

A Motion concerning Equipment Storage Facility.

Moved: The governing body of Benton Kansas accept one of three bids for construction of a maintenance equipment storage facility. Further, it is recommended bid 3 from Shawn Yoakem be accepted as the preferred bid. Further, funding authorizations and recommendations be approved as stated in the bid breakdown sheet (attached).



QUOTATION

711 North Main Street
Muskogee OK 74401
918-869-2714

Quote Number:
Customer ID: {CustomerCustID}
Job Num: M Engels

PAYMENT SCHEDULE

50% down at time of order 50% \$52,026.91
25% due at the time the building is erected 25% \$26,013.46
25% due after concrete is poured 25% \$26,013.45

Terms & Conditions

Deposit – 50% deposit is due at the time of ordering, you then will be put on a schedule, your build process will begin within 4-5 weeks depending on weather. 25% is due as soon as the building is erected. The remainder is due the day the concrete is poured, Full amount will be paid prior to the overhead doors being installed. Anything over \$20,000 should be paid by a wire transfer or electronic check over the phone.

Concrete – Customer agrees to pay 25% for the concrete portion the day the concrete is being poured, any delay in collecting payment could delay the next stage.

Doors – Overhead doors are the very last thing installed, they will be installed after the concrete is cured within 3-7 days and after the final payment has been made.

Dirt Work – Customer agrees to have level pad, preferably with a top layer of screenings or 1/8 inch gravel. Failure to have level pad will result in delays and extra expenses added to the customer's final payment. Dirt work can be done by contractor for an additional fee.

Equipment Rental – If rock is encountered while digging it is the customer's responsibility to rent a skid steer with an auger bit. If the customers building is wider than 40ft or taller than 14ft the customer will need to arrange a skid steer to lift trusses.

Trash – Customer is aware that there will be building trash, scraps, and sometimes extra material left over, the contractor will not be responsible for hauling it off, they will stack it in a pile or put it in a dumpster if one is provided by the customer.

Warranty – Amazing Structures 24/7 is 100% committed to customer satisfaction, that why we offer a 3 year workmanship warranty on the building. Let us know if there is a leak or any construction issues and we will get it taken care of as soon as possible.

If you have any questions about this quote please contact our friendly customer service at 918-869-2714



QUOTATION

711 North Main Street
Muskogee OK 74401
918-869-2714

Quote Number:
Customer ID: {CustomerCustID}
Job Num: M Engels

Date: 2/27/2024

Customer: Matt Engels

Address: 330 E Railroad St.

Phone:

Thank you for your inquiry in a post-frame building! Below you will find the building specifications and 3-D drawings of your future building.

Viewer Link: <https://postframesolver.azurewebsites.net/Framer/Viewer?key=4H0EZXY476LS2D9GTZV2H3ORP5BZY9F>

Building Size: 40' width x 80' length x 14' inside height

Building Specifications

FOUNDATION

Slab Depth: 0' 4"

Posts: 10' o/c Nail Lam 3PLY 2X6 Full Treat

TRUSS SPECIFICATIONS

Pre-Engineered Wood Trusses: 5' trusses

Top Pitch: 3 / 12 Lower Pitch: Standard

0' Overhang on 2—sides & 2—gables

COLORS

Wall Panels: 29 GA Panel QLOC Plus painted steel in Gray

Wainscot Panels: • Color: Charcoal

Roof Panels: 29 GA Panel QLOC Plus painted steel in Charcoal

Trim Color: Alamo White

ACCESSORY DOOR AND WINDOW LIST

4 - Insulated Overhead Door 122X12 - Right of Main Building

1 - S99, Flush Steel Entry, Universal Swing, White - Front of Main Building

INSULATION

{P-Wall Insulation}

Closed cell spray foam.

