



TOWN OF CAREFREE
NOTICE of a PUBLIC MEETING of the DEVELOPMENT REVIEW BOARD

WHEN: MONDAY, MARCH 14, 2022

WHERE: CAREFREE TOWN COUNCIL CHAMBERS
33 EASY STREET, CAREFREE, AZ 85377

LIVESTREAM: [HTTPS://ZOOM.US/](https://zoom.us/j/3229729660)
MEETING ID 322 972 9660
PASSCODE 12345

TIME: 5:30 P.M.

Pursuant to A.R.S. 38-431.02, notice is hereby given to the members of the Development Review Board of the Town of Carefree, Arizona and to the general public that the members of the Development Review Board will hold a meeting open to the public.

The agenda for the meeting is as follows:

CALL TO ORDER

ROLL CALL

A members of the Council may participate by technological means or methods pursuant to A.R.S. §38-431(4).

PLEDGE OF ALLEGIANCE

ITEM #1 APPROVAL of DEVELOPMENT REVIEW BOARD MEETING MINUTES dated APRIL 12, 2021.

ITEM #2 DISCUSSION AND POSSIBLE ACTION on a request for approval of a proposed MOUNTAINSIDE DEVELOPMENT. Public comments will be taken.

CASE #: 20-16-MS

APPLICANT: Applicant
Mr. Eric Spry
Spry Architecture
3420 East Shea Boulevard
Phoenix, AZ

CASE 7243 East Valley View Circle
LOCATION: Carefree, AZ
APN: 216-21-061

ZONING: R1-35 Single Family Residential
35,000 square feet minimum lot size

REQUEST: **APPROVAL** of a development plan for a single-family residence in the Mountainside Zoning District Overlay

ITEM #2 ANNOUNCEMENTS

ITEM #3 ADJOURNMENT

DATED this 10th day of March, 2022.

TOWN OF CAREFREE

BY: *Samantha J. Gosell*
Planning Clerk

Council meeting will be broadcast via our Town of Carefree Zoom channel:

LIVESTREAM: [HTTPS://ZOOM.US/](https://zoom.us/j/3229729660)
MEETING ID 322 972 9660
PASSCODE 12345

Or Join Zoom Meeting Direct Link
<https://us02web.zoom.us/j/3229729660?pwd=aHBnS3N5L1JRRG8wRGNFT25lc2hGUT09>

Meeting ID: 322 972 9660
Passcode: 12345

For telephone audio
1.669.900.6833 or 1.253.215.8782



FOR SPECIAL ACCOMMODATIONS

Please contact the Planning Clerk, 8 Sundial Circle (PO Box 740), Carefree, AZ 85377; (480) 488-3686, at least three working days prior to the meeting if you require special accommodations due to a disability.



TOWN OF CAREFREE
MINUTES of a PUBLIC MEETING of the DEVELOPMENT REVIEW BOARD
MONDAY, APRIL 12, 2021

Members of the Development Review Board participated by technological means or methods pursuant to A.R.S. §38-431(4).

Chairman Cross called the meeting to order and led the Pledge of Allegiance at 5:04 p.m.

BOARD MEMBERS PRESENT:

Chairperson – Tom Cross
Board Member – Heather Burgett
Board Member – Peter Burns
Board Member – Phil Corso
Board Member – Dan Davee
Board Member – Ralph Ferro

BOARD MEMBERS ABSENT:

Vice Chairperson – Lyn Hitchon

STAFF PRESENT:

Planning Director – Stacey Bridge-Denzak
Planning Clerk – Samantha Gesell

ITEM 1. DISCUSSION AND POSSIBLE ACTION on a request for a **DEVELOPMENT WAIVER** to allow for an increase in the quantity of fill in order to construct a new detached garage. Public comments will be taken.

CASE #: 20-17-DRB

APPLICANT: Applicant
Rebecca Patullo
37607 N. 22nd St.
Phoenix, AZ

CASE LOCATION: 7676 Nonchalant Ave.

Carefree, AZ
APN: 216-83-096

ZONING: Rural-70 Single Family Residential
70,000 square feet minimum lot size

REQUEST: **DEVELOPMENT WAIVER** to allow for an increase in the quantity of fill in order to construct a new detached garage.

Planning Director Stacey Bridge-Denzak introduced the Development Review Waiver request via PowerPoint.

Director Bridge-Denzak explained that the request is to allow for the quantity of fill beneath a building pad to exceed the quantity of cut in order to construct a detached garage. Director Bridge-Denzak described the topography of the site. Explaining the property slopes down to the home from south to north. Noting, the applicant is proposing a finished floor elevation of the garage addition to be 2441.74, in relation to the finished floor elevation of the existing home, which is 2442.50 and in close proximity.

Director Bridge-Denzak also explained that a raised elevation minimizes flow towards the structure and allows for a more even driveway surface.

Ms. Bridge-Denzak noted that citizen participation requirements have been met.

Board Member Davee questioned if the proposed garage will be required to have a sprinkler system for fire suppression being that it is a new structure. Applicant, Rebecca Patullo responded, yes, they will be installing a fire sprinkler system in the new garage.

Board Member Davee inquired about the amount of fill being proposed. Civil Engineer, Jeff Geller responded that there will be approximately 80 cubic yards brought in.

Board Member Corso **MOVED** to **APPROVE** the **DEVELOPMENT WAIVER** to allow for an increase in the quantity of fill in order to construct a new detached garage with the following conditions:

1. The building permit development plans shall conform to the site and building plans submitted in association with this case and attached to the staff report as follows:
 - (A) Detached Garage Plan, Sheet A1, and Sheet A2 each date stamped March 3, 2021
2. The finished floor elevation of the new garage shall not exceed elevation +2441.75, and stem walls shall not exceed an exposed height of 5 feet.
3. Stem walls shall be painted stucco in conjunction with the building.

4. Landscaping shall be native, tall variety(s), and reasonable in size to provide an initial buffer.
5. The granting of this approval shall be null and void if the building permit is not issued within one year following the date of this approval unless an extension is requested by the applicant and/or owner and granted by the Zoning Administrator.

SECONDED by Board Member Davee, **APPROVED** unanimously.

ITEM 2. ANNOUNCEMENTS

There were no announcements.

ITEM #3 ADJOURMENT

Board Member Ferro moved to **ADJOURN**, **SECONDED** by Board Member Davee, **APPROVED** unanimously at 5:20 p.m.

DEVELOPMENT REVIEW BOARD

Samantha Gesell

Samantha Gesell, Planning Clerk

DEVELOPMENT REVIEW BOARD - STAFF REPORT



MEETING DATE: March 14, 2022

Item No. 2

SUBJECT Mountainside Single-Family Residence, DRB Case #20-16-MS

REQUEST Pursuant to Article X of the Zoning Ordinance, this is a request for approval of a single-family residence in a Mountainside Zoning District overlay. The Mountainside overlay applies to properties in Carefree which contain a 20% percent slope or greater over a 50-foot length perpendicular to such slope. The philosophy of the Mountainside District is twofold: (1) encourage development to be placed in the least environmentally sensitive areas of a site; and (2) the proposed development is strategically integrated into the hillside.

Key Items for Consideration:

- The property is located at 7243 East Valley View Circle, Carefree, Maricopa County Tax Parcel #216-21-061.
- The parcel is approximately 2.2 acres (96,180sf) in size and zoned R1-35 Single Family Residential.
- A multi-level home with a three-car garage, covered patios, small pool and spa, terraced retaining walls, and natural landscaping.
- Building materials include stone veneer and painted stucco with metal fascia and accent panels. Project includes a colored concrete driveway and painted stucco retaining walls.
- Proposed retaining walls accommodate approximately 16 feet of grade difference; each does not exceed the allowable maximum height of 7 feet.
- Access to the site is from East Valley View Circle, a private street.
- There are environmentally sensitive features on the site including steep slopes, protected plant species, various ridgelines and a wash.
- The site meets the cut-to-fill ratio requirement of cut exceeding fill.
- Landscaping is proposed to revegetate disturbed areas and transition from the structures to the natural desert.
- The lot will be served by the Town of Cave Creek for water and an individual septic system provided by the Owner.
- Citizen Participation requirements have been met.

**APPLICANT/
OWNER**

Owners
Mr. and Mrs. William and
Susan Wintersteen
23110 San Salvador Pl.
Katy, TX

Architect/Applicant
Mr. Eric Spry
Spry Architecture
3420 E. Shea Blvd.
Phoenix, AZ

Civil Engineer
Mr. David Noe
Noe Engineering
706 E. Bell Rd.
Phoenix, AZ

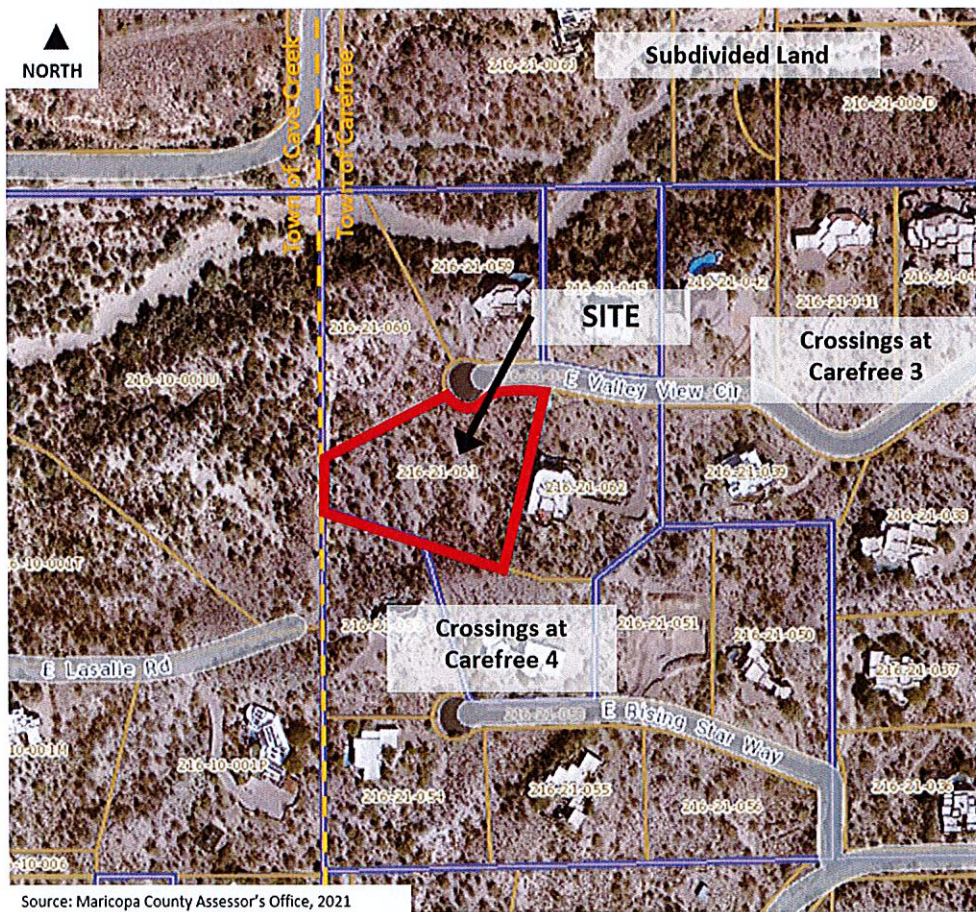
**LOCATION/
CONTEXT**

The subject property is a vacant parcel located at 7243 East Valley View Circle. The Carefree General Plan designates it and the surrounding lots in Carefree as Low Density Residential (approximately 1-acre minimum lots). The lots to the west are in the Town of Cave Creek. The property is

in Zoning District R1-35 Single Family Residential (minimum 35,000 square foot lot size) as well as the Carefree lots adjacent to the site. The subdivision was platted in 1999; all of the lots in the *Crossings at Carefree 4* are a minimum of 70,000 square feet even though Zoning district allows for less. Each lot has a defined building envelope as shown on the final plat. The adjacent land uses are as follows:

- North: 1 Vacant lot, private road, and 1 single-family residential
- South: 2 Single-family residence, and 1 vacant lot
- West: 1 Single-family residence and 1 vacant lot (Town of Cave Creek)
- East: 1 Single-family residence

**Aerial Context Map:
County Tax Parcel #216-21-061, 7243 East Valley View Circle**



Source: Maricopa County Assessor's Office, 2021

SENSITIVE FEATURES

The vacant parcel has irregular and undulating topography throughout. Various, ridgelines and corresponding drainage channels are very apparent (see Diagram 1). Most of the property has slopes between 25% and 30%; the slopes between 0% to 20% are mostly found at the front of the site or at its western boundary (see Diagram 2). The structure rests on one of the ridgelines within the defined building envelope as shown on the approved plat.

Diagram 1:

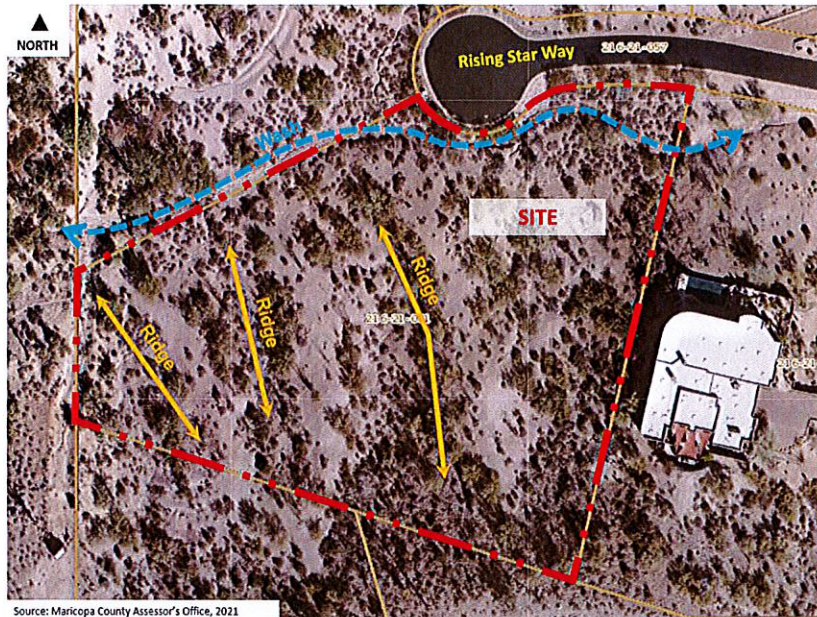
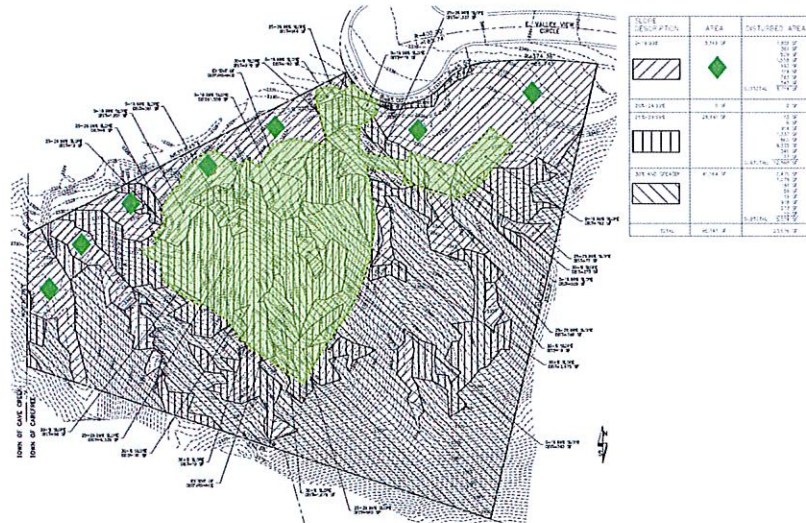


Diagram 2:

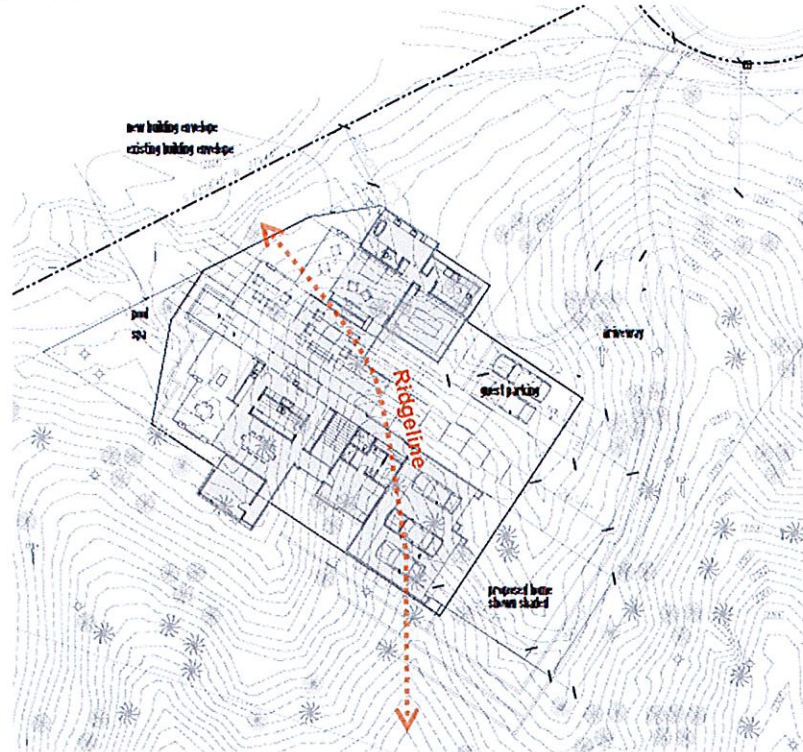


DEVELOPMENT PLAN

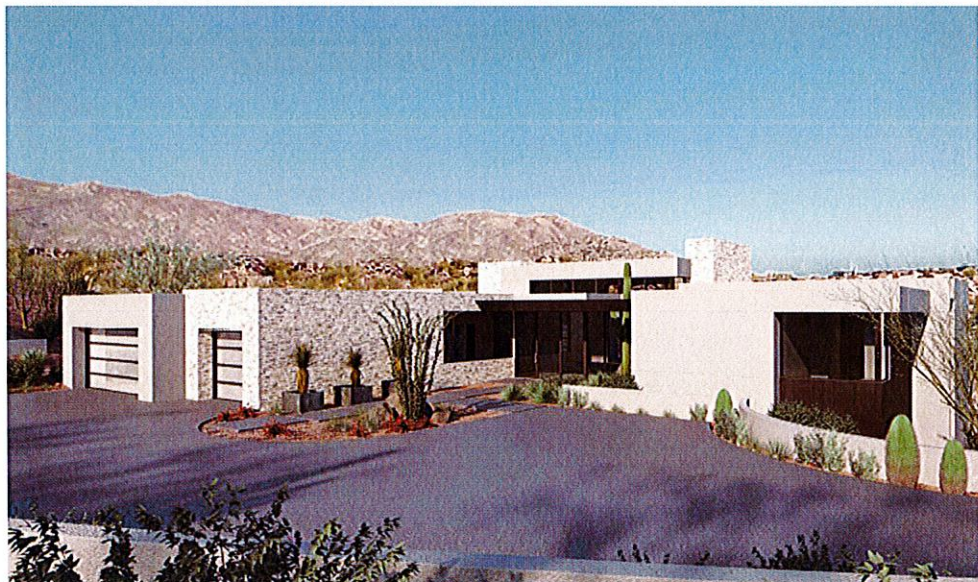
Summary

The proposed residence is a 4-bedroom, 3-1/2 bathroom, two-level home with a small pool/spa and covered patio spaces. The siting of the residence takes advantage of views to the south and west. The building sits on one of the property’s ridgelines, however, the overall height is no taller than allowed by Zoning. It is also located within the defined building envelope; this project has a conditional approval from the Homeowners Association, which includes the home’s position on the site. (See Diagram 3).

Diagram 3:

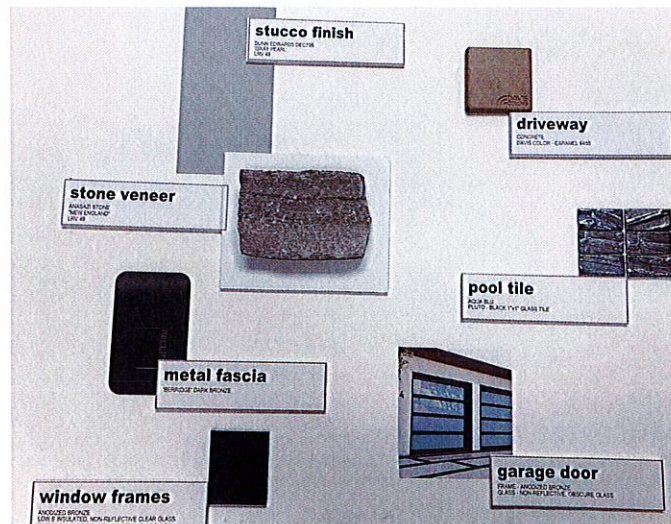


The total area under roof is 7,029 square feet with a livable area of 4,585 square feet. The remainder of the area under roof is garage and covered patio respectively. This project has been designed with regard to the Town's high development standards. The intent is to create a home that enhances the values of Carefree; this is evident by the low, linear profile of the home and the multi-level approach. The architecture has a southwest modern feel typical to many upscale, custom homes today.





Contextual materials and color in concert with the desert environment and character of the Southwest are used. Included are painted stucco as well as a lightly colored, stone veneer (see Exhibits 1, 2, and 3 below). Retaining and site walls shall be painted stucco to match the home. Hardscape materials include a colored concrete driveway.



Driveway

A colored concrete driveway will be installed along a gradient that varies between 1.9% and 6.7%; the main garage area will be essentially level. Retaining walls at the east side of the driveway were needed to retain grade as the driveway is essentially cut into the natural grade.

Lot coverage and Disturbed Area

Maximum 20% lot coverage and maximum 60% disturbed area are allowed in R1-35 Zoning District. The proposed project complies, with 6.8% lot coverage and approximately 24.6% disturbed area, which includes the

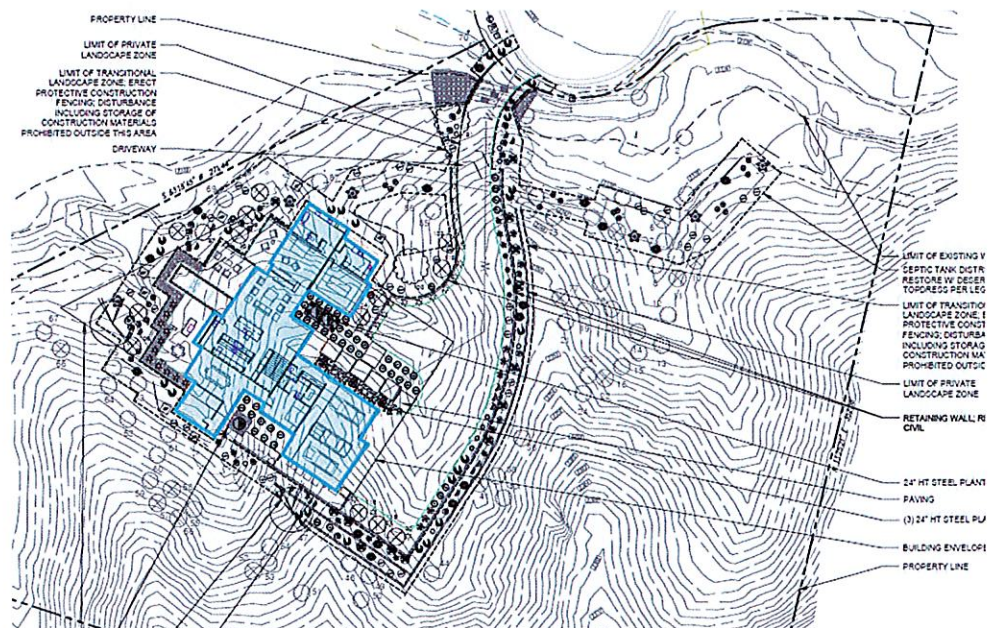
driveway, septic system, and other graded areas. The wash shall not be disturbed other than at the driveway crossing, which is permissible.

Building Setbacks

Required building setbacks in R1-35 Zoning are 40 feet front/rear and 20 feet on the sides measured from the property lines as shown on the attached plans. The building is within the developable area of the property. Grading extends into the west side yard setback, which is permissible. It will be stabilized by vegetation.

Landscaping

Landscaping is important in Mountainside properties, in particular, to salvage protected plants, revegetate disturbed areas, screen terraced retaining walls, and transition the development from the interior "oasis" near the home to a more natural desert areas further from the residence. A preliminary salvage inventory and a landscape plan have been submitted in association with this application.

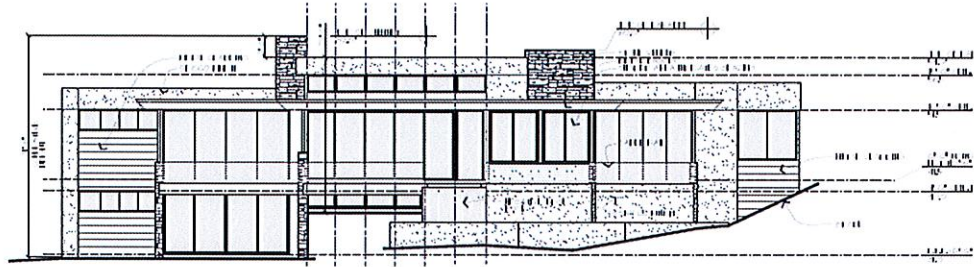


A combination of drought tolerant plant material and salvaged plants are incorporated into the landscape plan. A final site lighting and landscape plan with supporting salvage planting information will be required at the building permit phase.

Building Height

The building complies with the 40-foot maximum cumulative height for Mountainside developments with a measurement of 31.5 feet. The structure may not exceed the high point of the ridgeline elevation by more than 12 feet. The highest point of the ridgeline in this case is at elevation + 2353. The height of the building is 9 feet above the ridgeline at its highest point (chimney), and therefore meets the Zoning criteria. The project also

meets the 24-foot maximum building height above natural and finished grade directly below.



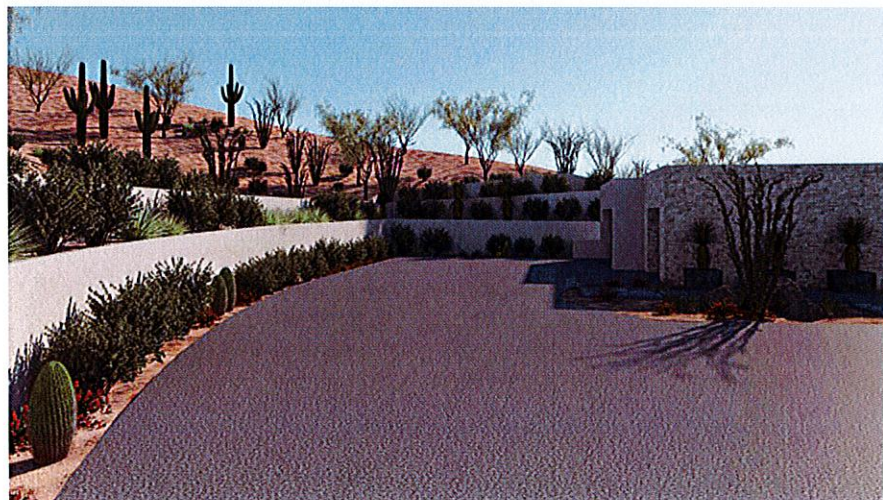
Cut:Fill Ratio

The quantity of cut exceeds the quantity of fill by 861 cubic yards as required under the Zoning Ordinance. The total quantity of cut equals 1,043 cubic yards; the quantity of fill equals 182 cubic yards. Excess cut will be removed from the property. The large amount of cut is due to the building having a lower level.

Grading & Drainage

The project is designed to facilitate stormwater flows around the residence starting at the southwest corner of the development heading north and west to the existing wash. Natural, historic flows will not be affected. The proposed upper and lower finished floors will be safe from inundation during the 100-year peak runoff event. The lower section of the residence is separated from the high-water elevation of the adjacent wash by over 50 feet. The Town Engineer has reviewed the plans and report as part of this Mountainside case. Refined Grading and Drainage Plans shall be submitted under a future building permit.

Based on the finished floor requirements, retaining walls were necessary to construct the driveway and garage court area. The proposed terracing of these walls meets Zoning requirements. Landscaping will help to reduce the scale and soften the overall appearance.



Site Utilities

The subject property will be serviced by the Town of Cave Creek for water and an onsite septic system for sewer. When a building permit is submitted, the location of the water line and septic system shall be included on the plans. Disturbance is limited to 3 feet on either side of the water service line, which shall follow the alignment of the driveway; and 5 feet for septic facilities. The dry utilities (electric, phone, gas, cable if applicable) will be located underground below the onsite driveway as required by Zoning.

Citizen Participation

The Citizen Participation requirements have been met. The applicant distributed a letter notifying 20 surrounding property owners and homeowners' associations (HOAs) within a 500-foot radius of the application. The letters were mailed on August 23, 2021, by the applicant. No calls, texts, or emails were received regarding the project. Town staff did not receive any communications regarding this application either.

The HOA expressed concern regarding assurance that the plans would not change from the Mountainside process to the building permit submittal with regards to design. It was agreed that the reviews by the Town and the HOA would happen concurrently. The applicant would coordinate all comments received and distribute accordingly. The HOA will provide to the Town a final sign-off prior to the issuance of the building permit.

DRB

If the Development Review Board approves this application, the attached Conditions for Approval are provided for the Board's consideration.

Attachments:

- ❖ Conditions for Approval
- ❖ Citizen Participation Report
- ❖ HOA Letter of Conditional Approval
- ❖ Plans
 - Topographical Map
 - Slope Analysis
 - Site Plan
 - Grading and Drainage Plan
 - Landscape Plan
 - Elevations
 - Perspective Renderings

EXHIBIT "A"
CONDITIONS FOR APPROVAL
DRB Case #20-16-MS
7243 Valley View Circle, Carefree
Maricopa County Tax Parcel #216-21-061

1. All plans submitted to the Building Department for a building permit shall be consistent with the plans associated with this application and attached to this report as well as the conditions approved by the Development Review Board on March 14, 2022.
2. The granting of this Mountainside application shall be null and void if the building permit is not issued within one (1) year of approval.
3. The configuration of the septic system in the final permit plans shall be consistent with the configuration exhibited on the Grading and Drainage Plan submitted with this application and attached to this report.
4. Disturbed areas for the septic system installation shall be restored to existing grade and revegetated in a manner that is consistent with the plant type and density of the surrounding natural environment and as noted on the landscape plans. A final landscape plan which includes the associated revegetation plan shall be submitted and approved by the Town of Carefree prior to issuance of a building permit.
5. All retaining walls and/or site walls shall be designed consistent with the plans associated with this application and attached to this report, and according to Section 10.06 *Walls and Fences* of the Carefree Zoning Ordinance.
6. Driveway grading shall be designed consistent with the plans associated with this application and attached to this report and according to Section 10.06 *Site Disturbance and Driveways* of the Carefree Zoning Ordinance.
7. Exterior lighting shall meet all provisions of Article IX, Section 9.12.
8. Landscaping shall meet all provisions of Article IX, Section 9.13.

9.16.21

Town of Carefree
8 Sundial Circle
P.O. Box 740
Carefree, AZ 85377

CITIZEN PARTICIPATION REPORT FOR HOME OF MR. AND MRS. WILLIAM AND SUSAN WINTERSTEEN

GENERAL:

- Lot Address – 7243 E. Valley View
- Lot APN 216-21-061
- Lot 4 Crossings at Carefree

REPORT:

On August 23, 2021, property owner and applicant William Wintersteen mailed letters to the 20 neighbors within the 500' radius of the owners property. The letter explained the project (including a site plan and exterior elevations as exhibits) and invited neighbors to contact the owners architect, Spry Architecture, with questions and / or concerns.

