAD

CUT- 401 C.Y.
FILL- 192 C.Y.

NOTE: FOR ESTIMATING PURPOSES ONLY; ENGINEER MAKES NO WARRANTY OF ACCURACY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXACT QUANTITIES BASED ON THE PLANS.

TOWN OF CAREFREE P&D NOTES

- REFERENCE TOWN OF CAREFREE PERMIT AND ADDENDUMS FOR ADDITIONAL CONDITIONS.
- HISTORIC DRAINAGE PATTERNS SHALL BE MAINTAINED AS SHOWN ON THE APPROVED PLANS.
- ANY WORK PERFORMED WITHOUT APPROVAL OF THE APPLICABLE TOWN OF CAREFREE DEPARTMENT OR AFFECTED UTILITY COMPANY AND/OR ALL WORK AND MATERIAL NOT IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE OWNER'S EXPENSE.
- THE ISSUANCE OF ANY CONSTRUCTION PERMIT SHALL NOT RELIEVE THE OWNER OR OWNER'S AGENT FROM COMPLIANCE WITH ALL OTHER GOVERNMENTAL REGULATIONS INCLUDING BUT NOT LIMITED TO ZONING & BUILDING REQUIREMENTS.
- CONTACT TOWN OF CAREFREE TO SCHEDULE AN IN-PROGRESS INSPECTION FOR ALL HEADWALLS, CUT OFF WALLS, AND WEIRS AFTER EXCAVATION AND FORM PLACEMENT, PRIOR TO PLACEMENT OF ANY MATERIAL.
- AS SPECIFIED IN THE PERMIT CONDITIONS, CONTACT TOWN OF CAREFREE TO SCHEDULE AN IN-PROGRESS INSPECTION FOR ALL GABION MATRESSES, RIP-RAP, FILTER FABRIC, AND/OR GRAVEL UNDERLAYMENT AFTER EXCAVATION BUT PRIOR TO PLACEMENT OF ANY MATERIAL.
- AS SPECIFIED IN THE PERMIT CONDITIONS, CONTACT TOWN OF CAREFREE TO SCHEDULE AN IN-PROGRESS INSPECTION FOR ALL RETAINING WALLS AFTER EXCAVATION AND FORM PLACEMENT, PRIOR TO PLACEMENT OF ANY MATERIAL. ADDITIONAL INSPECTIONS AND/OR RE-INSPECTIONS SHALL BE ASSESSED ADDITIONAL FEES IN CONFORMANCE WITH ADOPTED FEE SCHEDULES.
- RIP-RAP AREAS SHALL BE OVER-EXCAVATED SUCH THAT TOP OF RIP-RAP WILL MEET ADJACENT GRADE.
- DRAINAGE OPENINGS IN CMU WALLS SHALL BE AS SHOWN ON THE APPROVED PLANS OR NON-DECORATIVE TURNED BLOCK, EVERY OTHER BLOCK AT GRADE. IF TWO BLOCKS NEXT TO EACH OTHER ARE NOT TURNED, TWO TURNED BLOCKS NEXT TO EACH OTHER SHALL THEN FOLLOW.
- SHOULD ANY PROPOSED DEVELOPMENT REQUIRE CLARIFICATION AS DETERMINED BY TOWN OF CAREFREE, A PLAN ADDENDUM SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER SHALL BE SUBMITTED FOR APPROVAL. SUBMITTAL OF AN ADDENDUM MAY REQUIRE FORMAL PLAN MODIFICATION AS DEEMED BY TOWN OF CAREFREE.
- ALL CONSTRUCTION FILL SHALL MEET OR EXCEED MAG SPECIFICATION 211.
- ALL CONSTRUCTION SHALL MEET OR EXCEED CURRENT MAG SPECIFICATIONS AND STANDARDS.
- AN APPROVED SET OF PLANS SHALL BE MAINTAINED ON THE JOB SITE AT ALL TIMES PERMIT IS ACTIVE.
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD AND RESOLVED WITH TOWN OF CAREFREE PRIOR TO PROCEEDING WITH THE WORK.
- CONTACT BLUE STAKE AT 602-263-1100 A MINIMUM OF 2-DAYS PRIOR TO CONSTRUCTION.

TOWN OF CAREFREE STANDARD NOTES-GRADING

- OWNER'S ENGINEER SHALL BE RESPONSIBLE FOR STAKING AND VERIFICATION OF FINISH FLOOR ELEVATIONS.
 - OWNER SHALL BE NOTIFIED TWENTY-FOUR HOURS PRIOR TO STARTING CONSTRUCTION.
 - A 6-FOOT CHAIN LINK CONSTRUCTION FENCE SHALL BE PLACED ON THE DISTURBED AREA BOUNDARY PRIOR TO EXCAVATION AND GRADING.
- A LETTER FROM A SURVEYOR REGISTERED IN THE STATE OF ARIZONA SHALL BE SUBMITTED VERIFYING THAT THE 6-FOOT CONSTRUCTION FENCE HAS BEEN INSTALLED ALONG THE DISTURBED AREA SHOWN ON THE PLAN PRIOR TO EXCAVATION AND GRADING.

TOWN OF CAREFREE GRADING AND DRAINAGE PLAN NOTES

- FINISHED FLOOR ELEVATIONS ARE A MINIMUM OF 1 FOOT ABOVE THE 100-YEAR STORMWATER SURFACE ELEVATION.
- EXCESS CUT MATERIAL SHALL BE REMOVED FROM THE SITE.
- ALL CONSTRUCTED SLOPES SHALL BE EROSION PROTECTED WITH RIP-RAP AND PLANTS.
- AN AS-BUILT SURVEY PREPARED AND CERTIFIED BY A SURVEYOR REGISTERED IN THE STATE OF ARIZONA WILL BE SUBMITTED PRIOR TO POURING THE FLOOR, AND WILL VERIFY SETBACKS AND FINISHED FLOOR ELEVATIONS.
- AT THE FRAMING INSPECTION, A HEIGHT CERTIFICATION PREPARED AND CERTIFIED BY A SURVEYOR REGISTERED IN THE STATE OF ARIZONA WILL BE SUBMITTED VERIFYING BUILDING HEIGHT.
- ALL EXTERIOR LIGHTING WILL BE SHIELDED TO COMPLY WITH SECTION 9.12 OF THE CAREFREE ZONING ORDINANCE.

GENERAL NOTES:

- RELOCATE TREES PER OWNER'S DIRECTION.
- FINISH GRADES ARE REQUIRED TO SLOPE DOWN 6" WITHIN THE FIRST 10' AWAY FROM THE STRUCTURE. PROVIDE DRAINAGE SWALES AND OTHER DEVICES AS NECESSARY SO NO WATER ACCUMULATES AT OR INSIDE THE FOUNDATION.
- THE MAXIMUM BUILDING HEIGHT IS 16' FROM THE DESIGN GRADE (LOWEST FINISHED FLOOR).
- EXISTING UTILITY TAP LOCATIONS SHOWN HEREON HAVE NOT BEEN FIELD VERIFIED, CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.