ATTACHED BUILDINGS

Pricing

Tax: \$0.00

Freight: {Freight Price}

Total material, tax and freight price: **\$104,053.82**

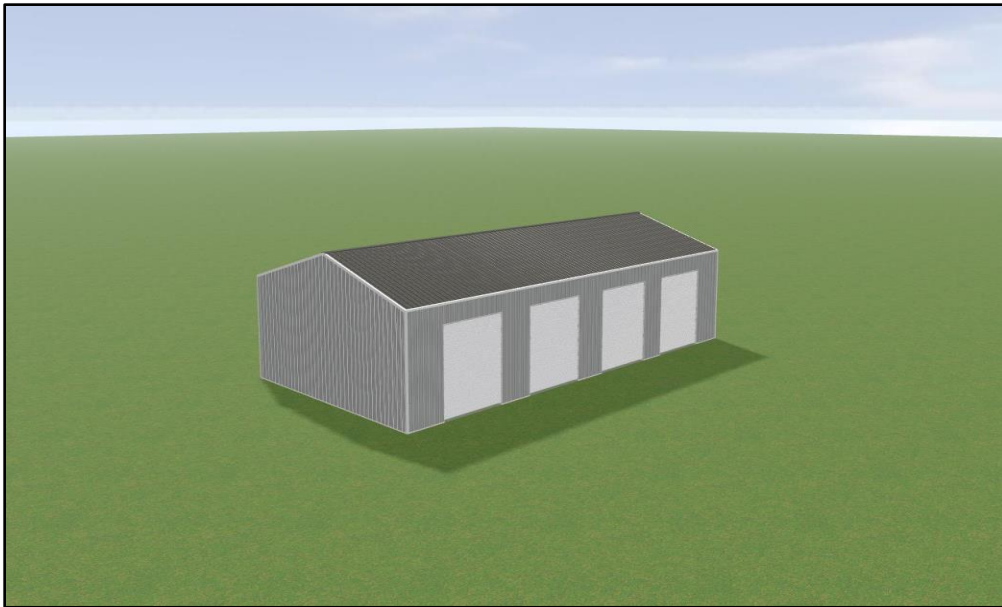
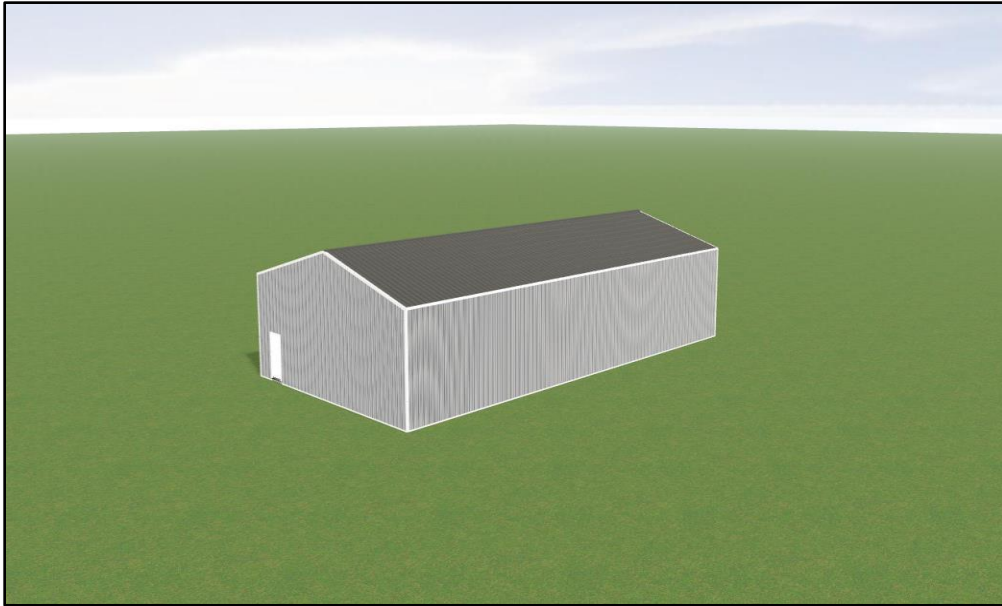
Price is good from 7 days from 2/27/2024



QUOTATION

711 North Main Street
Muskogee OK 74401
918-869-2714

Quote Number:
Customer ID: {CustomerCustID}
Job Num: M Engels





Kansas Exterior Maintenance

Jacob Rickman
Business Number 316-251-5328
Conceptenterpriseofks@gmail.com

ESTIMATE
EST0208

DATE
03/01/2024

TOTAL
USD \$131,996.00

TO

Matt Engels

mengels@bentonks.org

DESCRIPTION	RATE	QTY	AMOUNT
Premium Post Frame Building (40'x80'x14') Scope Of Work - Site prep and excavation - 12" wide 36" deep continuous footing* - 3200sq/ft foundation/floor - Concrete vapor barrier for condensation control - 6" thick slab with rebar reinforcement 24" OC** - Laminated engineered columns anchored to concrete (NO POST IN CONTACT WITH SOIL) - Truss spaced 5' OC - Upgrade to 2x6 wall girts*** - 2x10 treated grade boards - (1) man door & (4) 12x12 insulated garage doors - Seamless 6" continuous gutter	\$114,250.00	1	\$114,250.00
Insulation (Closed Cell) 2 inch thick Approximately (r14)	\$17,746.00	1	\$17,746.00
TOTAL			USD \$131,996.00

*We can offer a pier foundation instead of a continuous perimeter footing for added savings and value.