As of the writing of this report, September 16, 2021, Spry Architecture has not received a call, text or email from a neighbor regarding questions or concerns.

Eric Spry



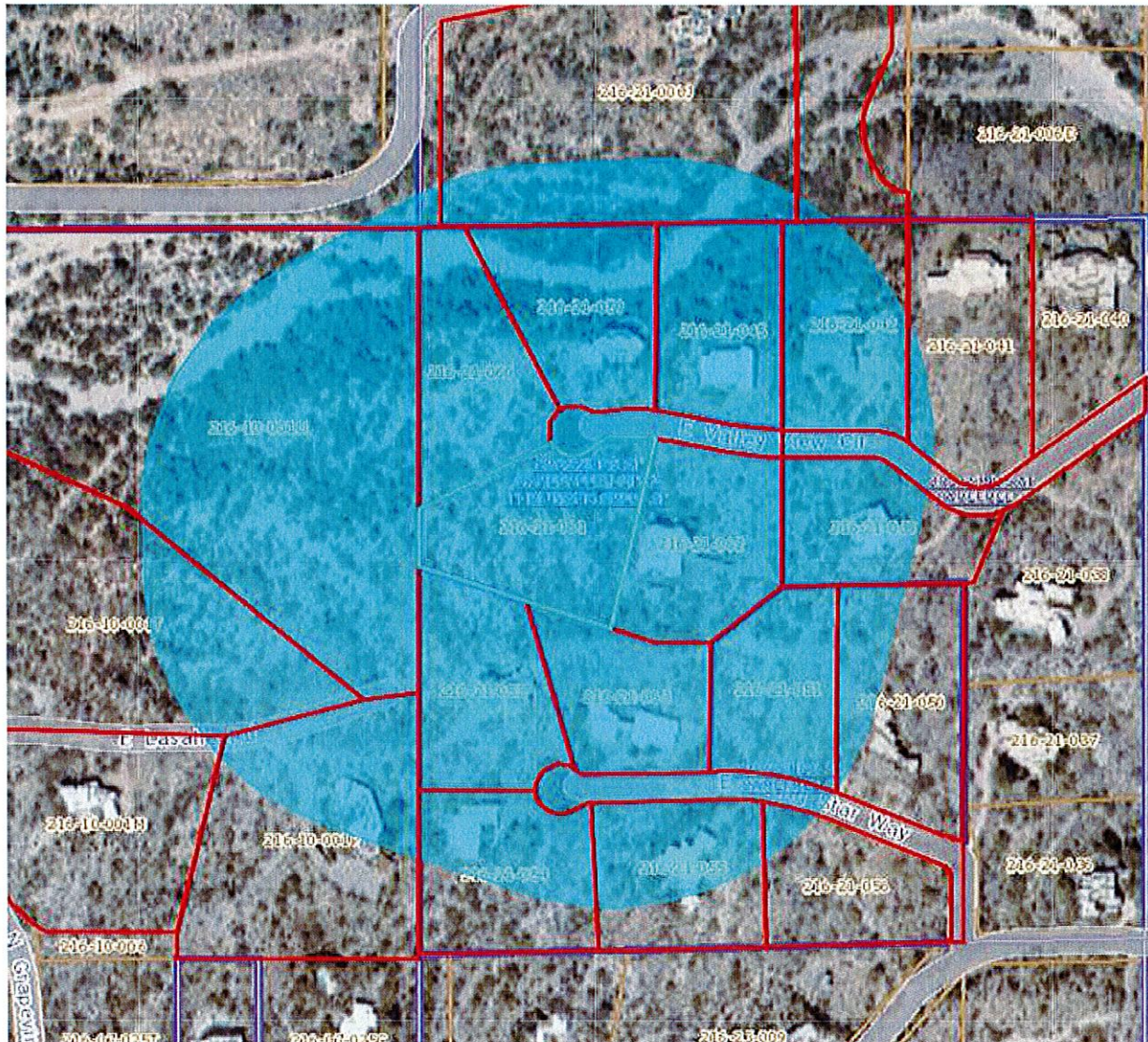
spryarchitecture

602.795.5886 (phone) 602.396.4097 (fax)
www.spryarch.com

**PROPERTIES WITHIN 500' OF
7243 VALLEY VIEW CIRCLE**

216-21-061

20-16-MS



APN	PROPERTY OWNER/MAILING ADDRESS	PROPERTY ADDRESS
216-10-001M	RICHARD J MUELLER REVOCABLE TRUST/ETAL PO BOX 4773 CAVE CREEK AZ 85327	38611 N GRAPEVINE RD CAVE CREEK 85331
216-10-001P	MARK STEIN REVOCABLE TRUST 38651 N GRAPEVINE RD CAVE CREEK AZ 85331	38651 N GRAPEVINE RD CAVE CREEK 85331

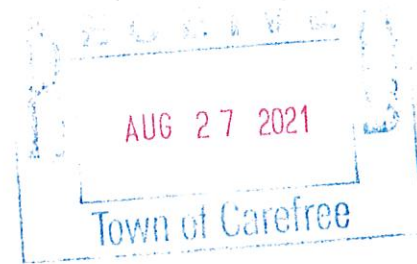
**PROPERTIES WITHIN 500' OF
7243 VALLEY VIEW CIRCLE
216-21-061
20-16-MS**

216-10-001T 216-10-001U	MEYER LLOYD W/DONNA L TR PO BOX 3440 CAREFREE AZ 85377	
216-21-006J 216-21-006G	BLACK CHARLES R/JUDY A 601 N FAIRFAX ST UNIT 402 ALEXANDRIA VA 22314	7211 E GRAPEVINE RD CAREFREE 85377
216-21-039	CROTTY MICHAEL E/THERESA M 7327 E VALLEY VIEW CIR CAREFREE AZ 85377	LOT 4 7327 E VALLEY VIEW CIR CAREFREE 85377
216-21-041	CHRISTOPHER W JONES REVOCABLE INTERVIVOS TRUS PO BOX 158 CAVE CREEK AZ 85327	LOT 6 7348 E VALLEY VIEW CIR CAREFREE 85377
216-21-042	GOEWY JOINT TRUST 3351 GINKGO WAY EUGENE OR 97404-5939	LOT 7 7320 E VALLEY VIEW CIR CAREFREE 85377
216-21-045	GATES FAMILY TRUST 8151 WAR GLORY PL PLEASANTON CA 94566	LOT 1 7286 E VALLEY VIEW CIR CAREFREE 85377
216-21-050	SHINYEDA FAMILY TRUST 7342 E RISING STAR WAY CAREFREE AZ 85377	LOT 6 7342 E RISING STAR WY CAREFREE 85377
216-21-051	MA SYAU FU PO BOX 2482 CAREFREE AZ 85377	LOT 7
216-21-053	MEYER REVOCABLE TRUST 7214 E RISING STAR WAY CAREFREE AZ 85377	LOT 9 7214 E RISING STAR WY CAREFREE 85377
216-21-054	LOCKWOOD ARNOLD LEE/JUDITH K 1940 PARK FOREST AVE LAKE OSWEGO OR 97034-6860	LOT 10 7211 E RISING STAR WY CAREFREE 85377
216-21-055	MESITI REVOCABLE TRUST 7267 E RISING STAR WAY CAREFREE AZ 85377	LOT 11 7267 E RISING STAR WY CAREFREE 85377
216-21-056	STOUT CHARLES L/REBECCA 11872 E JUAN TABO RD SCOTTSDALE AZ 85255-5906	LOT 12
216-21-057 216-21-058 216-21-043	CROSSINGS AT CAREFREE III & IV HOMEOWNERS ASS PO BOX 5153 CAREFREE AZ 85377	
216-21-059	KIRST JON G/CHERYL A TR PO BOX 2981 CAREFREE AZ 85377	LOT 2 7248 E VALLEY VIEW CIR CAREFREE 85377
216-21-060	WAGENER-WHITCOMB REVOCABLE TRUST 8419 E WELSH TRL SCOTTSDALE AZ 85258	LOT 3
216-21-062	DAVEE DANIEL/STEPHANIE TR PO BOX 1014 CAREFREE AZ 85377	LOT 5 7281 E VALLEY VIEW CIR CAREFREE 85377

**PROPERTIES WITHIN 500' OF
7243 VALLEY VIEW CIRCLE
216-21-061
20-16-MS**

216-21-063	HOPKINS GARY HOWARD/TINA THAYER REV LIV TRUST PO BOX 3620 CAREFREE AZ 85377	LOT 8 7238 E RISING STAR WY CAREFREE 85377
	TOWN OF CAREFREE PO BOX 740 CAREFREE AZ 85377	

23 August 2021



Re: 7243 East Valley View Circle
Carefree, Arizona 85377
Parcel # 216-21-061
Lot 4 Carefree Crossings IV
Mountainside Review Case # 20-16MS

As part of mandatory Citizen Participation procedures for Mountainside Development Review in the Town of Carefree, all surrounding property owners within 500 feet of the subject property must be notified by the applicant. Therefore, you are being notified of our application to develop a single-family residence on the property referenced above.

If you wish to comment or have questions, you may contact our architect, Eric Spry, by email at espy@spryarch.com. You may also respond to the Carefree Planning & Zoning Department in writing, in person, or by telephone at 480 488-3686. No response is necessary if you do not have any comments or objections. Thank you for your consideration.

Copies of the site plan and drawings associated with this request are enclosed.

Sincerely,

Bill & Susan Wintersteen

Enclosures: (1) Site Plan, (1) Elevations-4 views

owner's address

1500 N. WILSON AVE. PHOENIX, AZ 85016

project address

2300 W. VALLEY VIEW C. CAREFREE, AZ 85929

architect

SPRY ARCHITECTURE
1500 N. WILSON AVE. PHOENIX, AZ 85016
TEL: (602) 795-5886

scope of calculations

square footages

HOME - COMPLETED 4000 SF
GARAGE 400 SF
CONCRETE PATIO 400 SF
TOTAL FOOTAGE 4800 SF
TOTAL ROOMS 12
TOTAL ROOMS 12
TOTAL ROOMS 12

lot coverage

LOT AREA 10000 SF
LOT COVERED 4800 SF
PERCENT 48%

zoning

RS-20

legal description

LOT 4, COBLENCE AT CARRISSE 4

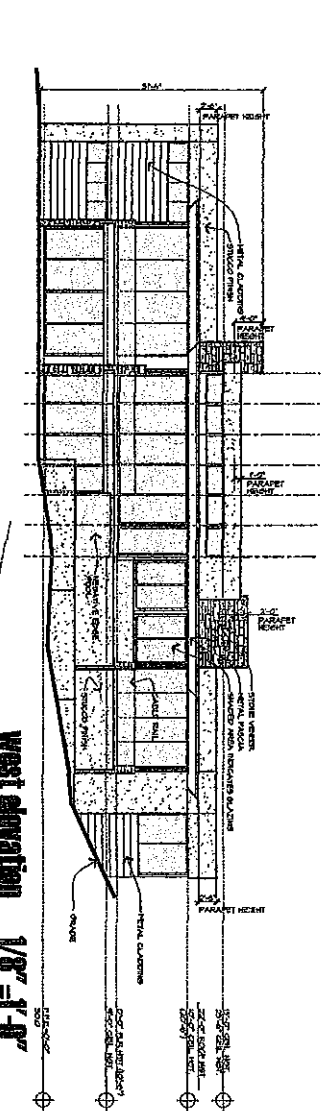
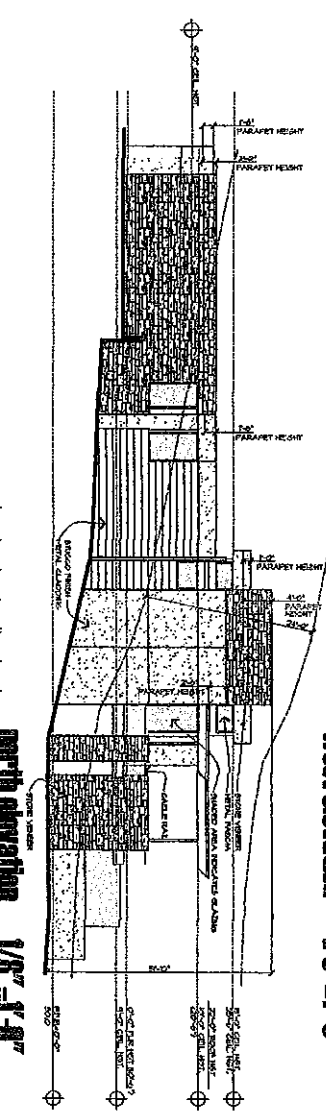
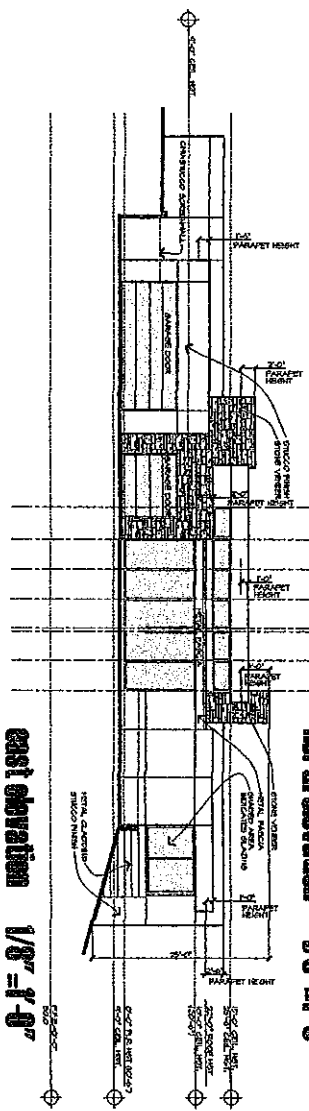
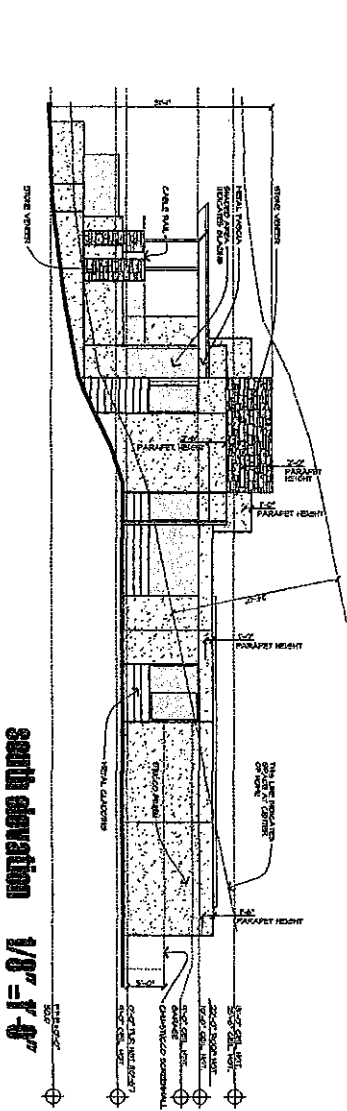
index of drawings

- 1 SITE PLAN
- 2 LOT FLOOR PLAN
- 3 EXTERIOR ELEVATIONS
- 4 INTERIORS
- 5 ROOF PLAN
- 6 LOT GRAD
- 7 REVISIONS
- 8 REVISIONS



site plan 1"=20'-0"
 *SEE EXHIBIT A - EXISTING PLAN AND LUSHING PLAN FOR ADDITIONAL SITE INFORMATION





August 19, 2021

To: Susan and Bill Wintersteen
From: Design Review Committee
On Behalf of the Board of Directors for
Crossings at Carefree III & IV Homeowners Association
Subject: Conditional Approval for Wintersteen's House Design