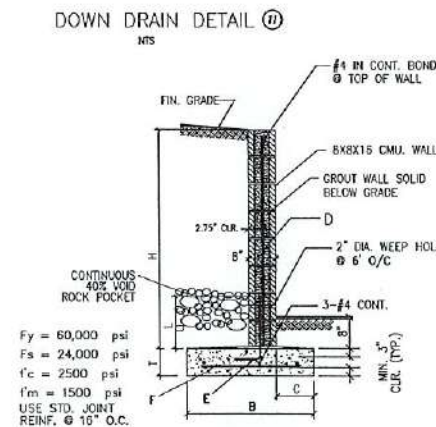
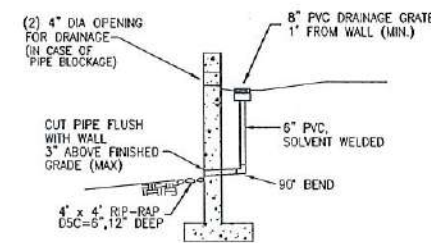
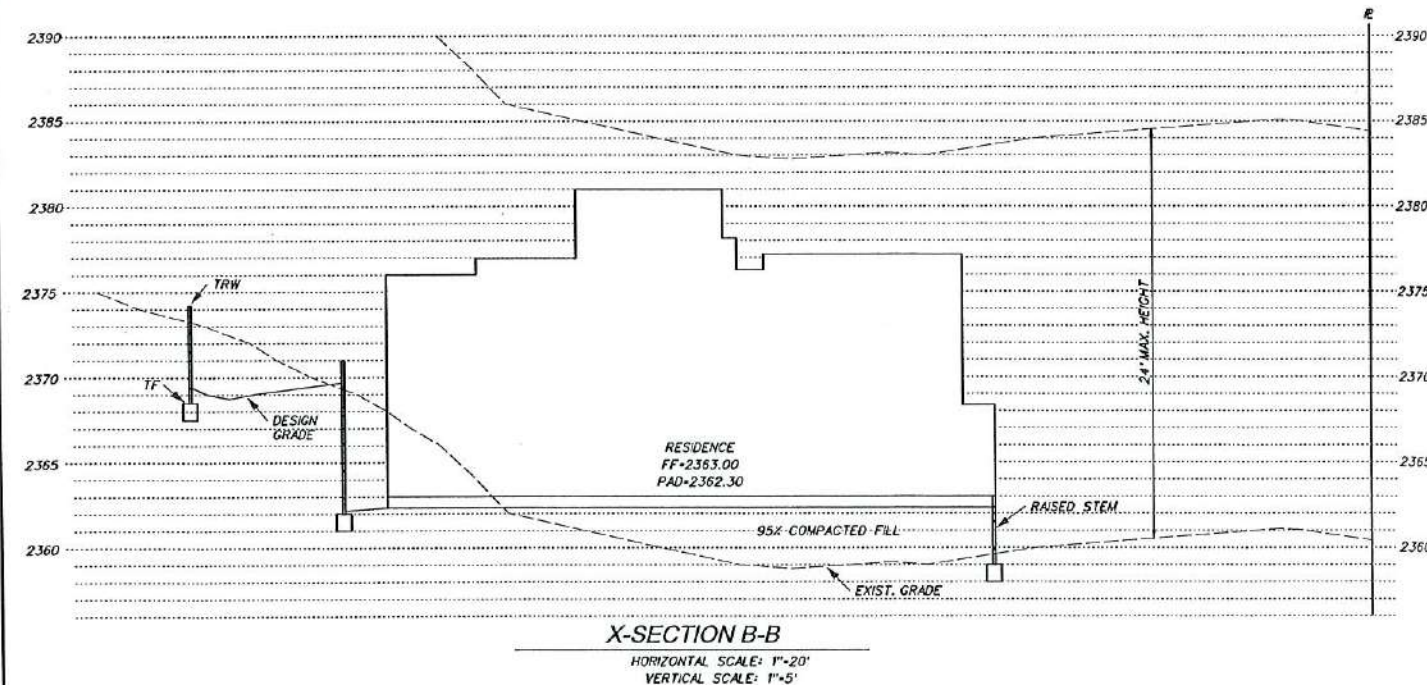
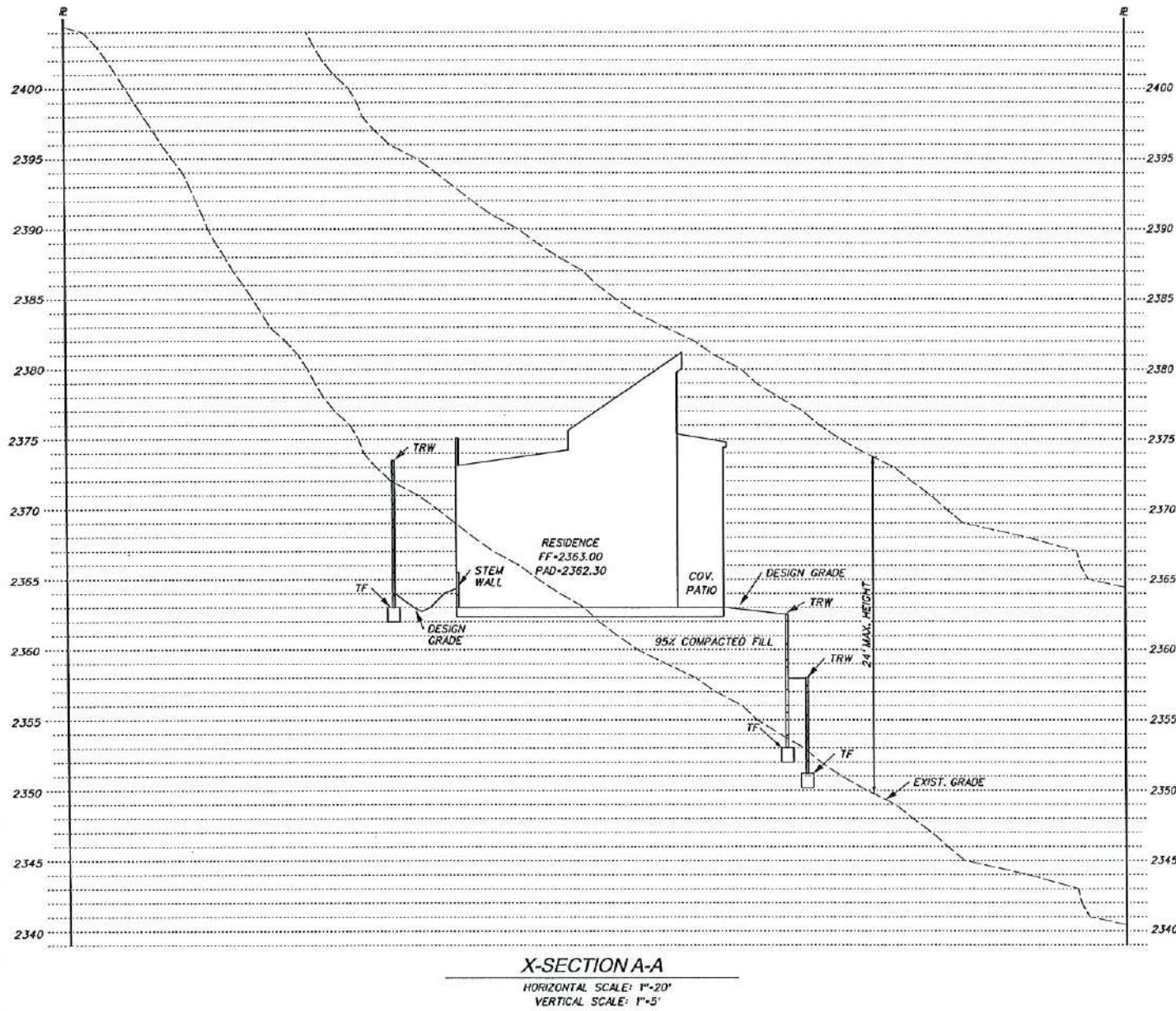
ENGINEER'S CERTIFICATION

ALL FINISH FLOORS SHOWN ON THIS PLAN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUNOFF EVENT IF BUILT IN ACCORDANCE WITH THIS APPROVED PLAN.

GEORGE EVERETTALANGROUP.COM



George R. Everitt



H	T	B	C	D	E	F	L
2'	10"	1'-3"	3"	#4 @ 48" O.C.	-	#4 @ 18" O.C.	-
3'	10"	1'-6"	3"	#4 @ 48" O.C.	#4 @ 48" O.C.	#4 @ 18" O.C.	-
4'	10"	2'-0"	6"	#4 @ 32" O.C.	#4 @ 32" O.C.	#4 @ 18" O.C.	-
5'	12"	3'-0"	6"	#5 @ 32" O.C.	#5 @ 32" O.C.	#4 @ 18" O.C.	25"

-RETAINING WALLS SHOWN ON THIS PLAN WERE NOT DESIGNED FOR THE ADDITIONAL LOAD OF A POOL.
-WALL FOOTINGS SHOWN ON THIS PLAN ARE DESIGNED TO BE PLACED ON NATURAL UNDISTURBED SOIL OR ON ENGINEERED FILL. THE MINIMUM ALLOWABLE SOIL BEARING CAPACITY FOR THE FOOTINGS SHALL BE 1,500 PSF.