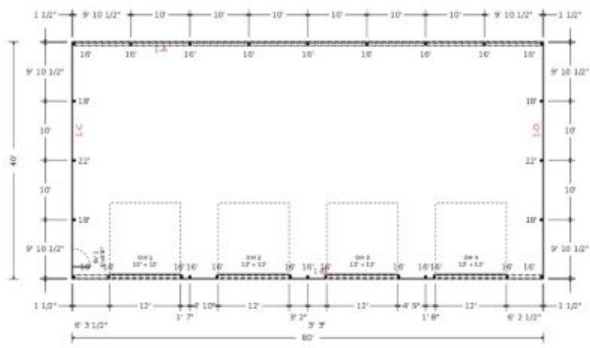
**We strongly recommend with the size and future use of this building to upgrade to a 6" min floor with #4 rebar reinforcements on 24" OC min. Plastic vapor guard is also recommended to reduce condensation.

***The dimensions of this building is pushing local code limits as such we strongly recommend upgrading to 2x6 wall girts as an added measure

Items Not Covered

- Any additional work or labor not specified under the scope of work section of this invoice.
- Any additional equipment or materials not provided
- Any additional labor will be charged at \$75 per man hr(example- 2 men+2hrs labor=\$300 labor charge)
- Rock excavation is excluded in the price. If excess rock or material is encountered, excavation and removal will be charged for time, materials, and equipment.
- 1 year craftsmanship warranty(no warranty provided on lumber, hardware, acts of god, fire or manufacture defects. Any warranty claim deemed not covered will be charged 100\$ minimum)
- Quoted price is effective for 30 days past submission date.





Width	40 ft
Post Spacing	10 ft
Length	80 ft
Floor Finish	Concrete
Floor Thickness	6 in
Inside Clear Height	14 ft
Exterior Wall Panel	Pro-Rib
Exterior Wall Color	Light Gray
Roof Type	Pro-Rib
Roof Color	Charcoal Gray
Trim Color	Charcoal Gray
Sidewall Posts	Columns
Post Foundation	Secured To Concrete
Gradeboard Type	2x10 Treated Gradeboard



Proposal

Page # _____ of _____ pages

Shawn Voakern
Pox 543
Benton ks 67017

316-617-3530

PROPOSAL SUBMITTED TO: City of Benton	JOB NAME Pole Barn	JOB #
ADDRESS 125 main	JOB LOCATION Water Tower	
Benton ks 67017	DATE	DATE OF PLANS
PHONE #	FAX #	ARCHITECT

We hereby submit specifications and estimates for: **40X80X14**

- Building specification - Foundation - Slab 6"
- Post 8" o/e 6X6 Treated post, girts and purlins on 2' centers
- Truss specification - Pre Engineered wood Trusses 4' o/e
- 4/12 pitch 0' overhang on sides & gables
- Wall panels, Roof panels, Wainscot panels - 26 GA panels & WOC Plus Paint Steel and all Trim 26 GA.
- wall Girts will be 2X6 on 2' centers
- Roof Purlins will be 2X4 on 2' centers
- Garage Door - 4 Insulated overhead Doors with Steel Back
- Walk Door - 1 36" Steel walk Door
- Guttering on Both sides with Downspouts
- garage Doors - will have Remote on all 4 Doors
- 4X80 and 4X22 Concrete Approach in front of Doors (optional \$2500)
- Payment 60% Down Allows for dirt work, 20% due after concrete poured 20% due when Building completed. - Warranty we offer a 5 year workmanship warranty. This job is Bid on a Turnkey Finish Thanks *Shawn*

We propose hereby to furnish material and labor - complete in accordance with the above specifications for the sum of:
\$ **one hundred fourteen thousand seven hundred** *14,700* Dollars

with payments to be made as follows:

Any alteration or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control.

Respectfully submitted

Shawn Voakern

Note - this proposal may be withdrawn by us if not accepted within **30** days.