The Design Review Committee (DRC) and Board of Directors for the Crossings at Carefree III & IV Homeowners Association (Board) conditionally approves the plans and building materials submitted, as of July 14, 2021, for your house design. The conditions for final approval will be reviewed by the DRC and approved the Board with the final submission of construction plans to the Town of Carefree Building Department (Final Submission). These conditions, to be included in the Final Submission, are:

- Approximate time schedule indicating starting and completion dates of construction, utility hook-up, completion of landscape work and anticipated occupancy (CC&R Design Guidelines 3.7.1.a)
- Location of the construction trailer and storage of materials (CC&R Design Guidelines 3.7.1.b)
- Update of the sample board with the new stone veneer and driveway materials; arrangements can be made to get the current sample board back (CC&R Design Guidelines 3.7.1.d)
- Complete exterior lighting plan including exact location direction and lumens of lighting (CC&R Design Guidelines 3.7.1.g.9(i))
 - Landscape Lighting
 - Reduce up-lighting or replace with down directional lighting outside the building envelope; 5 locations, 3 at the end of the driveway and 2 at the bend (CC&R Design Guidelines 2.15; see attached PDF "Wintersteen Lighting Plan Notes 09AUG2021")
 - Reduce from 2 to 1 up-light at the transition curve from the driveway to the parking area.
 - Reduce from 3 to 2 up-lights at the end of the driveway.
 - Per the Town of Carefree "Any all exterior ground lights shall be a minimum of 25 feet away from other ground lights". Make sure that all landscape lighting conforms.
 - House Attached Exterior Lighting
 - To be identified on Landscape Lighting Plan and Landscape Lighting Cut Sheets

Design Review Committee
Crossings at Carefree III & IV Homeowners Association

Peter Gates *Lynn Witcomb* *Matt Abagna*

owner's address

MR. AND MRS. WILLIAM AND SUSAN WINTERSTEEN
2310 SAN SALVADOR PL.
KATTI, TX 77444

project address

7243 E. VALLEY VIEW CR.
CAREFREE, AZ 85937

architect

ERIC SPRY
SPRY ARCHITECTURE
3420 E. SHEA BLVD #200
PHOENIX, AZ 85028 TEL. (602) 410-5112

sf calculations

square footages

HOME - CONDITIONED	4585 SF
UPPER	4100 SF
LOWER	485 SF
COVERED PATIOS	641 SF
GARAGE/STORAGE/MECH	1791 SF
TOTAL UNDER ROOF	7024 SF
TOTAL LOT COVERAGE	6544 SF
ALLOW UNDER ROOF (20% OF LOT)	19,264 SF
PROVIDED LOT COVERAGE	6,544 SF
	6.8%

lot disturbance

ALLOW DISTURBED (60% OF LOT)	57,808 SF
SEPTIC DISTURBED	2,903 SF
UTILITY DISTURBED	0 SF
BUILDING DISTURBED + DRIVEWAY	20,714 SF
TOTAL DISTURBED	23,682 SF
	24.6%
TOTAL LENGTH OF RETAINING WALLS	668 SF

zoning

RI-35

apn

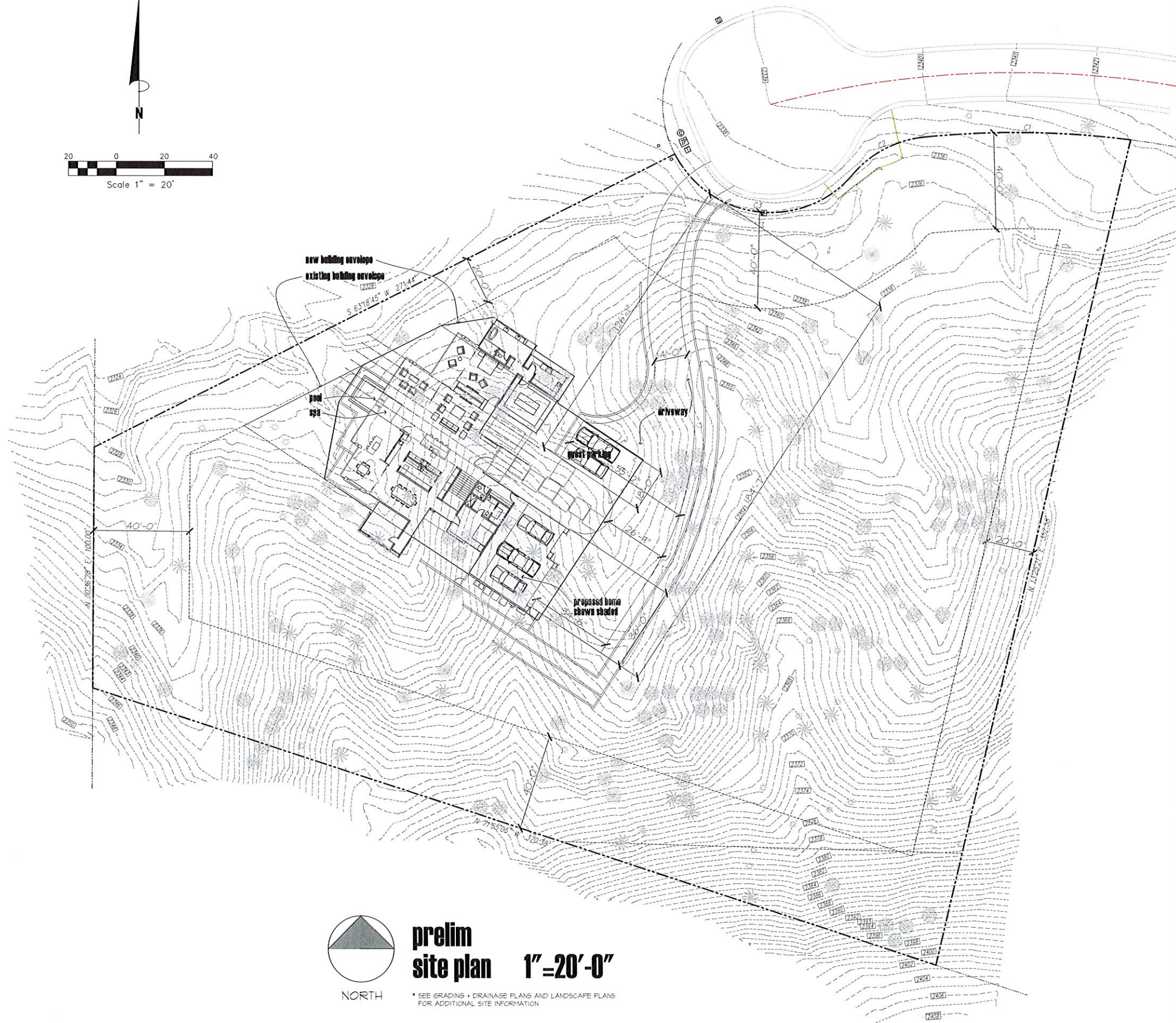
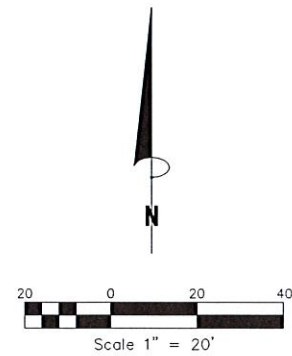
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legal description

LOT 4, CROSSINGS AT CAREFREE 4

index of drawings

C5	COVER SHEET
SURVEY	TOPOGRAPHICAL SURVEY
C1	CIVIL - GRADING AND DRAINAGE
C2	CIVIL - GRADING AND DRAINAGE
C3	CIVIL - GRADING AND DRAINAGE
C4	CIVIL - GRADING AND DRAINAGE
C5	CIVIL - GRADING AND DRAINAGE
1	EXTERIOR ELEVATIONS
2	ROOF PLAN
3	COLOR RENDERINGS
4	COLOR RENDERINGS
5	COLOR RENDERINGS
6	COLOR RENDERINGS
7	COLOR RENDERINGS
NPI	NATIVE PLANT INVENTORY
L-100	LANDSCAPE DESIGN
L-101	LANDSCAPE DESIGN
L-200	LANDSCAPE DESIGN
L-201	LANDSCAPE DESIGN
L-300	LANDSCAPE DESIGN
L-301	LANDSCAPE DESIGN



NORTH

prelim
site plan 1"=20'-0"

* SEE GRADING + DRAINAGE PLANS AND LANDSCAPE PLANS
FOR ADDITIONAL SITE INFORMATION

project
spryarchitecture

602.795.5886 ph 602.410.5112 c
www.sprych.com

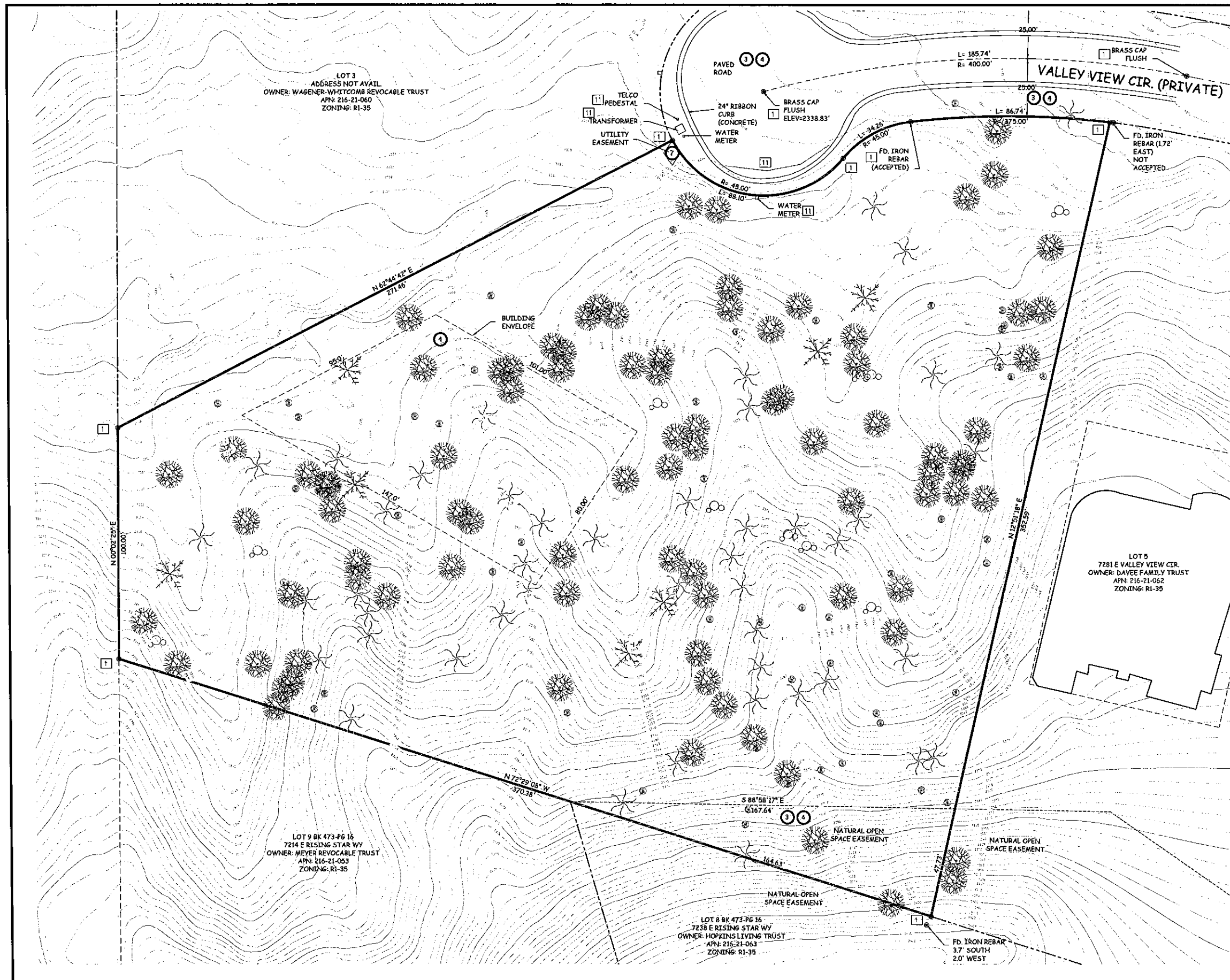
project
wintersteen home
7243 E. Valley View Cr. Carefree, AZ 85377

Expires 12/31/23



2.7.22

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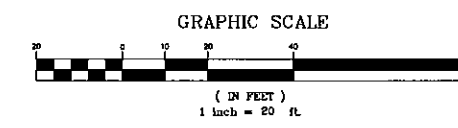


ALTA/NSPS LAND TITLE SURVEY IDENTIFICATION TABLE

1	PROPERTY CORNERS SET
8	SUBSTANTIAL FEATURES OBSERVED
10	WALL OWNERSHIP
11	OBSERVED EVIDENCE OF UTILITIES
16	EVIDENCE OF RECENT EARTH MOVING WORK OR CONSTRUCTION

LEGEND & ABBREVIATIONS

—	PROPERTY LINE	✕	CRUCIFIXION THORN
- - -	EASEMENT	☼	PALO VERDE
—+—	CENTERLINE	✱	OCOTILLO
— — —	ELECTRIC LINE	⊙	SAGUARO
□	- WATER METER	⊙	- BARREL CACTUS
⊙	- SET 1/2" REBAR W/CAP L5 28719 OR AS NOTED		