BLACK GRADING AND DRAINAGE PLAN
A PORTION OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 6 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



EVERETTALAN GROUP



EVERETTALAN GROUP
4005 E. EVERETT DRIVE
CAYCE, AZ 85324
PHONE: (480) 995-4444
FAX: (480) 991-7097
WWW.EVERETTALANGROUP.COM

PROJECT NO.
210641

SURVEYOR: J. LOTT
CAD/TOOLS: MPT

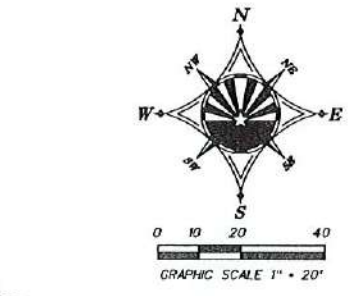
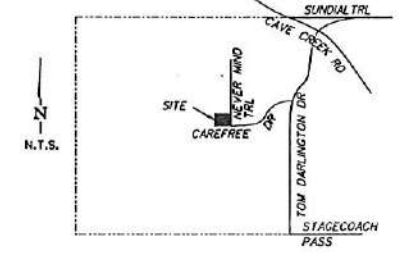
SHEET NO.
1 of 2

1/2" REBAR
W/CAP EL.-2380.00

1/2" REBAR W/CAP
EL.-2360.77

T.B.M.
SOUTHEAST PROPERTY CORNER
1/2" REBAR W/CAP NO. 10,
ELEVATION=2361.71 (NAVD '88)

VICINITY MAP



LEGEND

- FOUND MONUMENT (TYPE SHOWN)
- PROPERTY LINE
- ⊙ WATER VALVE
- ⊞ WATER METER
- △ TELEVISION JUNCTION BOX
- ▭ PAVEMENT
- ⊞ ELECTRIC TRANSFORMER
- ⊞ SIGN
- ⊞ ELECTRIC JUNCTION BOX
- LIMIT OF DISTURBANCE

SURVEYOR'S CERTIFICATION

I, JAMES A. LOFTIS, HEREBY CERTIFY THAT THE SURVEY PLATTED HEREON WAS MADE UNDER MY SUPERVISION DURING THE MONTH OF DEC., 2020.



GEORGE@EVERETTALANGROUP.COM



James A. Loftis

NEVER MIND TRAIL



1) TRW-62.50 FGI-62.50 FGO-57.80 TF-56.80 BF-55.80	2) TRW-62.00 FGI-62.00 FGO-56.00 TF-55.3 BF-54.3	3) TRW-62.50 FGI-62.60 FGO-58.50 TF-57.50 BF-56.50	4) TRW-60.60 FGI-60.00 FGO-55.60 TF-54.60 BF-53.60	5) TRW-68.00 FGI-62.00 FGO-66.00 TF-61.00 BF-60.00	6) TRW-69.00 FGI-62.75 FGO-69.00 TF-61.50 BF-60.50	7) TRW-72.00 FGI-70.00 FGO-70.80 TF-69.30 BF-68.30	8) TRW-71.00 FGI-70.00 FGO-70.00 TF-69.00 BF-68.00
9) TRW-67.5 TW-62.5 FGI-62.5 FGO-60.0 TF-59.0 BF-58.0	10) TRW-65.00 FGI-62.83 FGO-62.60 FGO-60.00 TF-59.00 BF-58.00	11) TRW-58.50 FGI-58.50 FGO-52.50 TF-51.70 BF-50.70	12) TRW-62.53 FGI-62.60 FGO-52.50 TF-51.70 BF-50.70	13) TRW-69.00 FGI-61.75 FGO-58.50 TF-57.50 BF-56.50	14) TRW-71.00 FGI-69.00 FGO-70.00 TF-68.30 BF-67.30	15) TRW-72.00 FGI-70.00 FGO-71.00 TF-69.30 BF-68.30	16) TRW-63.0 FGI-62.00 FGO-63.00 TF-61.30 BF-60.30
17) TRW-62.50 FGI-62.00 FGO-57.0 TF-56.0 BF-55.0	18) TRW-58.50 FGI-58.50 FGO-53.20 TF-52.20 BF-51.20	19) TRW-62.50 FGI-62.00 FGO-58.50 TF-57.50 BF-56.50	20) TRW-68.00 FGI-67.50 FGO-67.50 TF-66.80 BF-65.80	21) TRW-69.00 FGI-61.75 FGO-68.30 TF-60.00 BF-59.00	22) TRW-75.00 FGI-69.70 FGO-75.00 TF-68.00 BF-67.00	23) TRW-71.00 FGI-70.00 FGO-70.00 TF-69.00 BF-68.00	

CONSTRUCTION NOTES

- 1) RESIDENCE
- 2) CASITA
- 3) 600 L.F. RETAINING WALL W/STUCCO FINISH W/WEEP HOLES (SEE DETAIL SHEET 1)
- 4) CONCRETE PAVEMENT DRIVEWAY
- 5) PRIMARY SEPTIC
- 6) RESERVE SEPTIC
- 7) SEPTIC TREATMENT AND PUMP TANKS
- 8) 81 L.F. 24" CMP CULVERT
- 9) 24" CMP FLARED END
- 10) RIP-RAP (D50-8", 16" DEEP)
- 11) DOWN DRAIN (SEE DETAIL)
- 12) NEW ELECTRIC LINE FROM PROVIDER DESIGNATED SOURCE
- 13) NEW WATER LINE FROM EXISTING METER
- 14) STORM INLET PER MAG STD. DETAIL 535 TYPE "E"
- 15) 4'X4' RIP RAP PAD D50-6", 12" DEEP

DRAINAGE NOTE

ALL ROOF SCUPPERS SHALL OUTLET ON AN IMPERVIOUS SURFACE OR HAVE RIP-RAP SLASH PADS BELOW

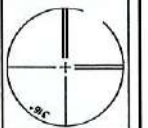
FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	COMMUNITY MAP NUMBER	PANEL NUMBER	PANEL DATE	SUFFIX	FIRM INDEX DATE	FIRM ZONE	BASE FLOOD ELEVATION (AO ZONE, USE DEPTH)
040126	04013C	883	10-16-2013	L	10-16-2013	X	N/A

BLACK GRADING AND DRAINAGE PLAN
A PORTION OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 6 NORTH, RANGE 4
EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



EVERETTALAN
[GROUP]



EVERETTALAN GROUP
3800 E. CAVENISH
SUITE 100
CANYON CREEK, AZ 85111
PHONE: 480-990-0345
FAX: 480-990-0346
WWW.EVERETTALANGROUP.COM

PROJECT NO.
210641

SURVEYOR: JLO/PLB
CAD TECH: SLO/PLB

SHEET NO.
2 of 2

LANDSCAPE COMMENTS

Plan indicates re-location placement for all salvageable existing native plants. In fill planting recommendations arranged around primary dwelling including all protection zones at decking and align with city of Carefree plant recommendations.