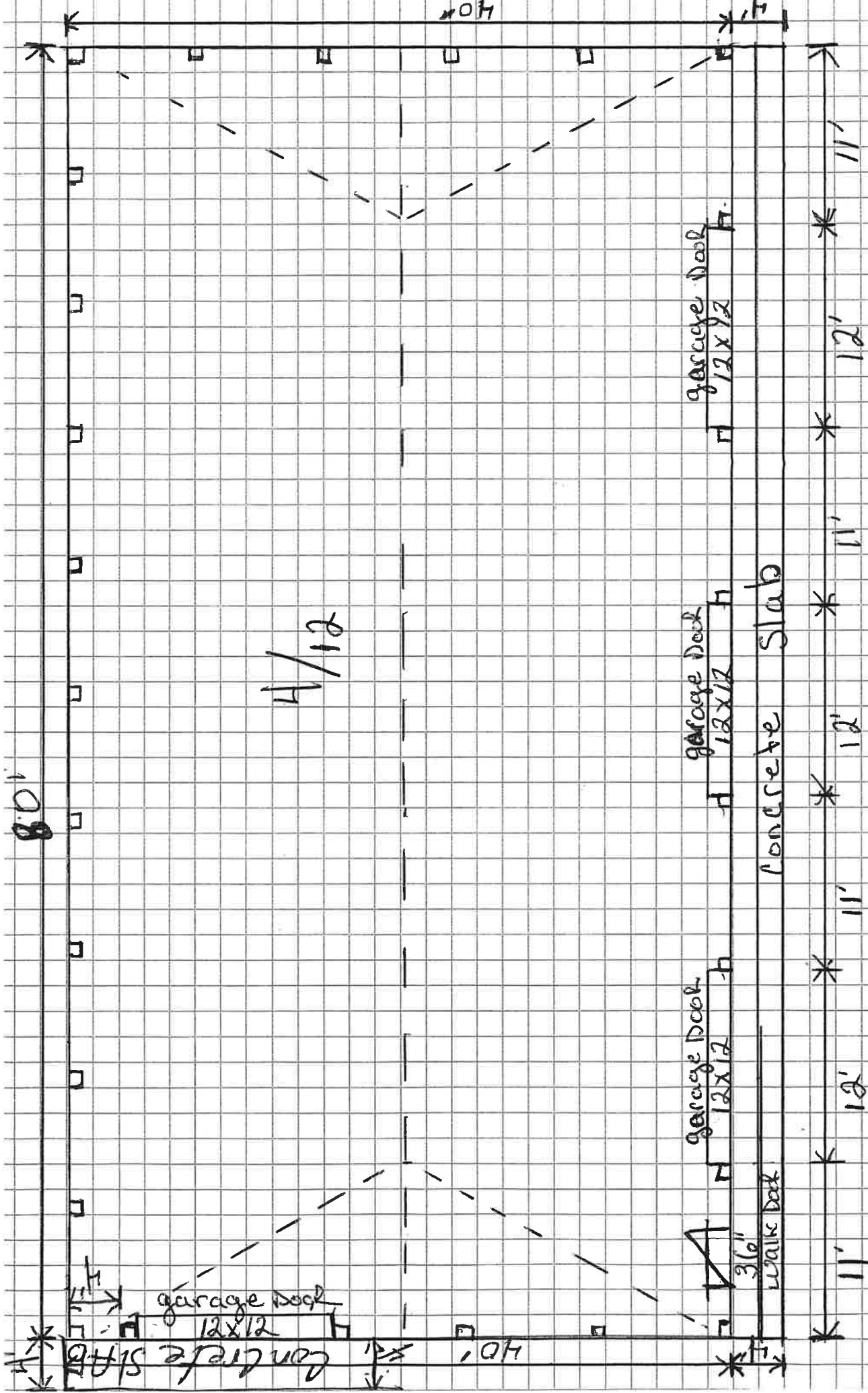
Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Signature _____

Date of Acceptance _____

Signature _____



4/12

Garage Door
12x12

Garage Door
12x12

Garage Door
12x12

Concrete Slab

Walkway
3'6"

Garage Door
12x12

Concrete Slab

11'

12'

11'

12'

11'

12'

11'

Administrative Bid Summary for Maintenance Storage Building 2024

	BID 1	BID 2	BID 3
Size	40x80x14	40x80x14	40x80x14
Site prep	No	Yes	Yes
Doors	4 OH, 1 walk	4 OH, 1 walk	4 OH, 1 walk
Truss Space	5'	5'	4'
Insulated	Yes	No (+\$17,746)	No
Slab	4"	6"	6"
Gutter	No	Yes	Yes
Openers	No	No	Yes
Warranty	3year	1yr	5yr
Wall Girts	N/A	2x6	2x6
Gauge	29	N/A	26
Company Location	Muskogee OK	Wichita KS	Benton KS
Insured	Y	Y	Y
Quote	\$104,053.82	\$114,250	\$114,700

Recommended funding breakdown

- 21.9%: Sale of 223 S Main (\$24,966)
- 41.55%: Capital Improvement Fund (\$47,367), leaving \$100,000 balance.
- 28.275%: Water Reserve (\$32,233.50), leaving \$90,902.22 balance.
- 8.275%: Sewer Reserve (9433.50), leaving \$64,918.45 balance.