Western Geomatics Services

2925 E Riggs Rd Suite 8-191
Chandler, AZ 85249
(480) 656-7912 office
(480) 219-5195 fax

SHEET 2 OF 3

GRADING AND DRAINAGE PLAN

7243 E. VALLEY VIEW CIRCLE, CAREFREE, AZ



NOE ENGINEERING
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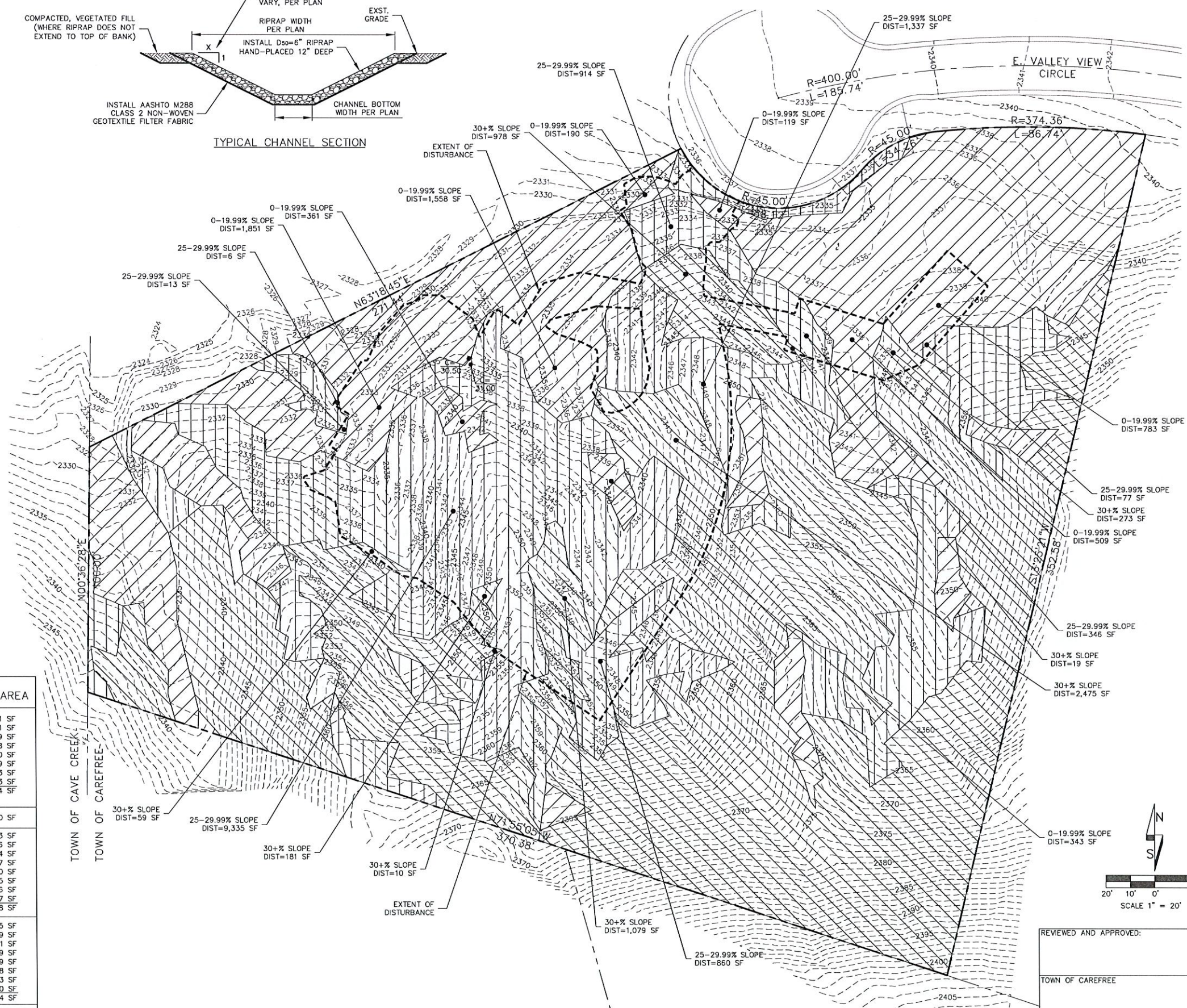
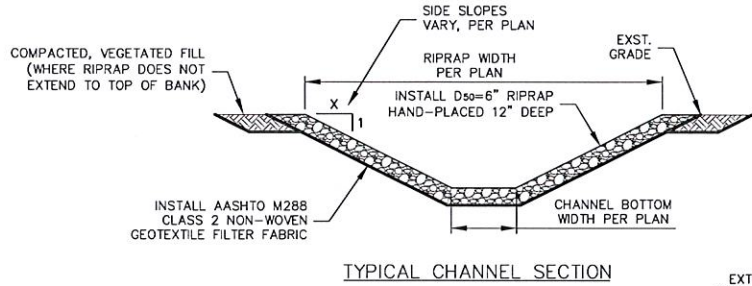
RIPRAP CONSTRUCTION:
 1. MATERIALS FURNISHED FOR RIPRAP SHALL CONFORM TO THE REQUIREMENTS OF SECTION 703.
 2. THE BED FOR THE RIPRAP SHALL BE SHAPED AND TRIMMED TO PROVIDE EVEN SURFACES. A FOOTING TRENCH SHALL BE EXCAVATED ALONG THE TOE OF THE SLOPE AS SHOWN ON THE PLANS. RIPRAP SHOULD BE LAID WITH THE TOP OF THE RIPRAP MATCHING ADJACENT FINISHED GRADE.
 3. WHEN THE REQUIRED RIPRAP IS LESS THAN 20 INCHES IN DEPTH, STONE SHALL BE PLACED BY HAND. STONE SHALL BE PLACED TO PROVIDE A MINIMUM OF VOIDS. THE LARGER STONE SHALL BE PLACED IN THE TOE TRENCH, FOUNDATION COURSE, AND ON THE OUTER SURFACE OF THE RIPRAP. THE FINISHED SURFACE SHALL BE EVEN AND TIGHT AND SHALL NOT VARY FROM THE PLANNED SURFACE BY MORE THAN 3 INCHES PER FOOT OF DEPTH.

BANK AND FOUNDATION PREPARATION:
 CHANNEL BANKS SHOULD BE GRADED TO A UNIFORM SLOPE. ALL BLUNT OR SHARP OBJECTS (SUCH AS ROCKS OR TREE ROOTS) PROTRUDING FROM THE GRADED SURFACE SHOULD BE REMOVED. LARGE BOULDERS NEAR THE OUTER EDGE OF THE TOE AND APRON SHOULD BE REMOVED.

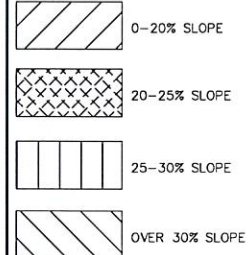
RIPRAP GRADATION AND STONE SHAPE:
 THE GRADATION OF ROCK RIPRAP SHOULD FOLLOW A SMOOTH CURVE. THE RATIO OF THE LARGEST SIZE ROCK TO D50 SHOULD BE ABOUT TWO, AND THE RATIO OF D20 TO D50 SHOULD BE ABOUT ONE-HALF. THE STONE SHOULD BE HARD, DENSE AND DURABLE AND SHOULD BE RESISTANT TO WEATHERING AND FRACTURING.

THE SHAPE OF THE RIPRAP STONE SHOULD BE "ANGULAR" OR "BLOCKY," RATHER THAN ELONGATED. MORE NEARLY CUBIC STONES "NEST" TOGETHER, AND ARE MORE RESISTANT TO MOVEMENT. ALSO, STONES WITH SHARP, CLEAN EDGES AND RELATIVELY FLAT FACES WILL FORM A RIPRAP MASS HAVING AN ANGLE OF INTERNAL FRICTION GREATER THAN ROUNDED STONES, AND THEREFORE WILL BE LESS SUSCEPTIBLE TO SLOPE FAILURES. THE FOLLOWING SHAPE SPECIFICATIONS ARE SUGGESTED FOR RIPRAP OBTAINED FROM QUARRY OPERATIONS:
 1. THE STONE SHALL BE PREDOMINANTLY ANGULAR IN SHAPE. WHERE ANGULAR STONE IS NOT AVAILABLE, SIDE SLOPES SHOULD BE NO STEEPER THAN 3H:1V.
 2. NOT MORE THAN 25 PERCENT OF THE STONES REASONABLY DISTRIBUTED THROUGHOUT THE GRADATION SHALL HAVE A LENGTH MORE THAN 2.5 TIMES THE BREADTH OR THICKNESS.
 3. NO STONE SHALL HAVE A LENGTH EXCEEDING 3.0 TIMES ITS BREADTH OR THICKNESS.

RIPRAP FILTER FABRIC:
 A. THE FILTER FABRIC FOR USE UNDER RIPRAP SHALL BE MONOFILAMENT, POLYPROPYLENE NON-WOVEN FABRIC MEETING THE SPECIFICATIONS AS ESTABLISHED BY TASK FORCE 25 FOR THE FEDERAL HIGHWAY ADMINISTRATION. THE FILTER FABRIC SHALL HAVE AN APPARENT OPENING SIZE (AOS) OF 70 U.S. STANDARD SIEVE.
 B. THE TOTAL PERCENT OPEN AREA OF FILTER IS LESS THAN 10 PERCENT.
 C. FILTER FABRIC UNDER RIPRAP SHALL BE AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE.
 D. THE FILTER FABRIC SPECIFIED ON THE PLANS SHALL BE PLACED ON THE SIDES AND BOTTOM(S) OF THE SOIL TRENCH(ES) SO THAT THE FILTER FABRIC WILL BE BETWEEN THE SOIL AND THE RIPRAP.



LEGEND:
 NOT ALL ITEMS ARE SHOWN ON THE PLANS
 --- 2260 --- EXISTING 5' CONTOUR
 --- 2259 --- EXISTING CONTOUR
 - - - - - PROPERTY LINE
 - - - - - ROAD CENTERLINE
 - - - - - EXTENT OF DISTURBANCE



SLOPE DESCRIPTION	AREA	DISTURBED AREA
0-19.99%	3,349 SF	1,851 SF 361 SF 509 SF 1,558 SF 190 SF 119 SF 783 SF 343 SF SUBTOTAL: 5,714 SF
20%-24.99%	0 SF	0 SF
25%-29.99%	28,841 SF	13 SF 6 SF 914 SF 1,337 SF 860 SF 9,335 SF 346 SF 77 SF SUBTOTAL: 12,888 SF
30% AND GREATER	41,564 SF	2,475 SF 1,079 SF 181 SF 59 SF 19 SF 978 SF 273 SF 10 SF SUBTOTAL: 5,074 SF
TOTAL:	96,347 SF	23,676 SF

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02-10-22 TOWN OF CAREFREE APPROVAL
 REV DATE ISSUED FOR

Job No: 2020-1007
 Scale: 1"=20'
 Engineer: D. NOE
 Designer: C. DEAN
 Checked By: [Signature]
 Expires: 9/30/24

Client/Project
WINTERSTEEN RESIDENCE
 7243 E. VALLEY VIEW CIR
 CAREFREE, AZ 85377

SLOPE ANALYSIS AND DETAILS

REVIEWED AND APPROVED:
 TOWN OF CAREFREE
 DATE:

Drawing No.
C-5

CASE #20-16-MS 7243 E. VALLEY VIEW CIRCLE

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GRADING AND DRAINAGE PLAN

7243 E. VALLEY VIEW CIRCLE, CAREFREE, AZ



SITE KEY NOTES, cont'd:

- 29 RETAINING WALL FOR LOWER FLOOR PER ARCHITECT'S PLAN.
- 30 BUILDING WALL FOR UPPER FLOOR.
- 31 INSTALL RETAINING WALLS WITHIN THE EROSION SETBACK TO BE CONSTRUCTED 3' BELOW WASH TOE FOR EROSION CONTROL. DEPTH AND FOOTING PER PLAN. WALL DETAIL PER ARCHITECT'S PLAN.

NOENGINEERING
706 E. Bell Road
Suite 108
Phoenix, AZ 85022
Tel. (602) 368-8489
Fax (602) 368-8389

SITE KEY NOTES:

- 1 INSTALL PAVER DRIVEWAY TO EXISTING ROADWAY. MATCH EXISTING GRADE AND GRADE PER PLAN.
 - 2 INSTALL SEPTIC SYSTEM PER SEPARATE PERMIT.
 - 3 EXST. CONCRETE RIBBON CURB.
 - 4 EXST. PAVED ROAD.
 - 5 EXST. WATER METER.
 - 6 INSTALL DOMESTIC WATER LINE.
 - 7 INSTALL CATV, ELECTRIC, PHONE LINES.
 - 8 INSTALL 8" CMU BLOCK RETAINING WALL; HEIGHT AND LENGTH PER PLAN. DETAIL SHOWN ON SHEET C-4. LENGTH ON SHEET C-2.
 - 9 CONSTRUCT SWALE FOR DRAINAGE; GRADE PER PLAN.
 - 10 PARKING AREA, GRADE PER PLAN.
 - 11 INSTALL (3) 24" CMP CULVERTS WITH A MODIFIED HEADWALL PER MAG STD. DETAIL 501-1. INVERT, LENGTH AND HEIGHT PER PLAN.
 - 12 POOL PER POOL PLANS.
 - 13 OUTDOOR SITTING AREA.
 - 14 SPA PER POOL PLANS.
 - 15 TOP OF NEW CUT SLOPE.
 - 16 EXST. HIGH WATER ELEVATION PER HEC-RAS MODEL.
 - 17 NEW HIGH WATER ELEVATION PER HEC-RAS MODEL.
 - 18 EXST. TELEPHONE RISER.
 - 19 EXST. ELECTRIC TRANSFORMER.
 - 20 EXST. CATV RISER.
 - 21 INSTALL D50=6" RIPRAP HAND PLACED 12" DEEP OVER AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE FILTER FABRIC FOR EROSION PROTECTION. RIPRAP AND FILTER INSTALLATION NOTES SHOWN ON SHEET C-4. AREA PER PLAN.
 - 22 TOE OF NEW FILL SLOPE.
 - 23 STEM WALL PER ARCHITECT'S PLAN.
 - 24 LANDSCAPE PER ARCHITECT'S PLAN.
 - 25 TOP OF NEGATIVE EDGE TROUGH.
 - 26 EDGE OF ROOF OVERHANG.
 - 27 LANDSCAPE PLANTER PER ARCHITECT'S PLAN.
 - 28 STONE BUILDING WALL PER ARCHITECT'S PLAN.
- ** SITE KEY NOTES CONTINUED ABOVE LEFT

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02-10-22 TOWN OF CAREFREE APPROVAL
REV DATE ISSUED FOR

Job No: 2020-1007

Scale: 1"=10'

Engineer: D. NOE

Designer: C. DEAN

Checked By: *[Signature]*



Client/Project

WINTERSTEEN RESIDENCE
7243 E. VALLEY VIEW CIR
CAREFREE, AZ 85377

GRADING AND DRAINAGE PLAN
SCALE 1"=10'

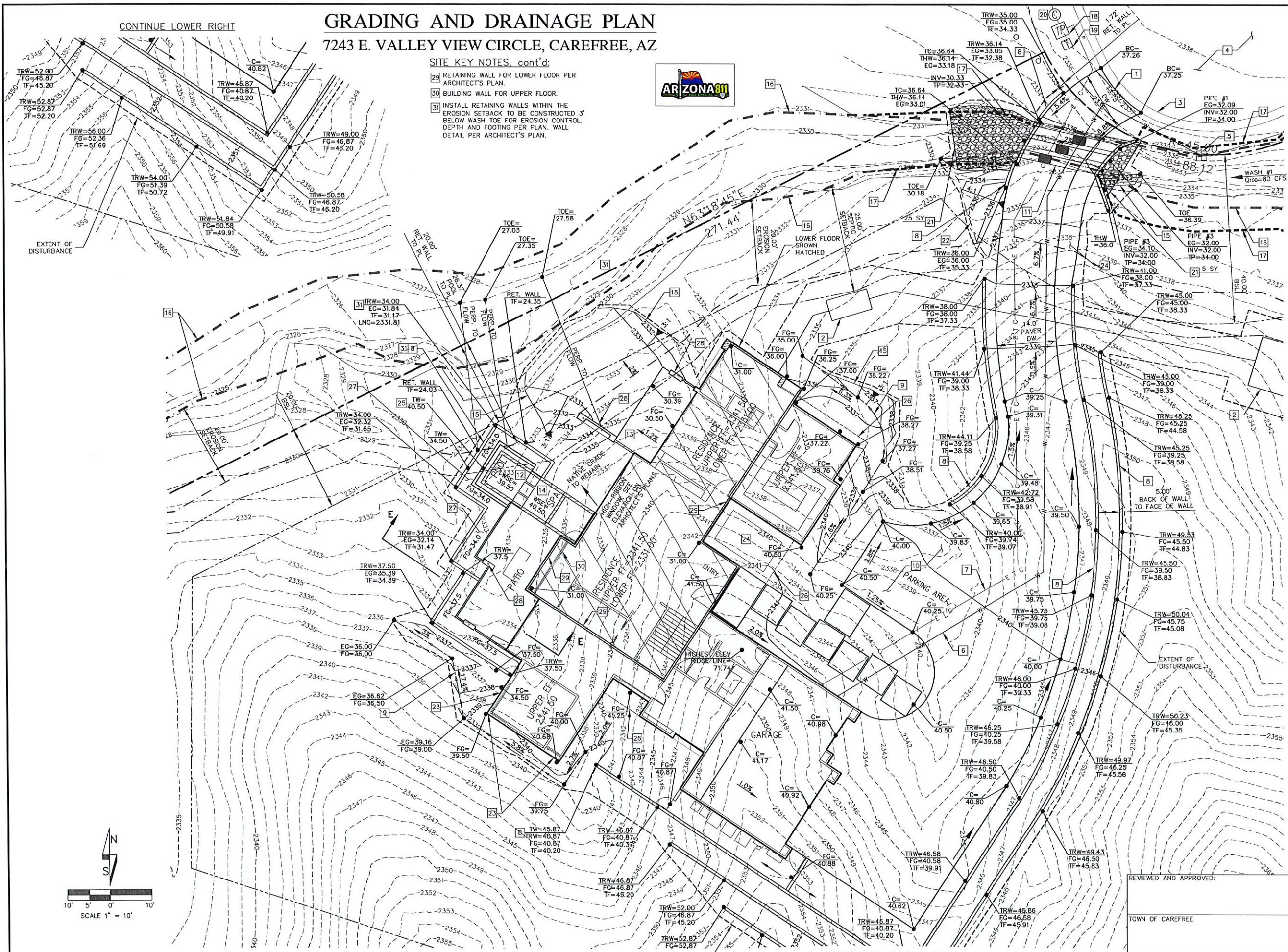
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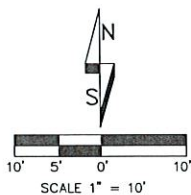
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CASE #20-16-MS 7243 E. VALLEY VIEW CIRCLE