NEW PLANTING - BIRGCARON

ID#	COMMON NAME	SIZE	QUANTITY
01	Blue Palo Verde	36" BOX	1
02	Blue Palo Verde	24" BOX	2
03	Blue Palo Verde	36" BOX	1
04	Blue Palo Verde	24" BOX	2
05	Blue Palo Verde	36" BOX	1
06	Blue Palo Verde	24" BOX	2
07	Blue Palo Verde	36" BOX	1
08	Blue Palo Verde	24" BOX	2
09	Blue Palo Verde	36" BOX	1
10	Blue Palo Verde	24" BOX	2
11	Blue Palo Verde	36" BOX	1
12	Blue Palo Verde	24" BOX	2
13	Blue Palo Verde	36" BOX	1
14	Blue Palo Verde	24" BOX	2
15	Blue Palo Verde	36" BOX	1
16	Blue Palo Verde	24" BOX	2
17	Blue Palo Verde	36" BOX	1
18	Blue Palo Verde	24" BOX	2
19	Blue Palo Verde	36" BOX	1
20	Blue Palo Verde	24" BOX	2
21	Blue Palo Verde	36" BOX	1
22	Blue Palo Verde	24" BOX	2
23	Blue Palo Verde	36" BOX	1
24	Blue Palo Verde	24" BOX	2
25	Blue Palo Verde	36" BOX	1
26	Blue Palo Verde	24" BOX	2
27	Blue Palo Verde	36" BOX	1
28	Blue Palo Verde	24" BOX	2
29	Blue Palo Verde	36" BOX	1
30	Blue Palo Verde	24" BOX	2
31	Blue Palo Verde	36" BOX	1
32	Blue Palo Verde	24" BOX	2
33	Blue Palo Verde	36" BOX	1
34	Blue Palo Verde	24" BOX	2
35	Blue Palo Verde	36" BOX	1
36	Blue Palo Verde	24" BOX	2
37	Blue Palo Verde	36" BOX	1
38	Blue Palo Verde	24" BOX	2
39	Blue Palo Verde	36" BOX	1
40	Blue Palo Verde	24" BOX	2
41	Blue Palo Verde	36" BOX	1
42	Blue Palo Verde	24" BOX	2
43	Blue Palo Verde	36" BOX	1
44	Blue Palo Verde	24" BOX	2
45	Blue Palo Verde	36" BOX	1
46	Blue Palo Verde	24" BOX	2

NATIVE PLANT INVENTORY - COMMENTS

ID#	COMMON NAME	SIZE	QUANTITY
1	Blue Palo Verde	36" BOX	1
2	Blue Palo Verde	24" BOX	2
3	Blue Palo Verde	36" BOX	1
4	Blue Palo Verde	24" BOX	2
5	Blue Palo Verde	36" BOX	1
6	Blue Palo Verde	24" BOX	2
7	Blue Palo Verde	36" BOX	1
8	Blue Palo Verde	24" BOX	2
9	Blue Palo Verde	36" BOX	1
10	Blue Palo Verde	24" BOX	2
11	Blue Palo Verde	36" BOX	1
12	Blue Palo Verde	24" BOX	2
13	Blue Palo Verde	36" BOX	1
14	Blue Palo Verde	24" BOX	2
15	Blue Palo Verde	36" BOX	1
16	Blue Palo Verde	24" BOX	2
17	Blue Palo Verde	36" BOX	1
18	Blue Palo Verde	24" BOX	2
19	Blue Palo Verde	36" BOX	1
20	Blue Palo Verde	24" BOX	2
21	Blue Palo Verde	36" BOX	1
22	Blue Palo Verde	24" BOX	2
23	Blue Palo Verde	36" BOX	1
24	Blue Palo Verde	24" BOX	2
25	Blue Palo Verde	36" BOX	1
26	Blue Palo Verde	24" BOX	2
27	Blue Palo Verde	36" BOX	1
28	Blue Palo Verde	24" BOX	2
29	Blue Palo Verde	36" BOX	1
30	Blue Palo Verde	24" BOX	2
31	Blue Palo Verde	36" BOX	1
32	Blue Palo Verde	24" BOX	2
33	Blue Palo Verde	36" BOX	1
34	Blue Palo Verde	24" BOX	2
35	Blue Palo Verde	36" BOX	1
36	Blue Palo Verde	24" BOX	2
37	Blue Palo Verde	36" BOX	1
38	Blue Palo Verde	24" BOX	2
39	Blue Palo Verde	36" BOX	1
40	Blue Palo Verde	24" BOX	2
41	Blue Palo Verde	36" BOX	1
42	Blue Palo Verde	24" BOX	2
43	Blue Palo Verde	36" BOX	1
44	Blue Palo Verde	24" BOX	2
45	Blue Palo Verde	36" BOX	1
46	Blue Palo Verde	24" BOX	2

Planting Method	Planting Rate	Planting Depth
Hand Planting	1" x 1"	12"
Machine Planting	1" x 1"	12"
Total	2" x 2"	24"

LANDSCAPE LIGHTING NOTES:

- a. A pre grading inspection is required after the permit is issued and before any grading begins. All protected plants are to be moved into designated areas the construction fence is to be in place and the Build Department is to be called for an inspection.
- b. All plants protected by the Town of Carefree, including small cacti, shall be salvaged and relocated to designated places.
- c. Any protected plants remaining in place within the disturbed area shall be cordoned off and protected during construction.
- d. Drip irrigation shall be applied to newly installed plants and salvaged trees.
- e. At a minimum, disturbed areas shall be revegetated with native plants that conform to the density of plants in the surrounding natural environment and/or according to the Landscape Plan. Typically, locate 4 plants and/or cacti per 150 square feet and 1 tree per 450 square feet. Revegetation shall include hydroseeding.
- f. All Saguos to be salvaged shall be transplanted according to the Saguaro Salvage and Transplanting Recommended by the Town of Carefree methodology.
- g. All exterior lighting will be shielded to comply with Section 9.12 of the Carefree Zoning Ordinance.
- h. All landscaping shall be completed prior to final inspection and issuance of a Certificate of Occupancy.
- i. All exterior wall and surface mounted light fixtures shall be fully shielded. Mounting height of wall fixtures shall not exceed 8 feet.

GRADING & DRAINAGE NOTES:

- a. A letter from a surveyor registered in the State of Arizona shall be submitted verifying that the 5-foot construction fence has been installed along the disturbed area shown on the plan prior to excavation and grading.
- b. Restore existing grade at new septic system and provide for revegetation per the landscape plan.

TOWN OF CAREFREE HYDRO-SEED MIX TABLE

BOTANICAL NAME	COMMON NAME	NO. SEEDS PER LB	LB PER ACRE
Andropogon scoparius	Stargrass	100,000	3.0
Acacia constricta	Wildburr	100,000	1.0
Bahya multiflora	Desert Marigold	100,000	2.0
Ceanothus velutinus	Desert Sage	100,000	1.0
Dryas octopetala	Desert Sage	100,000	1.0
Eriogonum fasciculatum	Turpentine Bush	100,000	1.0
Eriogonum fasciculatum	Wildburr	100,000	1.0
Prosopis juliflora	Bursera	100,000	1.0
Larrea bloomeri	Cholla	100,000	2.0
Phacelia campanularia	California Bluebell	100,000	2.0
Sisymbrium officinalis	Black Mustard	100,000	1.0
Sphaeralcea ambigua	Desert Globemallow	100,000	1.0

NOTES:
 1. 100% Virgin urea used. Apply at 1,500 lbs per acre.
 2. Starter fertilizer applied at 200 lbs per acre.
 3. Topsoil applied at 60 lbs per acre.