Additional Recommendations

Allow a 20% overage to bids to authorize unforeseen overages and punch list items i.e. electricity, possible plumbing, door openers, etc.



PROJECT SUMMARY

REPORT DATE	MEETING DATE	PREPARED BY
3/14/2024	3/18/2024	M. Engels

STATUS SUMMARY

CONCENTRATED PROJECT UPDATE

TASK	% DONE	DUE DATE	NOTES
Annexation	Ongoing	Ongoing	Letter sent withdrawing rebate offer
Budget	10	8/2024	Next step – inserting valuation – May 2024

TASK	% DONE	DUE DATE	NOTES
Drainage channel on 20th	100		Completed 3/2024
Storage Building	10	2024	Bidding stage
Crosswalk			Plan to repour sidewalk on South/Main se corner
Trees	Continuous		Tree removal on Main – continue work on Prairie Creek

NOTES:

Admin:

Working on storage building bids. They will be included in the packet.

Spent time getting our final paperwork submitted to Kansas Department of Wildlife and Parks for disbursement request. They needed a couple of technical forms and will make a final walk through. The trail is getting so close to being done, and we can showcase it at the kids fishing event in May.

We are making progress changing our billing and payment software over from gWorks to Jayhawk and NextBill. Luis is going to help us install the accounting software and then we have a 60 day installation/training window for completion.

Recent Ordinances have been submitted to Citycode Financial for codebook updates.

Will meet with Cody to work on a plan for street work 2024.

Closed on the 223 S Main property on 3/15/24. We have been temporarily relocating equipment this week.

K254 meeting on 3/15/24 at Benton Community Building. KDOT has agreed to re-install rumble strips at K254 intersections.

Development meeting for Meadowlark/20th. I'll keep everyone updated as the engineers continue to plan.

Maintenance:

Silt removed from 20th Street drainage. More rip rap to be installed on north side of 20th.

GMC is scheduled to receive plow on 3/14/24

Banners installed at school locations.

Full crew read the meters for February and will continue.

Reworked the oil collection area – new concrete in that area.

Unleaded fuel tank is being painted and installed.

Stop sign/speed limit signs installed.

Continue to crack seal the streets – N. Norris, Durley, Sunflower, etc.

Removed sidewalk and tree at South/Main – we will repour the walkway after school is out.

Repaired street and culvert at Main/Durley.

Repair culvert on sw Meadowlark.



Save the Date for a newly rebranded League training event. Formerly known as Governing Body Institute - this event will now be known as the City Leaders Academy: Foundational Program.

APRIL 12-13 | MANHATTAN

www.lkm.org/CITYLEADERSACADEMY

Event Location: Hilton Garden Inn Manhattan, 410 South 3rd Street, Manhattan, KS 66502

Schedule of Events:

Friday, April 12

1:30 p.m.	Registration Opens
2:00 p.m.	Opening Remarks/Welcome Nathan Eberline
2:30 p.m.	Overview of League Services Kate Cooley
3:00 p.m.	How to Work With Your City Staff Spencer Duncan
4:00 p.m.	Home Rule Sage Pourmirza & Nicole Proulx Aiken
5:00 p.m.	Networking Reception
6:00 p.m.	Dinner & MTI Graduate Recognition

Saturday, April 13

7:45 a.m.	Breakfast
9:00 a.m.	KOMA Nicole Proulx Aiken
10:10 a.m.	Municipal Finance & Budgeting John Goodyear
11:20 a.m.	Mistaken City
12:15 p.m.	Lunch & Networking
1:30 p.m.	How to Be an Effective Leader Andy Huckaba
2:30 p.m.	Adjourn

Hotel Information:

Please contact the hotel directly to make your reservation, or use the weblink found on the event webpage. The special room rate will be available until Saturday, March 16, 2024, or until room block is sold-out, whichever comes first. Rate: \$111 plus tax.

Hotel reservations by phone: 785-532-9116

Reservation guidelines: To secure a guest room reservation, a credit card will be required. Reservations cancelled within 48 hours of arrival will incur a charge for the first night's Room/Tax charge.

Check-In/Out Time: Check-in time is 3 PM; check-out time is 12 PM. All guests arriving before 3 PM will be accommodated as rooms become available. Hotel staff can arrange to check baggage for those arriving early when rooms are unavailable and for guests attending functions on departure day.

Executive Session motion

Moved:

That the governing body recess into executive session IAW K.S.A. 75-4319(b) to discuss non-elected personnel matters/attorney client privilege. Further, required to attend this session is the Mayor, City Attorney, City Administrator and the City Council. Further, that the governing body return to open session at _____PM