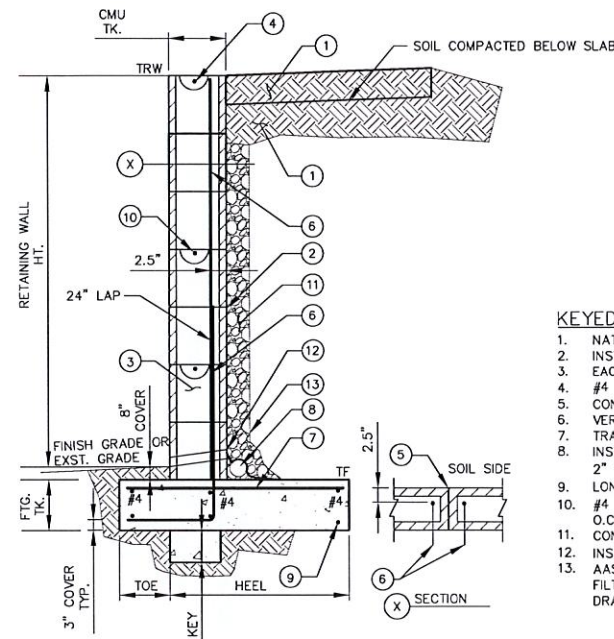
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GRADING AND DRAINAGE PLAN

7243 E. VALLEY VIEW CIRCLE, CAREFREE, AZ



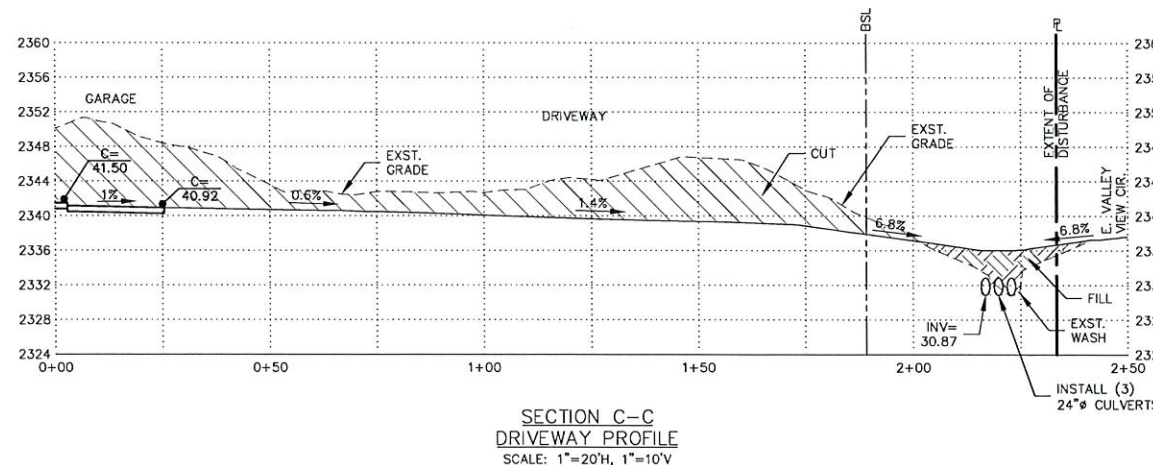
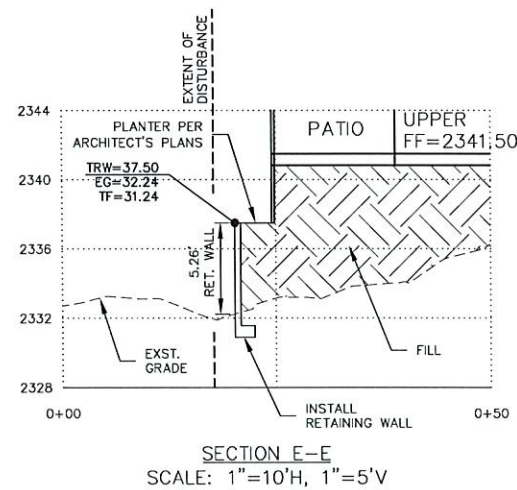
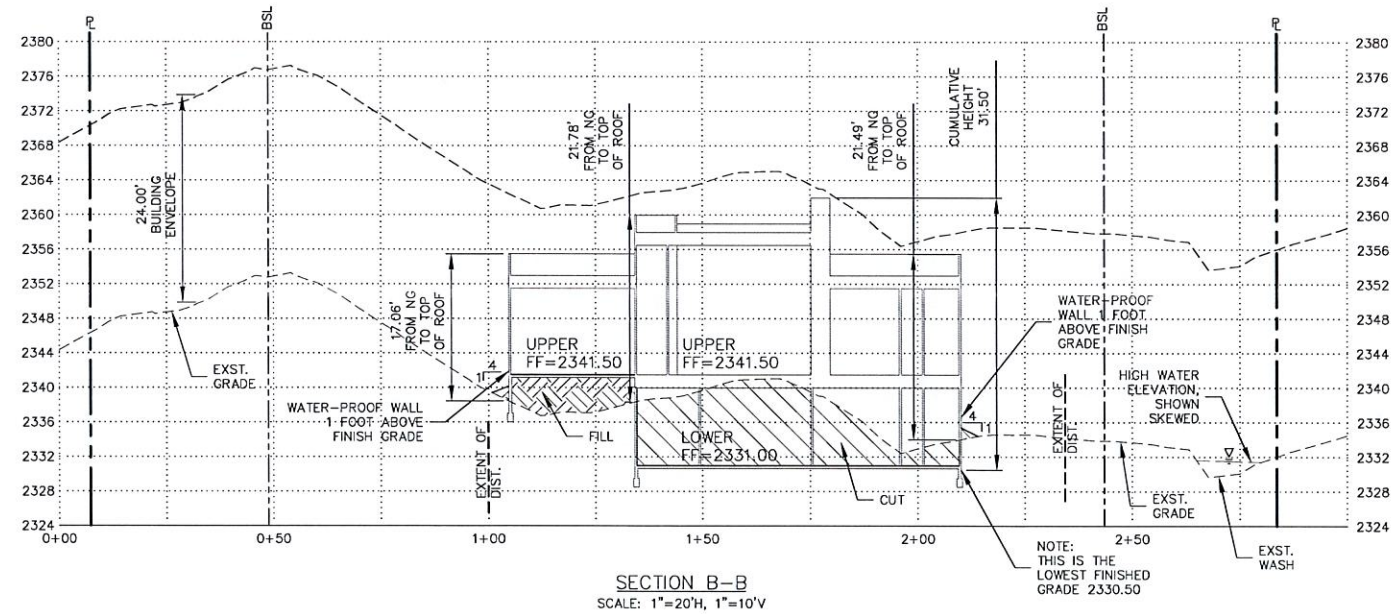
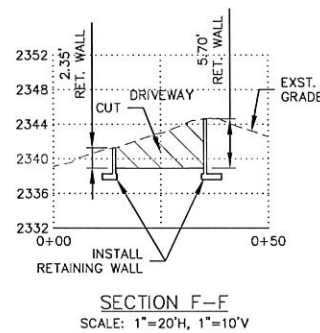
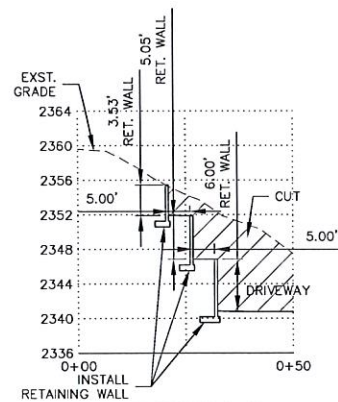
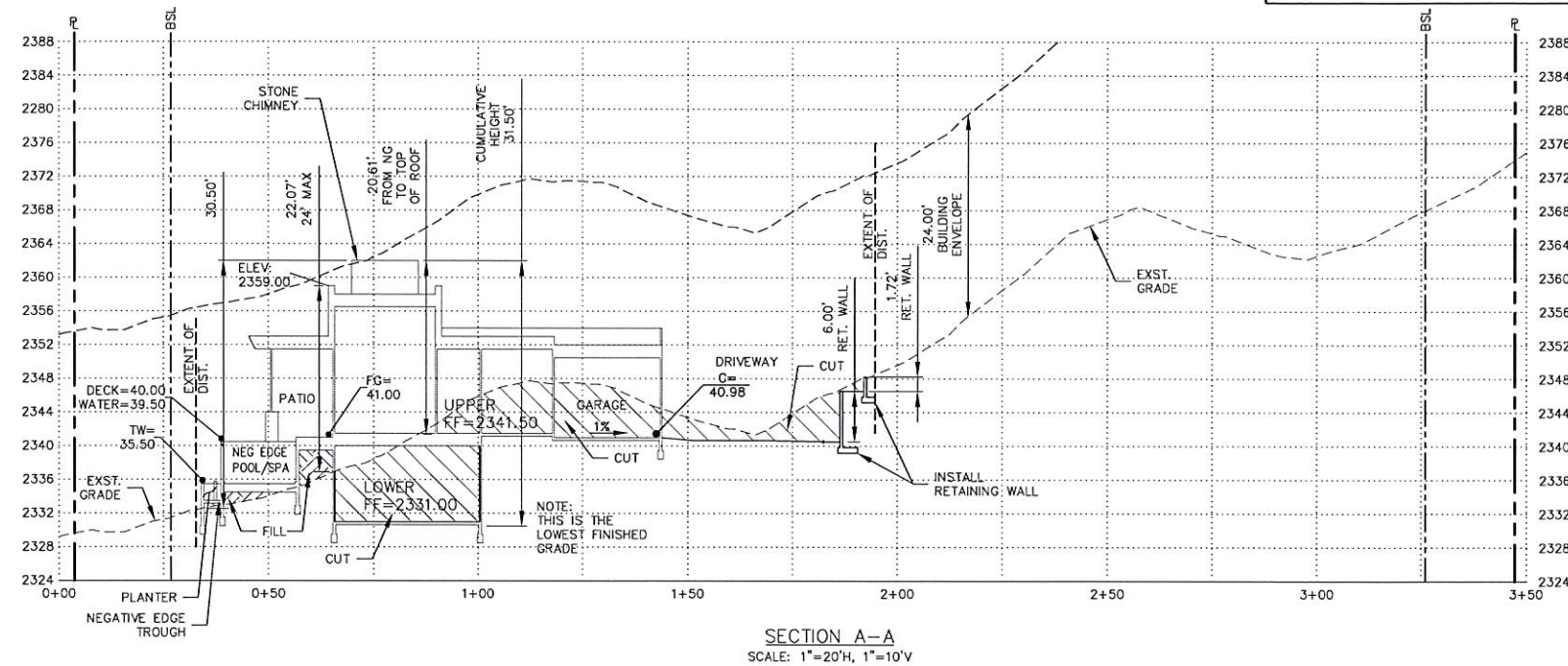
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 Suite 108
 Phoenix, AZ 85022
 Tel. (602) 368-8489
 Fax (602) 368-8389



- KEYED NOTES:**
1. NATIVE MATERIAL/HILLSIDE/SLAB ABOVE
 2. INSTALL WATERPROOFING ON BACK SIDE OF WALL
 3. EACH CELL CONTAINING REBAR IS FULLY GROUTED
 4. #4 CONT. BETWEEN JOINTS FOR BOND BEAM
 5. CONTROL JOINT AT 20'-0" MAX O.C.
 6. VERT. REBAR IN GROUTED CELL PER TABLE
 7. TRANSVERSE REBAR IN CONC. FTG PER TABLE
 8. INSTALL DRAIN TILE IN BACKFILL FOR DRAINAGE WITH 2" WEEP HOLES AT 20' O.C.
 9. LONGITUDINAL REBAR 24" O.C. TOP AND BOTTOM
 10. #4 HORIZONTAL AT 32" O.C. OR #9 GA. WIRE AT 16" O.C. HORIZONTAL
 11. CONTINUOUS GRAVEL BEHIND WALL FOR DRAINAGE
 12. INSTALL 2" WEEPHOLES AT 20' O.C.
 13. AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE FILTER FABRIC OR APPROVED EQUAL PLACED OVER DRAIN TO PREVENT SILT INFILTRATION.

RET. WALL HEIGHT	CONCRETE FOOTING					CMU WALL			f'm	SPECIAL INSP. REQ'D?
	HEEL	TOE	KEY	TRANSVERSE	TK. LONG.	TK. VERT.	HORIZ.			
2.0'	1.67'	0.0'	0'	#4 @ 32" O.C.	10" #4 @ 24" O.C.	8"	#4 @ 32" O.C.	#4 @ 32" O.C.	1800 psi	NO
4.0'	2.5'	0.33'	0'	#4 @ 32" O.C.	10" #4 @ 24" O.C.	8"	#4 @ 32" O.C.	#4 @ 32" O.C.	1800 psi	NO
6.0'	3.75'	0.50'	0'	#4 @ 16" O.C.	10" #4 @ 24" O.C.	8"	#5 @ 16" O.C.	#4 @ 32" O.C.	1800 psi	NO

RETAINING WALL DETAILS



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02-10-22 TOWN OF CAREFREE APPROVAL
 REV DATE ISSUED FOR

Job No: 2020-1007
 Scale: AS NOTED
 Engineer: D. NOE
 Designer: C. DEAN
 Checked By: [Signature]



Client/Project
WINTERSTEEN RESIDENCE
 7243 E. VALLEY VIEW CIR
 CAREFREE, AZ 85377

CROSS-SECTIONS AND DETAILS

REVIEWED AND APPROVED:

TOWN OF CAREFREE

DATE:

Drawing No.

C-4

CASE #20-16-MS 7243 E. VALLEY VIEW CIRCLE

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PLANT SCHEDULE

SYM.	BOTANICAL NAME COMMON NAME	SIZE BRANCHING	CALIPER HT & W	QTY
	Existing Tree Salvage & Relocate Refer to NPI for Tree #	VARIES	VARIES	
	Existing Tree Preserve In Place Refer to NPI for Tree #	VARIES	VARIES	
	<i>Parkinsonia microphylla</i> Foothills Palo Verde	24" BOX	6' HT X 3.5' W	4
	<i>Prosopis velutina</i> Velvet Mesquite	24" BOX	6' HT X 3.5' W	2

SHRUBS, ACCENTS, GROUNDCOVER, VINES

	Existing Cacti Salvage & Relocate	VARIES		
	Existing Cacti Preserve In Place	VARIES		
	<i>Agave geminiflora</i> Twin-flower agave	5 GALLON		15
	<i>Agave americana</i> Century Plant	5 GALLON		11
	<i>Agave murpheyi</i> Murphy's Agave	5 GALLON		9
	<i>Aloe x 'Blue Elf'</i> Blue Elf Aloe	5 GALLON		30
	<i>Ambrosia deltoidea</i> Triangle-Leaf Bursage	5 GALLON		27
	<i>Asclepias subulata</i> Desert Milkweed	5 GALLON		11
	<i>Calliandra eriophylla</i> Pink Fairy Duster	5 GALLON		16
	<i>Balyea multiradiata</i> Desert Marigold	5 GALLON		26
	<i>Cylindropuntia acanthocarpa</i> Buckhorn Cholla	5 GALLON		17
	<i>Dalea greggii</i> Trailing Indigo Bush	5 GALLON		13
	<i>Echinocactus grusonii</i> Golden Barrel Cactus	5 GALLON		4
	<i>Encelia farinosa</i> Brittlebush	5 GALLON		38
	<i>Dasyliion texanum</i> Green Desert Spoon	15 GALLON		3
	<i>Ferocactus wislizeni</i> Arizona Barrel Cactus	5 GALLON		11
	<i>Hesperaloe parviflora</i> 'Breaklights' Red Yucca	5 GALLON		39
	<i>Larrea tridentata</i> Creosote	5 GALLON		7
	<i>Ruellia brittoniana</i> 'Blanca' White Dwarf Ruellia	5 GALLON		37
	<i>Yucca rostrata</i> Beaked Yucca	24" BOX		3
	<i>Opuntia engelmannii</i> Engelmann's Prickly Pear	5 GALLON		6
	<i>Portulacaria afra</i> Elephant's Food	5 GALLON		11

NOTE: REFER TO NATIVE PLANT INVENTORY (NPI) PLAN FOR TAG NUMBERS. CONTRACTOR TO SALVAGE ALL SMALL CACTI FOUND ON SITE AND STOCKPILE IN SALVAGE NURSERY SHOWN ON NPI PLAN. FIELD LOCATE ALL SALVAGED SMALL CACTI.