REVEGETATION ZONE

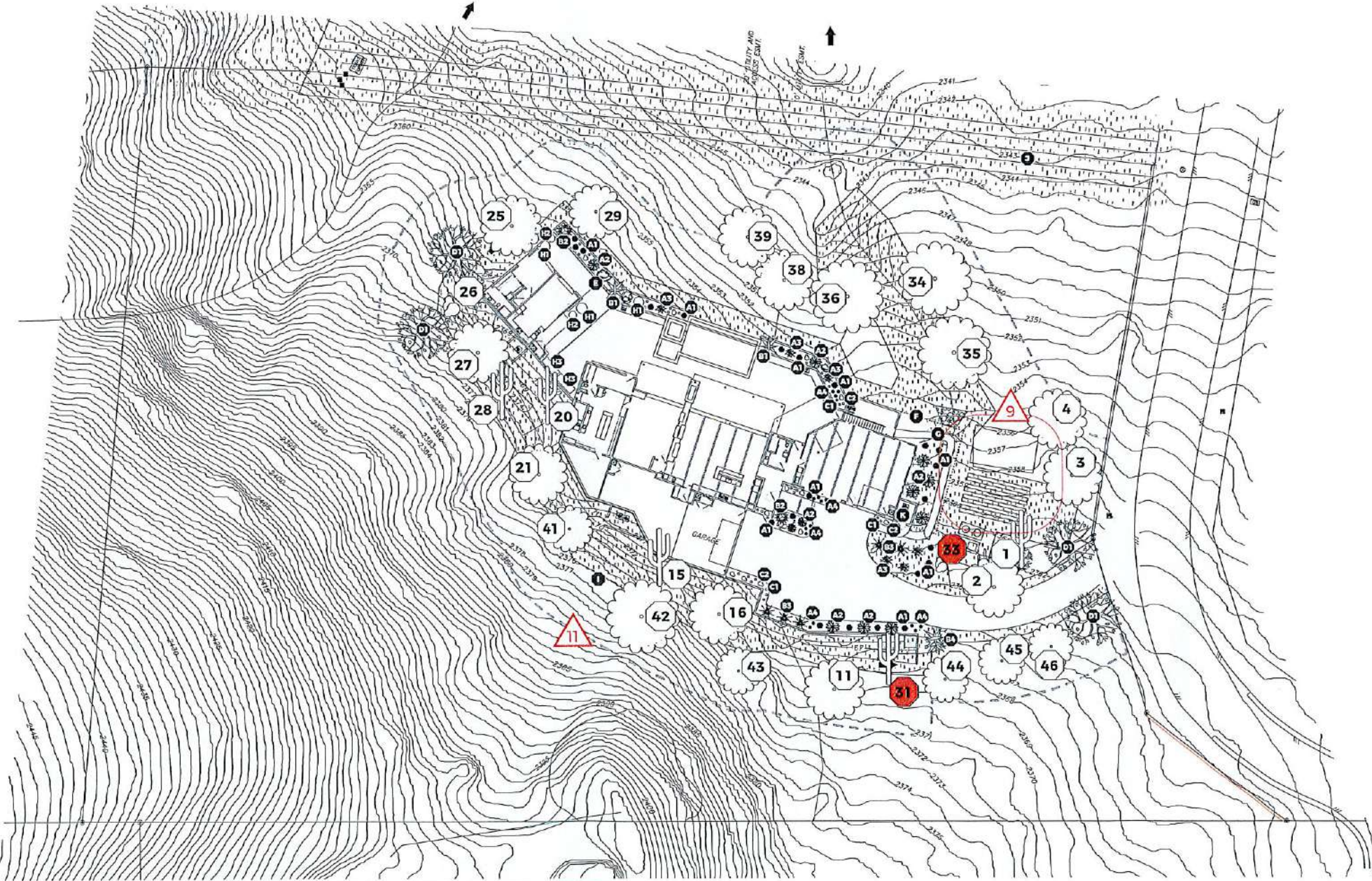
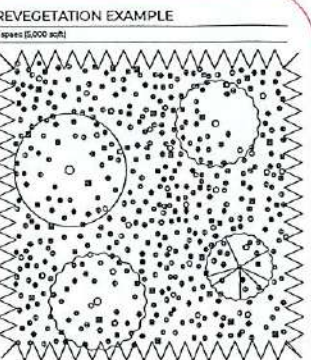
DISTURBED AREA - 4500 sqft

REVEGETATION PLANT LEGEND

SYMBOL	COMMON NAME	SIZE	QUANTITY
○	Blue Palo Verde	36" BOX	1
○	Yellow Palo Verde	24" BOX	2
○	Native Mesquite	36" BOX	1
○	Bursera	5 GAL	123
○	Turpentine Bush	5 GAL	69
○	CREOSOTE	5 GAL	69
○	JOJOBA	5 GAL	69
○	Desert Marigold	5 GAL	30
○	Desert Senna	5 GAL	28
○	Paperflower	5 GAL	28
○	Buckhorn Cholla	5 GAL	22
○	Teddy Bear Cholla	5 GAL	28
○	Pancake Pilscky Pear	5 GAL	22
○	Banana Yucca	5 GAL	22

REVEGETATION PLANT MIX

BIOLOGICAL NAME	COMMON NAME	SIZE	QUANTITY
Cercidium floridum	Blue Palo Verde	36" BOX	0
Cercidium floridum	Native Mesquite	36" BOX	1
Prosopis juliflora	Bursera	5 GAL	25
Prosopis juliflora	Turpentine Bush	5 GAL	42
Larrea bloomeri	CHOLLA	5 GAL	42
Bahya multiflora	Desert Marigold	5 GAL	18
Ceanothus velutinus	Desert Sage	5 GAL	18
Dryas octopetala	Desert Sage	5 GAL	18
Eriogonum fasciculatum	Desert Senna	5 GAL	18
Eriogonum fasciculatum	Paperflower	5 GAL	18
Phacelia campanularia	Buckhorn Cholla	5 GAL	14
Sisymbrium officinalis	Teddy Bear Cholla	5 GAL	14
Sphaeralcea ambigua	Pancake Pilscky Pear	5 GAL	14
Sphaeralcea ambigua	Banana Yucca	5 GAL	14



THESE DRAWINGS AND SPECIFICATIONS SHALL NOT BE REPRODUCED OR DUPLICATED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF DESIGN TEAM.

A COUPLE OF GREEN THUMBS

LANDSCAPING
 RESIDENTIAL + COMMERCIAL
 6061 E CAVE CREEK RD. #3
 CAVE CREEK, AZ 85331
 602.445.2916
 INFO@ACUPLEOFGREENTHUMBS.COM
 WWW.ACUPLEOFGREENTHUMBS.COM

LANDSCAPING CUSTOM HOME

BLACK RESIDENCE

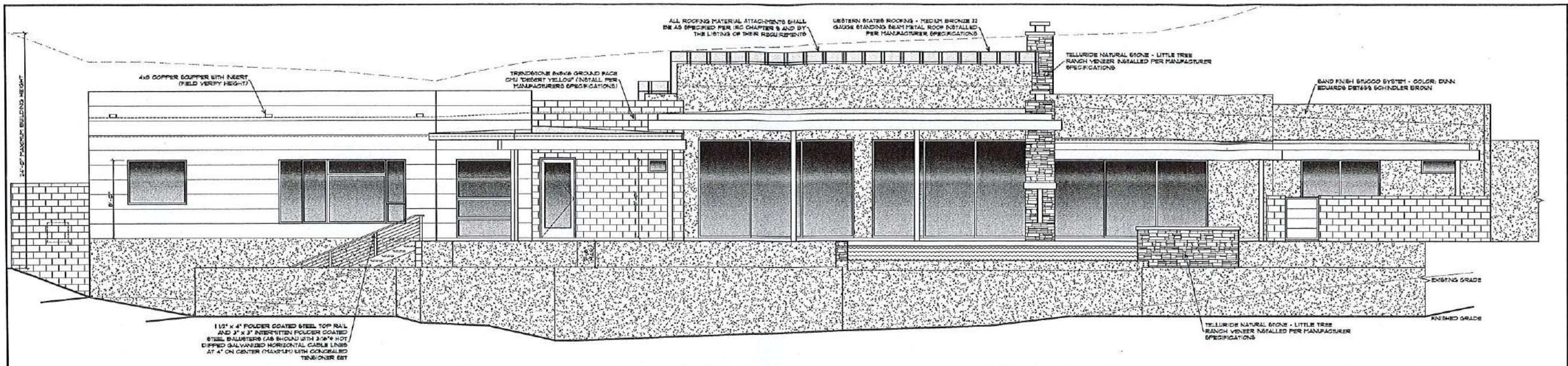
37102 NEVER MIND TRAIL
 CAREFREE, ARIZONA

LANDSCAPING SITE PLAN

DATE:
 08-19-2022
 09-30-2022 - REVISED

L-01



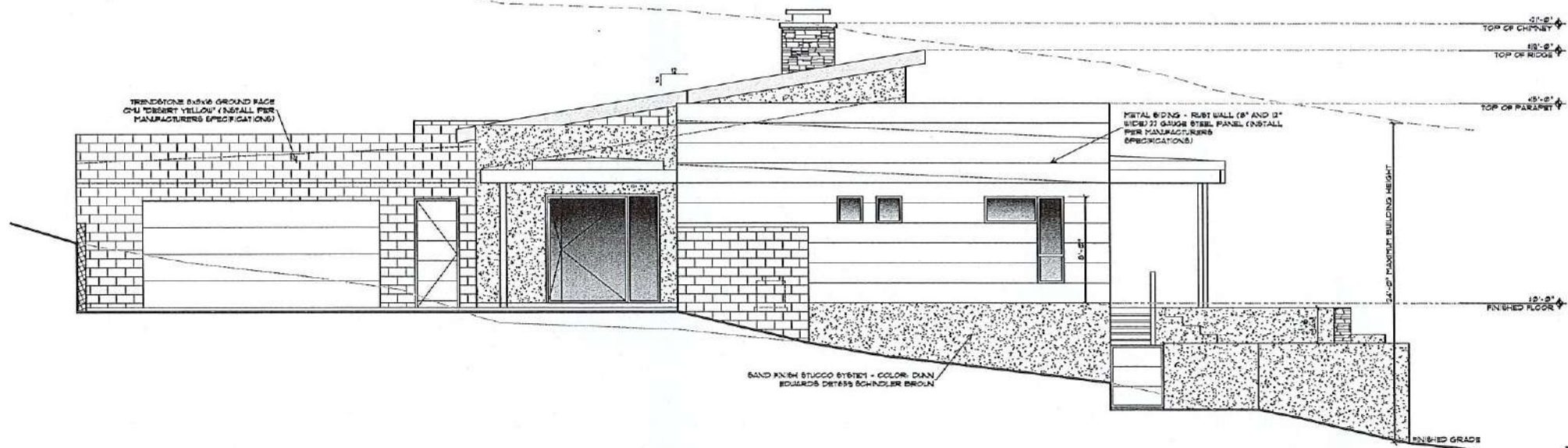


A NORTH ELEVATION

SCALE: 1/4" = 1'-0"

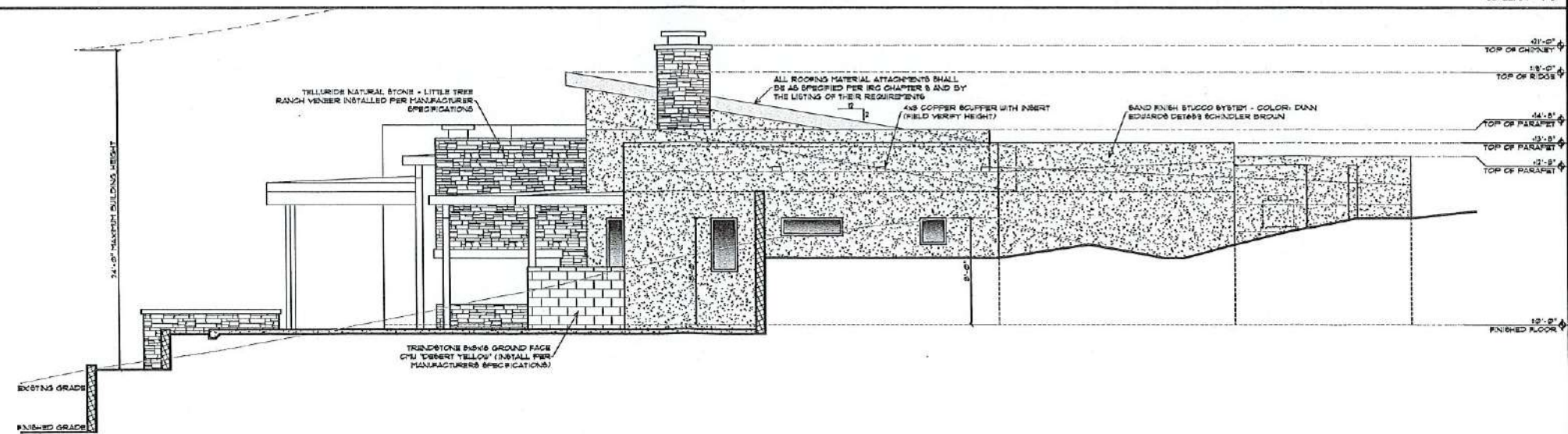
GENERAL NOTES:

1. EXTERIOR WALL TO HAVE "SAN-KOTE STUCCO SYSTEM" MINIMUM 3/8" THICK STUCCO ON 20 GAUGE GALVANIZED WOVEN WIRE LATH, ON 1" IS DENSITY INSULATION BOARD WITH HORIZONTAL JOINTS AND GROOVE JOINTS (STUCCO - "RES-212" INSULATION BOARD - "RES-185" WOVEN WIRE LATH AND PAPER - "RES-200" OVER (1) LAYER GRADE D PAPER ON ALL OPEN STUD BEAMS AND (2) LAYERS GRADE D PAPER ON ALL SHEATHED FRAMING).
2. FINISHED GRADE SHALL SLOPE AWAY FROM THE BUILDING AT 5% FOR A MINIMUM DISTANCE OF 10'-0" TO AN APPROVED WATER DISPOSAL AREA.
3. PROVIDE WEATHER PROOFING AND / OR FLASHING AT ALL EXTERIOR WALL PENETRATIONS AND / OR OPENINGS INCLUDING ALL DOORS, WINDOWS AND VENTS (PER IRC 1203.4).
4. DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY BUILT CHIMNEY SYSTEM AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. WHERE A FACTORY BUILT FIREPLACE / CHIMNEY SYSTEM DESIGNED AS A LIQUID BURNING APPLIANCE HAS A GAS LOG PERMANENTLY INSTALLED, A DECORATIVE SHROUD OF NON-COMBUSTIBLE CONSTRUCTION MAY BE INSTALLED WHICH HAS A MINIMUM OF TWO OPPOSITE SIDES OPEN, EACH OF WHICH IS A MINIMUM OF TWICE THE AREA OF THE FLUE. THE DESIGN OF THE SHROUD MUST BE APPROVED BY THE BUILDING OFFICIAL.



B EAST ELEVATION

SCALE: 1/4" = 1'-0"



C WEST ELEVATION

SCALE: 1/4" = 1'-0"

THESE DRAWINGS AND SPECIFICATIONS SHALL NOT BE REPRODUCED OR EMULATED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT OR ENGINEER. THE DRAWINGS, SPECIFICATIONS AND USE OF THE TITLE SHALL REMAIN THE PROPERTY OF KENNETH C. BARTELS & ASSOCIATES. LISTENERS THE PROJECT FOR WHICH THEY ARE ATTACHED IS EXECUTED OR NOT, THE DRAWINGS AND SPECIFICATIONS SHALL NOT BE USED BY ANYONE ON ANY PROJECT OR ACCORDING TO THIS PROJECT WITHOUT PERMISSION FROM THE ARCHITECT OR ENGINEER. COPYRIGHT KENNETH C. BARTELS & ASSOC. INC.