TOPDRESS LEGEND

SYM.	MATERIAL	TYPE/FINISH	QTY
	Desert Pavement Topdress 1. Randomly scatter Desert Pavement rock to mimic existing conditions, Approx 4" Depth. 2. Randomly distribute Salvaged Top Soil over rock, bury up to 1/2 the depth of rock.	4" Minus 'Desert Pavement' DG Color: To Match Site	13600 SF
	RipRap	4"-6" Color: To Match Site	470 SF

- Prior to the start of grading the top 4" of top soil including rock/stone will be salvaged from all areas to be disturbed by construction. The Salvaged Topsoil shall be stockpiled and protected during construction. Following grading and planting the Salvaged Topsoil will be randomly scattered in all landscape areas to match undisturbed areas of the site.
- Desert Pavement Topdress shall be used in all landscape areas unless otherwise noted.

BOULDER SCHEDULE

SYM.	SIZE W X H X L	QTY
	1'-2' x 1'-2' x 2'-3'	17
	2'-3' x 2'-3' x 4'-5'	2

1. Salvage all boulders disturbed by construction and stockpile on site. Field locate boulders and match size according to dimensions shown in Boulder Schedule.

LANDSCAPE DESIGNER
EIGHTY-EIGHT ACRES
LLC
CONTACT: KAYLEE COLTER
PHONE: 480-525-7900
EMAIL: kaylee@eighty8acres.com

WINTERSTEEN HOME
7243 E. VALLEY VIEW CR
CAREFREE, AZ 85377

Client:
ERIC SPRY
SPRY ARCHITECTURE
602-795-5886
WWW.SPRYARCH.COM

Issue Date

- DEC 2, 2020
- MAR 16, 2021
- APR 09, 2021
- MAY 27, 2021
- SEP 15, 2021
- NOV 23, 2021
- FEB 07, 2022

Sheet Title
LANDSCAPE MASTER
PLAN

Sheet Number

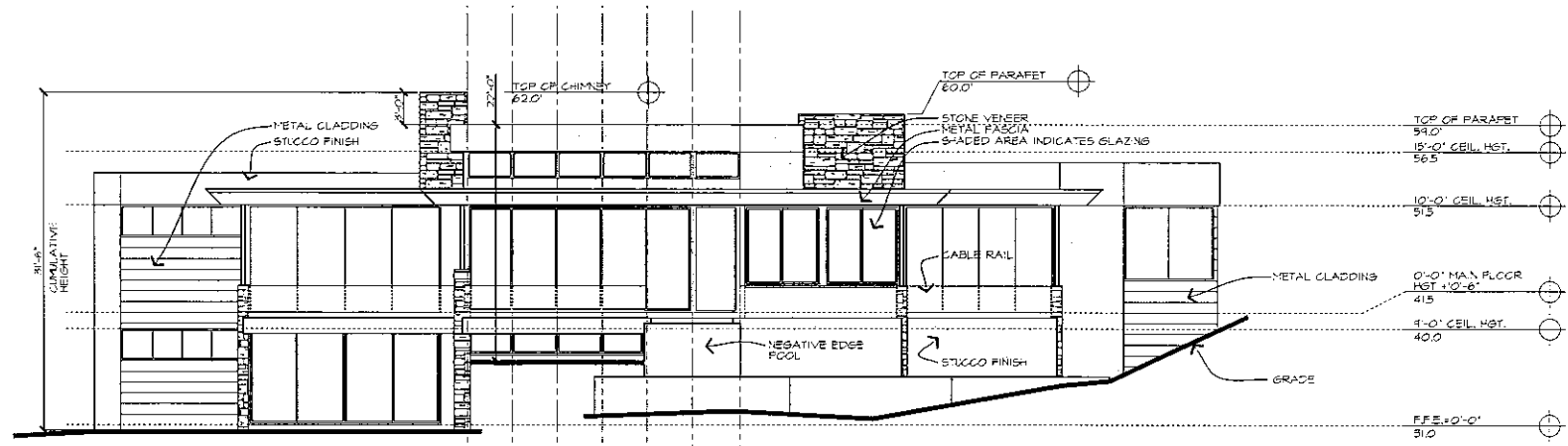
NOTES
1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY QUANTITIES INCLUDING TREES, SHRUBS, GROUNDCOVERS, DECOMPOSED GRANITE, MULCH & OTHER ITEMS SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE DESIGNER PRIOR TO CONSTRUCTION OF MAJOR DISCREPANCIES. IN CASE OF A DISCREPANCY BETWEEN THE NUMBER OF PLANTS INDICATED ON THE PLANT LIST THE DRAWINGS SHALL BE ACCEPTED AS CORRECT.

2. ALL LANDSCAPE AND IRRIGATION MATERIALS & INSTALLATION SHALL COMPLY WITH SECTIONS 424, 425, 430, 757 AND 795 OF THE MAG SPECIFICATIONS.
3. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY COVER, BOXES, LIDS & MANHOLES IN AN EXPOSED CONDITION.
4. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN & BY THE ARIZONA NURSERY ASSOCIATION RECOMMENDED TREE SPECIFICATIONS. BOX SIZES ARE

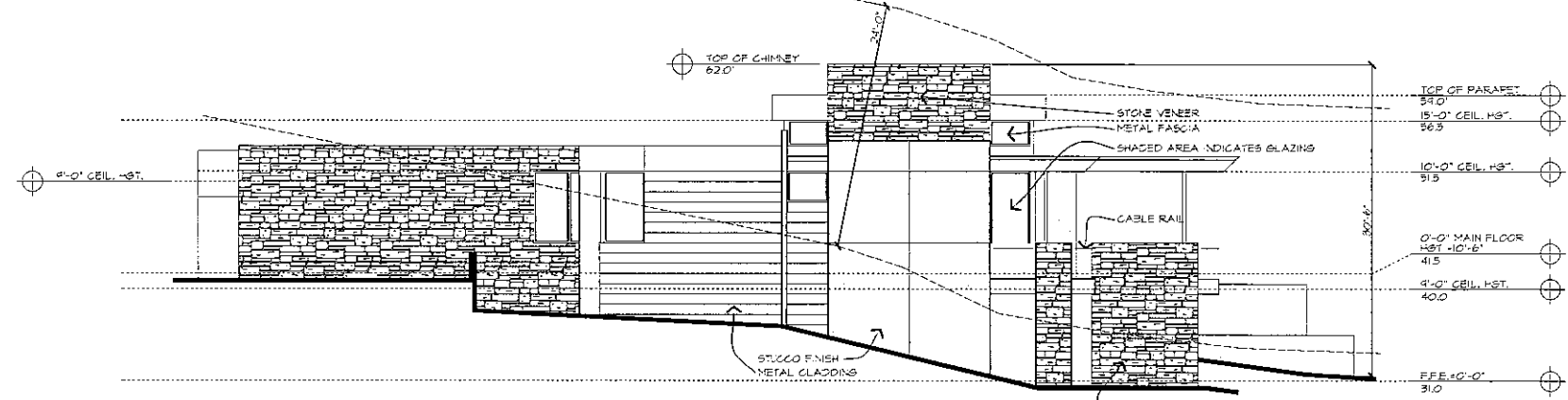
5. THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE.
6. SUBSTITUTIONS SHALL NOT BE ALLOWED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE DESIGNER.
7. LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES & OTHER OBSTRUCTIONS.
8. THE CONTRACTOR SHALL REQUEST INSPECTION OF PLANT LAYOUT IN THE FIELD BY THE LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS IN ADVANCE FOR APPROVAL UNLESS OTHERWISE AGREED UPON.
9. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT SHRUBS & CONTAINER TREES FOR CONDITIONS OF ROOTBALLS. THE CONTRACTOR SHALL REQUEST INSPECTION 24 HOURS IN ADVANCE OF PLANTING. UPON SUCH INSPECTIONS IF THE ROOTBALL CONDITION IS UNACCEPTABLE THE CONTRACTOR SHALL SUPPLY REPLACEMENT PLANTS AT NO COST.
10. WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN WITHIN A 24 HOUR PERIOD, REFER TO HARDPAN DETAIL.
11. ALL TOP SOIL MIXTURES FOR PLANTS SHALL BE FREE OF GRASS AND NOXIOUS WEEDS. SEE SECTION 795 OF THE

12. PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS OR BECAUSE OF GRADE LIMITATIONS ON SITE.
13. SHRUBS AND GROUNDCOVER SHALL BE PLANTED A MINIMUM OF 3' AWAY FROM THE EDGE OF WALKS, WALLS, BUILDINGS AND CURBS UNLESS OTHERWISE DIRECTED BY LANDSCAPE DESIGNER.
14. MAINTAIN 5' CLEARANCE OF CACTI FROM ALL PEDESTRIAN ROUTES UNLESS OTHERWISE DIRECTED BY LANDSCAPE DESIGNER.
15. ALL EXISTING WEEDS SHALL BE REMOVED MECHANICALLY OR THROUGH THE APPLICATION OF WEED KILLER SUCH AS 'ROUND-UP' PER MANUFACTURER'S RECOMMENDATIONS.
16. LANDSCAPE AREAS NOT OTHERWISE COVERED BY TURF, PAVING OR BUILDING SHALL BE DECOMPOSED GRANITE - 2" DEPTH UNLESS OTHERWISE NOTED. LANDSCAPE CONTRACTOR TO SUBMIT A QUANTITY OF TWO 5LBS SAMPLE BAGS OF DECOMPOSED GRANITE TO LANDSCAPE DESIGNER FOR APPROVAL.
17. ALL REVEGETATED PLANTING AREAS AND ANY DISTURBED AREAS SHALL RECEIVE A FINE GRADE OF

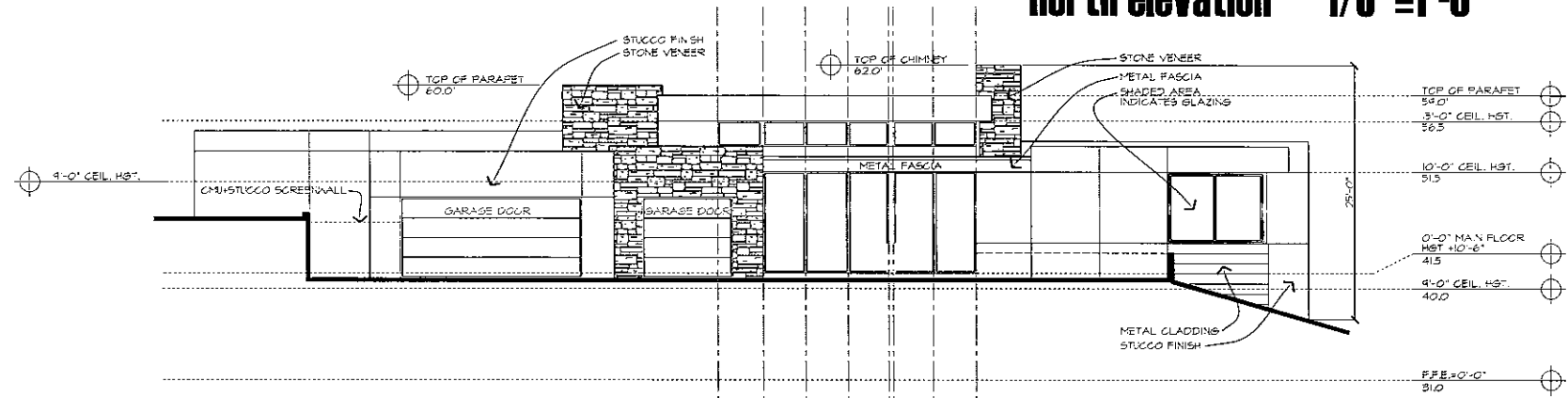
DESERT PAVEMENT' ADJACENT TO THE PROJECT - REFER TO PLANTING DETAILS. FINAL PRODUCT SHALL BE APPROVED BY THE LANDSCAPE DESIGNER.
18. TOP DRESSING, DECOMPOSED GRANITE AND/OR DESERT PAVEMENT SHALL EXTEND UNDER SHRUBS UNLESS OTHERWISE NOTED ON THE PLANS.
19. FINISH GRADE IN ALL AREAS SHALL BE SMOOTH, EVEN AND 1/2" BELOW TOP OF CURBS, PAVING AND ADJACENT WALKS UNLESS OTHERWISE NOTED ON THE PLANS.
20. NEW LANDSCAPING, SALVAGED PLANT MATERIAL AND LANDSCAPING INDICATED TO REMAIN WHICH IS DESTROYED, DAMAGED OR EXPIRES DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE SIZE, KIND AND QUANTITY PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY AND LETTER OF ACCEPTANCE TO THE SATISFACTION OF THE LANDSCAPE DESIGNER.
21. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON THE IRRIGATION SYSTEM, A ONE YEAR WARRANTY ON ALL TREES, CACTI, OCOTILLOS AND 15 GALLON PLANT MATERIAL AND A NINETY DAY WARRANTY ON ALL REMAINING PLANT MATERIAL.