KCBA ARCHITECTURE

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PHOENIX, ARIZONA 85064
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EMAIL: KCBA@AZG.COM
WWW.KCBA-ARCH.COM

CUSTOM HOME
BLACK RESIDENCE
3102 NEVER MIND TRAIL
CAREFREE ARIZONA 85371

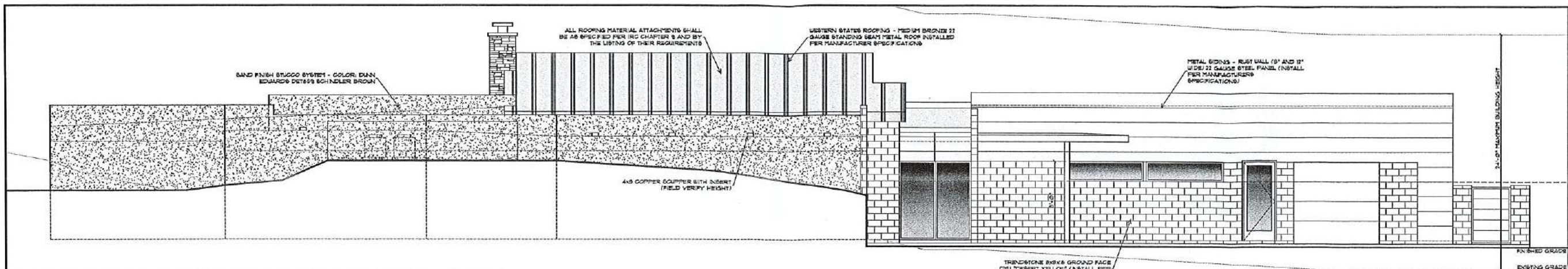
ELEVATIONS

DATE: 09-29-21
DRAWN BY:
REVISED:

- △
- △
- △
- △

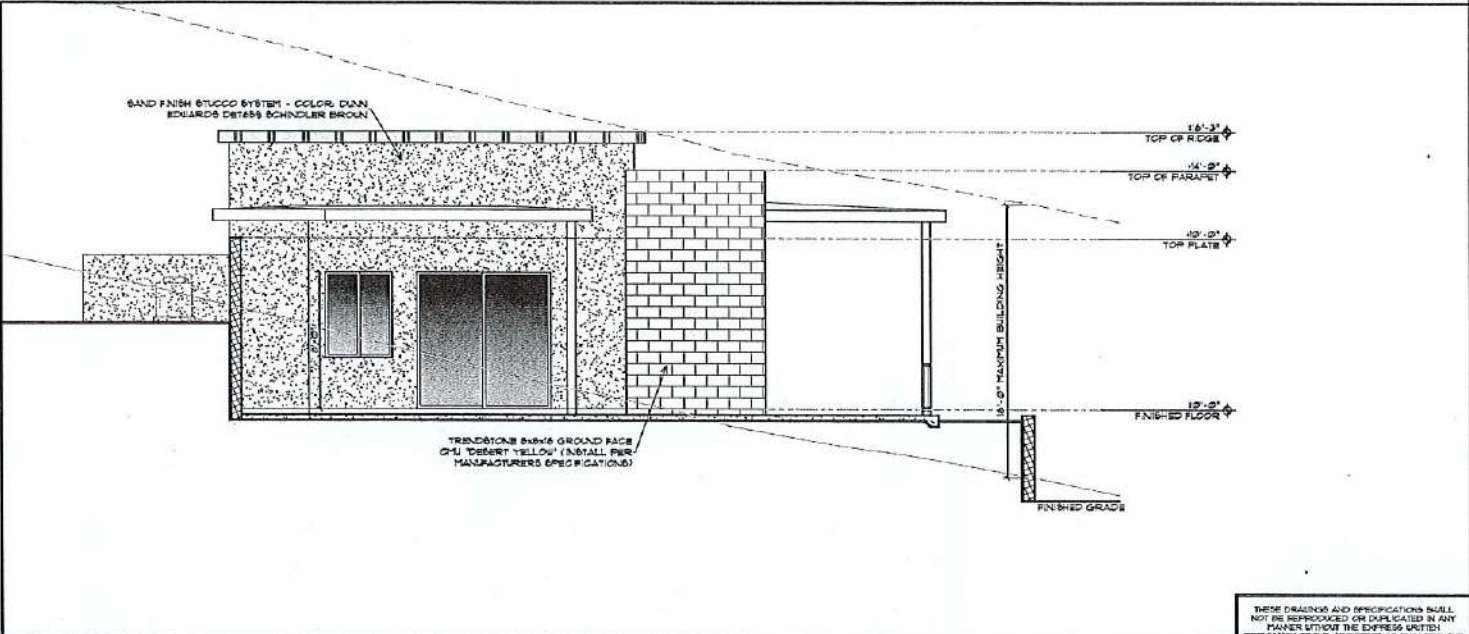
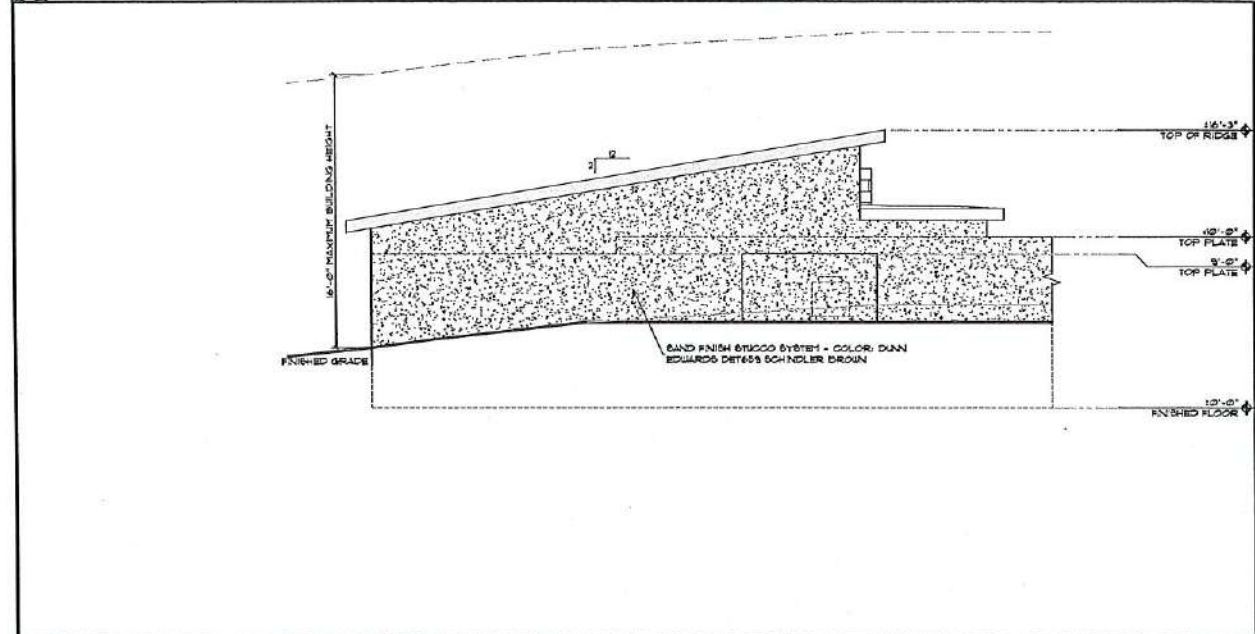
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A3.1



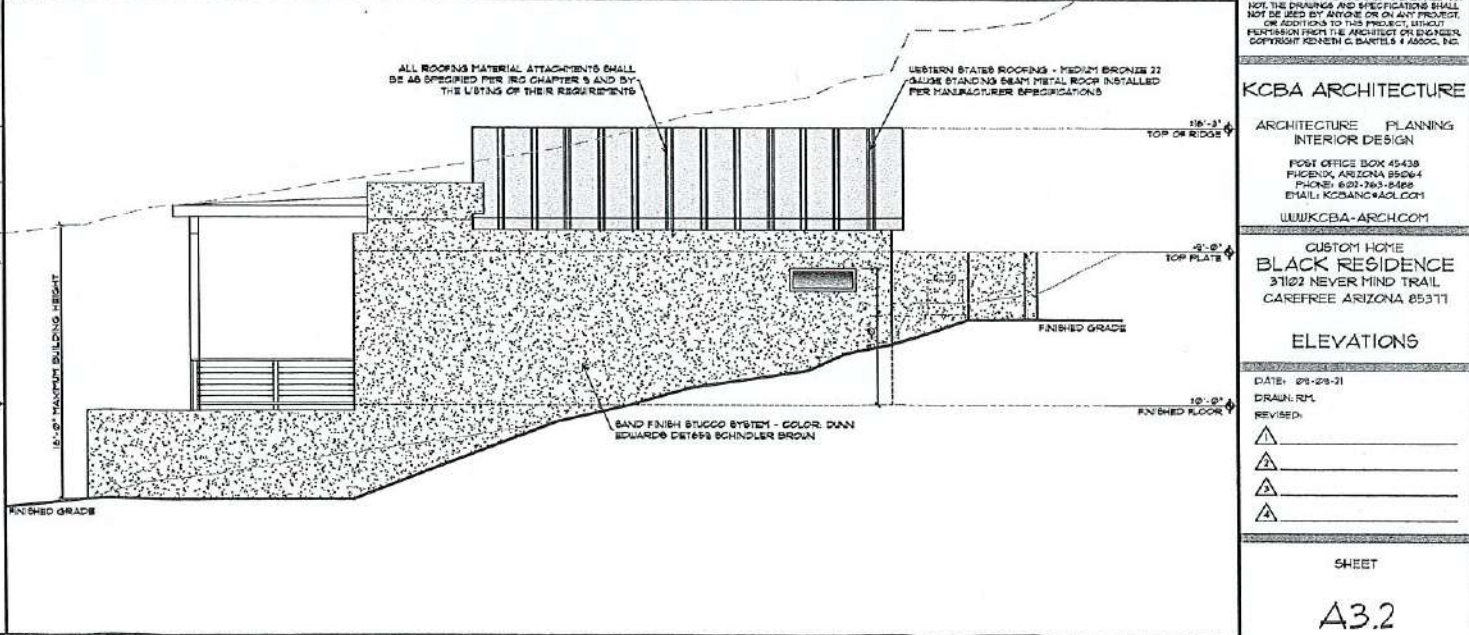
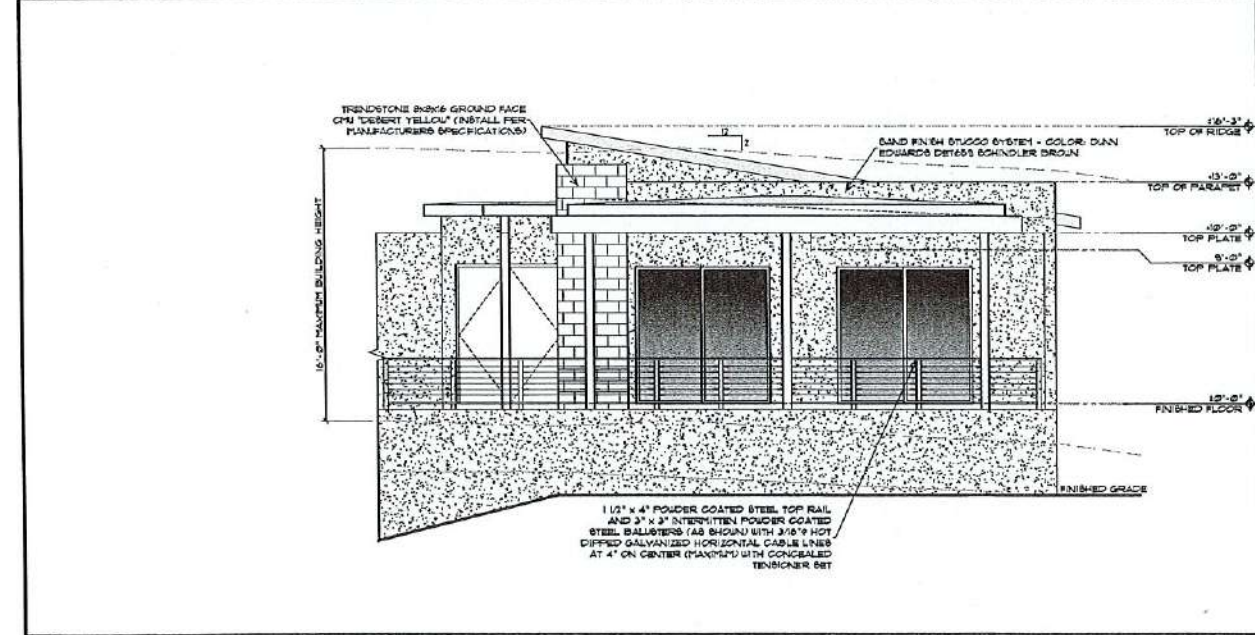
- GENERAL NOTES:**
1. EXTERIOR WALL TO HAVE SAND FINISH STUCCO SYSTEM MINIMUM 3/8" THICK STUCCO ON 20 GAUGE GALVANIZED WOVEN WIRE LATH, ON 1" - 15 DENSITY INSULATION BOARD WITH HORIZONTAL TONGUE AND GROOVE JOINTS (STUCCO - REIN-STEEL INSULATION BOARD - REIN-FIBER WOVEN WIRE LATH AND PAPER - REIN-DOSS) OVER (1) LAYER GRADE D PAPER ON ALL OPEN STUD FRAMING AND (2) LAYERS GRADE D PAPER ON ALL ENCASED FRAMING.
 2. FINISHED GRADE SHALL SLOPE AWAY FROM THE RESIDENCE AT 5% FOR A MINIMUM DISTANCE OF 10'-0" TO AN APPROVED WATER DRAINAGE AREA.
 3. PROVIDE WEATHER PROTECTORS AND / OR FLASHINGS AT ALL EXTERIOR WALL PENETRATIONS AND / OR OPENINGS INCLUDING ALL DOORS, WINDOWS, AND VENTS (REFER IRC 102.10).
 4. DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY BUILT CHIMNEY SYSTEM AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. WHERE A FACTORY BUILT FIREPLACE / CHIMNEY SYSTEM DESIGNED AS A WOOD BURNING APPLIANCE HAS A GAS LOG PERMANENTLY INSTALLED, A DECORATIVE SHROUD OF NON-COMBUSTIBLE CONSTRUCTION MAY BE INSTALLED WHICH HAS A MINIMUM OF TWO OPPOSITE SIDES OPEN, EACH OF WHICH IS A FIFTH OR TWICE THE AREA OF THE FLUE. THE DESIGN OF THE SHROUD MUST BE APPROVED BY THE BUILDING OFFICIAL.

D SOUTH ELEVATION SCALE: 1/4" = 1'-0"



E SOUTHWEST ELEVATION - GUEST HOUSE SCALE: 1/4" = 1'-0"

F SOUTHEAST ELEVATION - GUEST HOUSE SCALE: 1/4" = 1'-0"



G NORTHEAST ELEVATION - GUEST HOUSE SCALE: 1/4" = 1'-0"

H NORTHWEST ELEVATION - GUEST HOUSE SCALE: 1/4" = 1'-0"

THESE DRAWINGS AND SPECIFICATIONS SHALL NOT BE REPRODUCED OR DUPLICATED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT OR ENGINEER. THE DRAWINGS, SPECIFICATIONS AND USE OF THEM SHALL REMAIN THE PROPERTY OF KENNETH G. BARTELS & ASSOCIATES. ANY OTHER PROJECT OR ADDITION TO THIS PROJECT WITHOUT PERMISSION FROM THE ARCHITECT OR ENGINEER, COPYRIGHT KENNETH G. BARTELS & ASSOC., INC.

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BLACK RESIDENCE
 37102 NEVER MIND TRAIL
 CAREFREE, ARIZONA 85371

ELEVATIONS
 DATE: 05-28-21
 DRAWN BY:
 REVISED:
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SHEET
A3.2

KENTON DESIGN ARCHITECTURE INC.