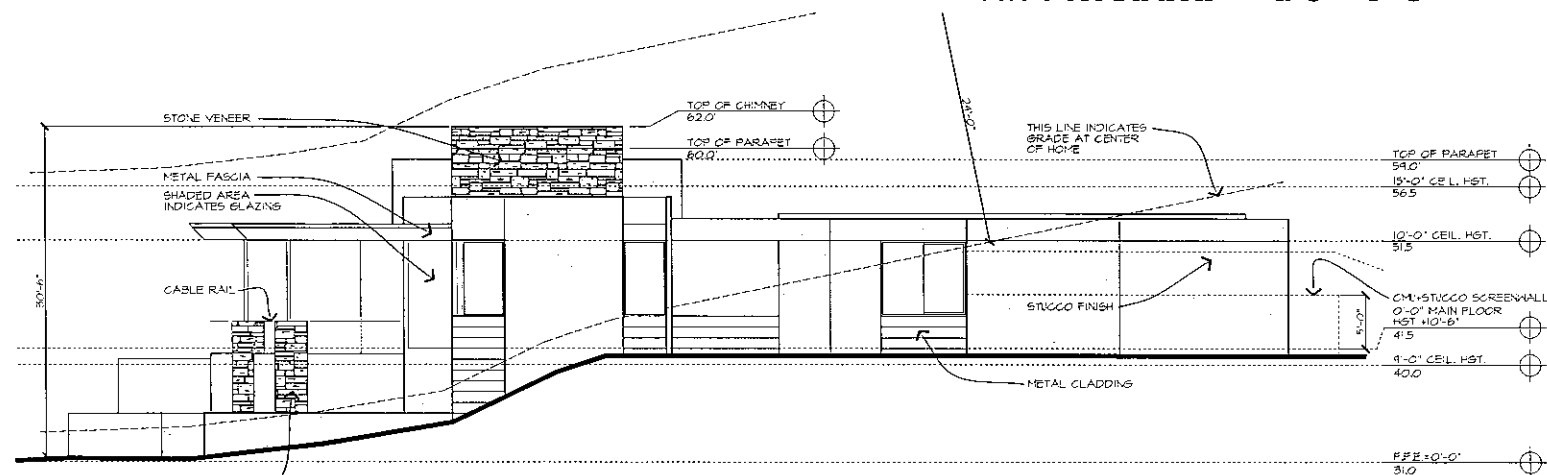
west elevation 1/8" = 1'-0"



north elevation 1/8" = 1'-0"



east elevation 1/8" = 1'-0"



south elevation 1/8" = 1'-0"

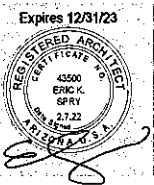
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2.7.22

1

from the east



from the east - elevated



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from the north



from the north - elevated



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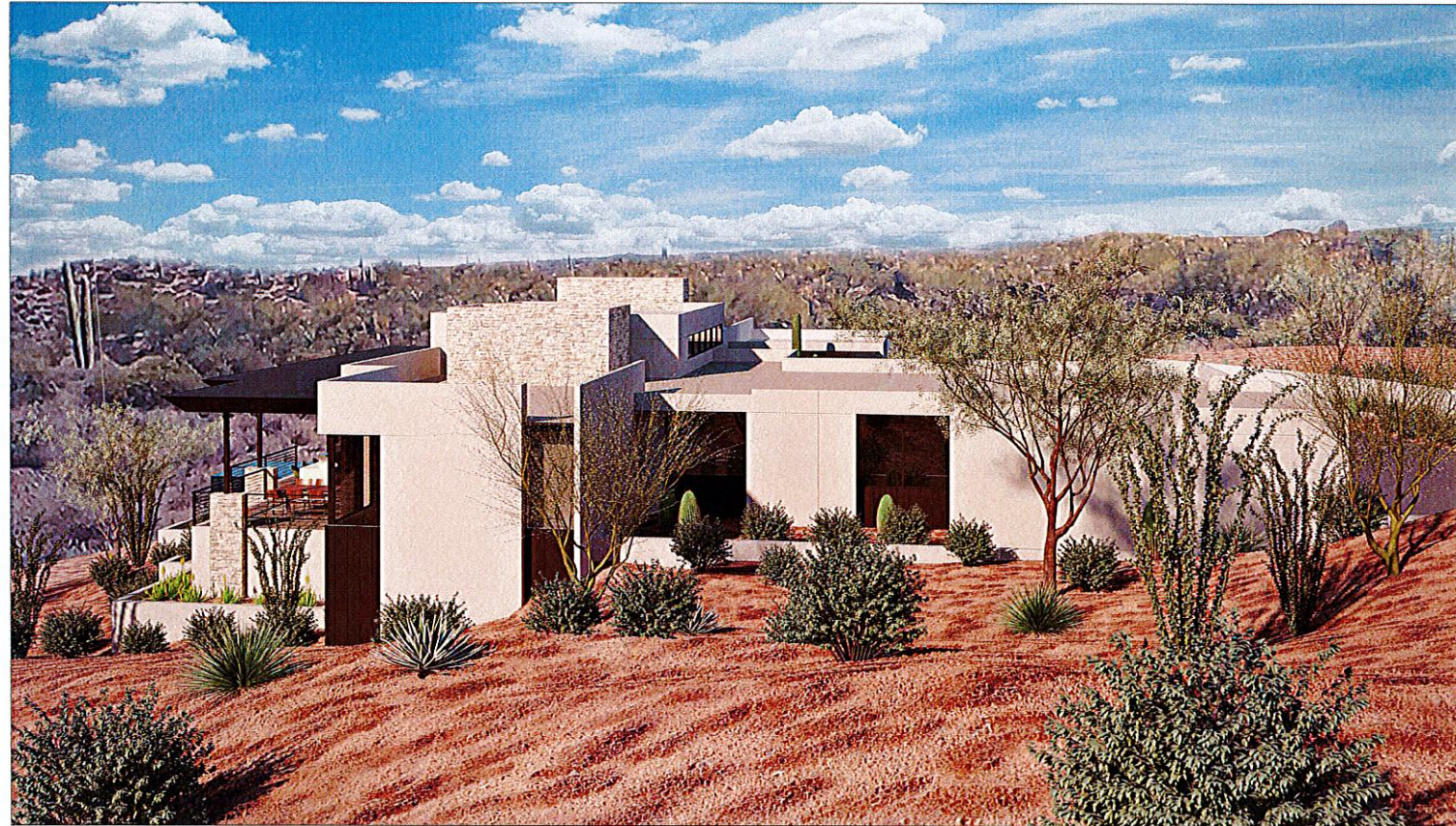
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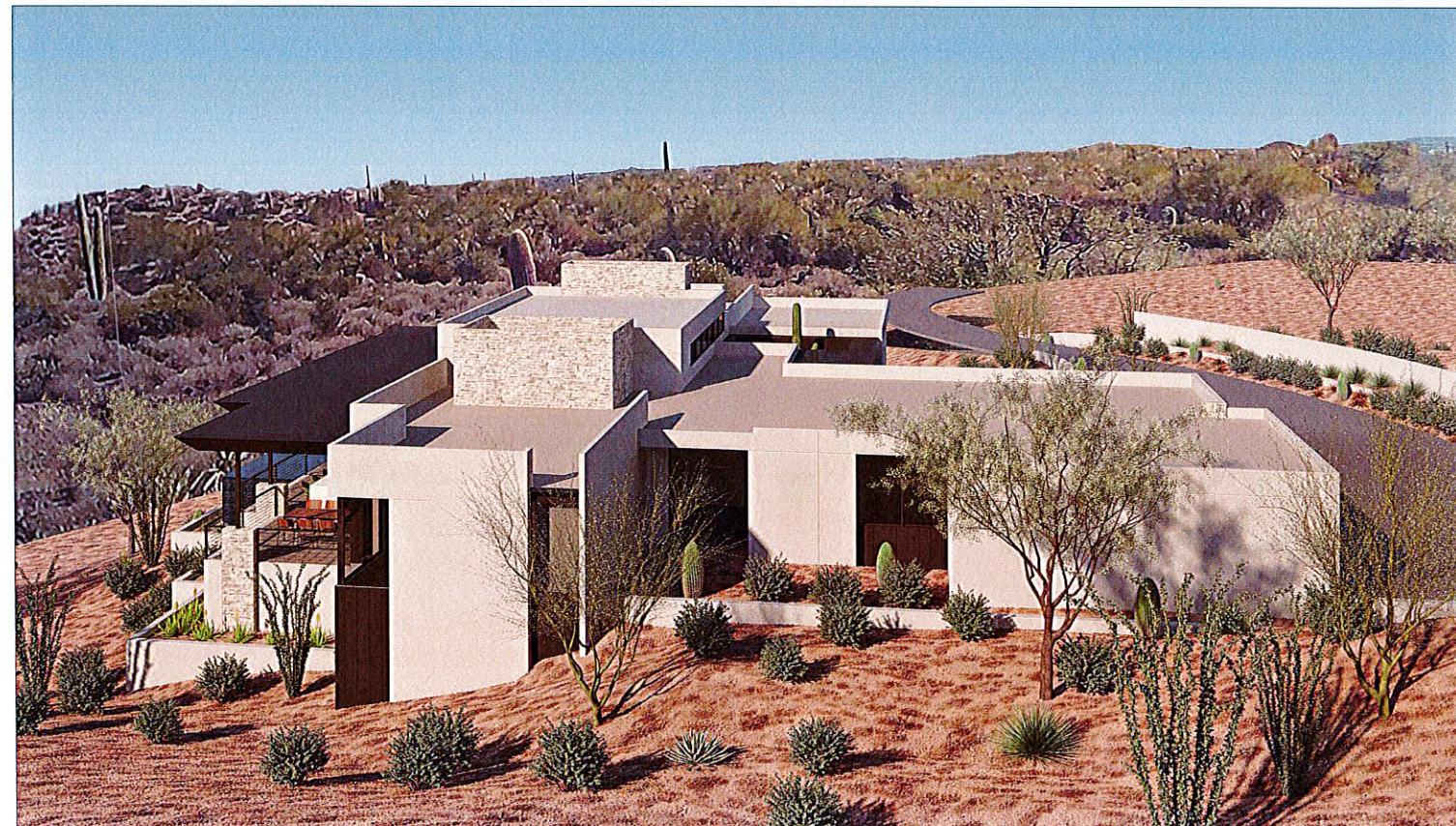
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from the south



from the south - elevated



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from the west



from the west - elevated



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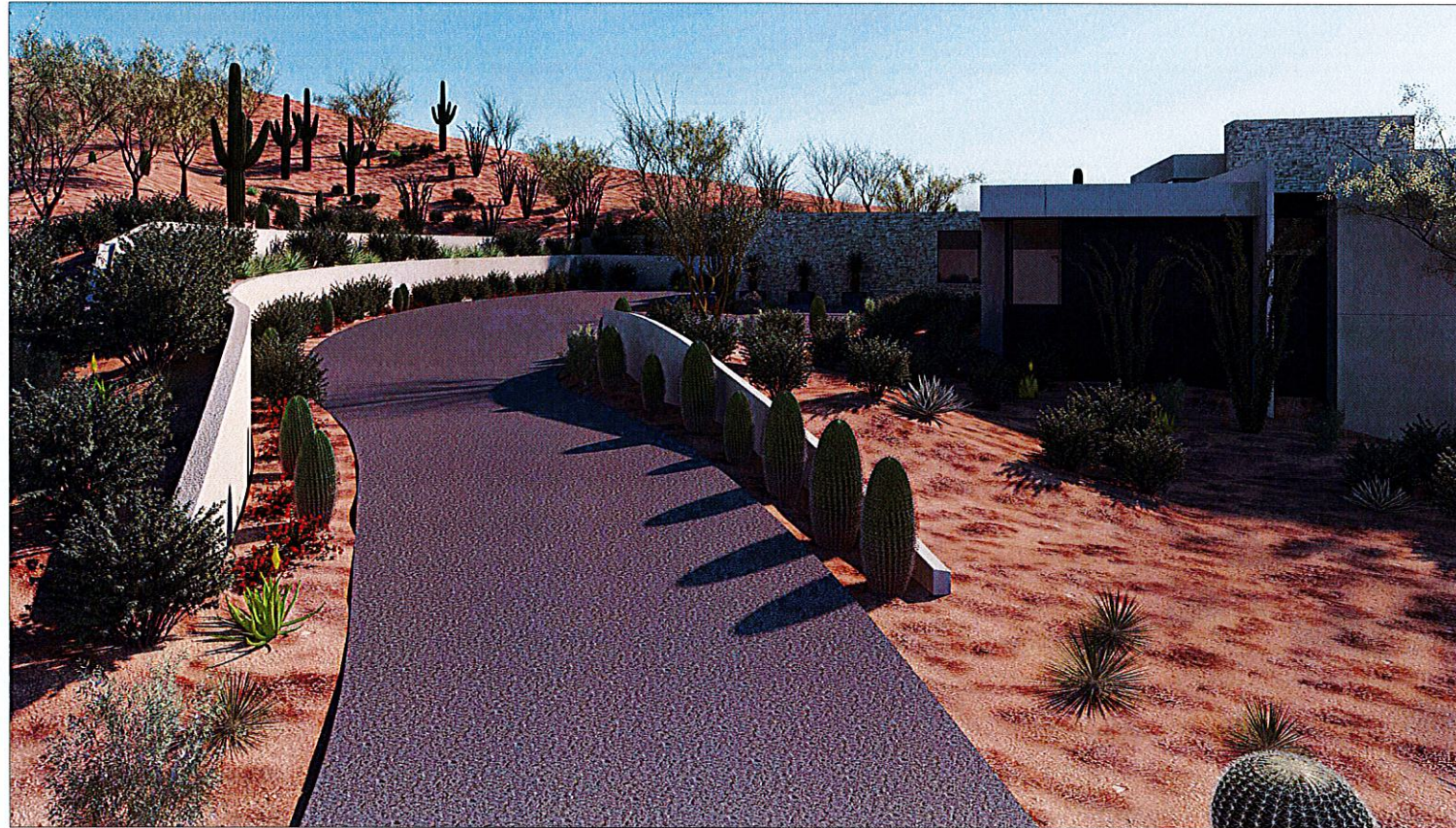
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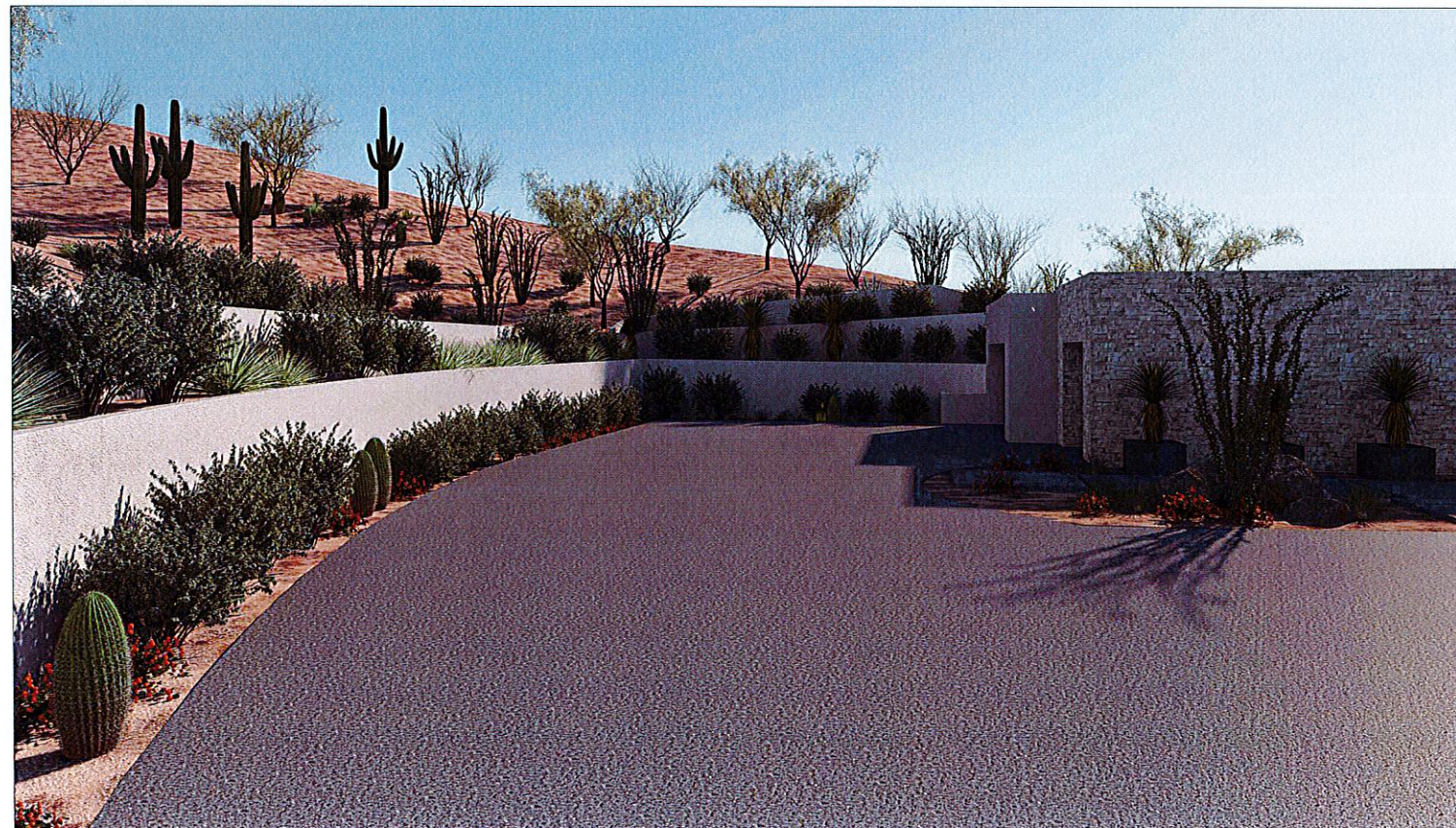


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drive from the north



drive from the north



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